

Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



# NEWBERRY COUNTY WHITMIRE CITY GYM RENOVATION

44 SETZLER ALLEY  
WHITMIRE, SC 29178

## GENERAL NOTES

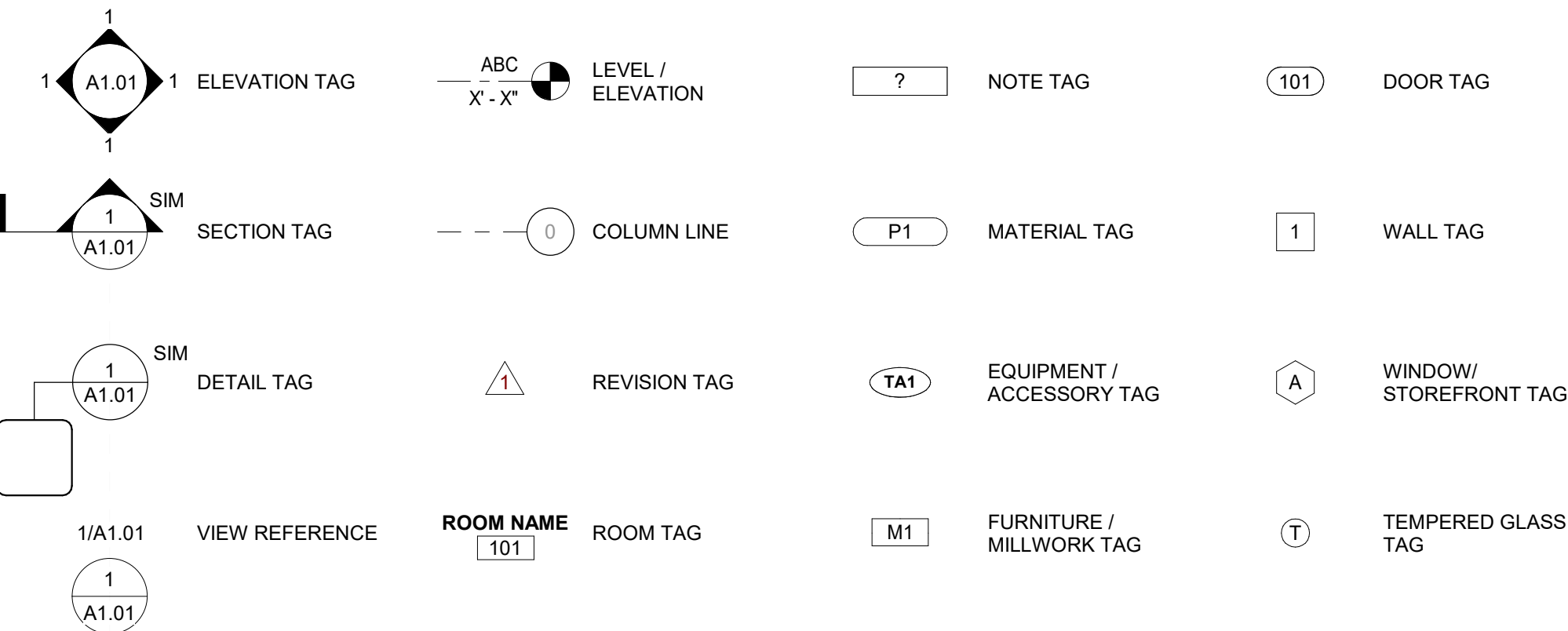
- A. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- B. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUB-CONTRACTOR FOR ANY PART OF THE WORK.
- C. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, PLUMBING, HVAC, AND ELECTRICAL.
- D. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
- E. IF THE CONTRACT DOCUMENTS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- F. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT, OR OTHER DESIGN PROFESSIONAL, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- G. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, CONTRACTOR SHALL NOTIFY ARCHITECT.
- H. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- I. CONTRACTOR SHALL PAY ALL TAXES, SECURE ALL PERMITS AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT.
- J. THE CONTRACTOR SHALL UNCONDITIONALLY WARRANTY ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN A REASONABLE, AGREED UPON TIME FRAME, AFTER IT IS BROUGHT TO HIS ATTENTION.
- K. THE CONTRACTOR SHALL, AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS AND LEAVE THE BUILDING IN NEW AND CLEAN CONDITION.
- L. CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS.

## COORDINATION OF WORK

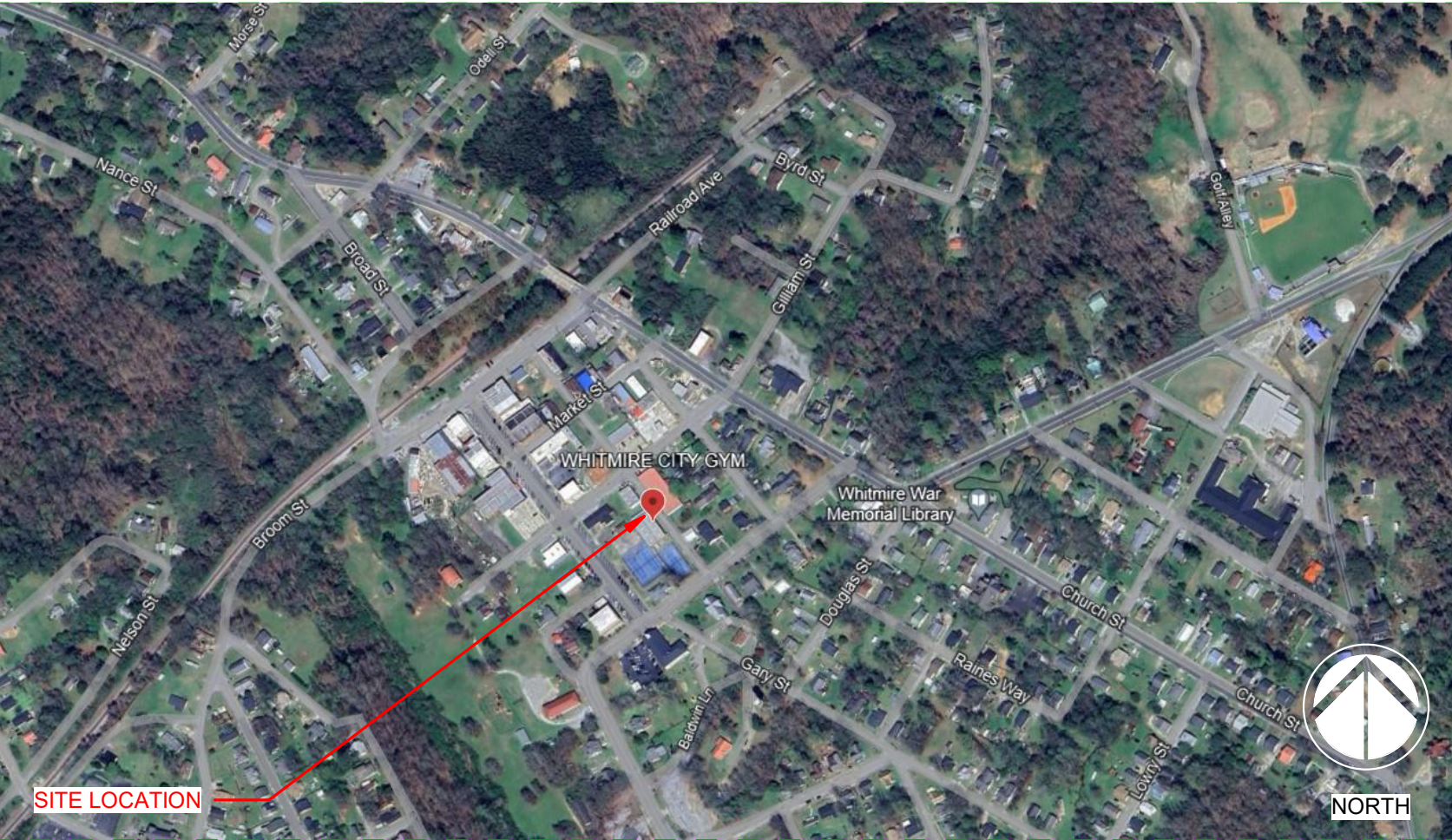
ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND SUB-CONTRACTORS TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND SUB-CONTRACTORS. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND SUB-CONTRACTORS. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEE'S USE ON THE PROJECT AND ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND SUB-CONTRACTORS.

CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

## DRAWING SYMBOL LEGEND



## VICINITY MAP



## PROJECT SCOPE

THE PROJECT SCOPE OUTLINED IN THIS SET OF DOCUMENTS INCLUDES IMPROVEMENTS TO TOWN OF WHITMIRE CITY GYM. THESE IMPROVEMENTS MAY INCLUDE (BUT ARE NOT LIMITED TO): ROOF REPAIR, UPGRADED ELECTRICAL SYSTEMS, UPGRADED EXTERIOR LIGHTING, UPGRADED EMERGENCY LIGHTING, UPGRADED HVAC SYSTEMS, RENOVATED RESTROOMS FOR ACCESSIBILITY COMPLIANCE, AND IMPROVEMENTS TO EXTERIOR ENTRANCE FOR ACCESSIBILITY COMPLIANCE AND IMPROVED SITE DRAINAGE.

## ALLOWANCES

**ALLOWANCE NO. 1:** INCLUDE THE SUM OF \$10,000 FOR MISCELLANEOUS REPAIRS TO THE EXISTING METAL ROOF.

**ALLOWANCE NO. 2:** INCLUDE THE SUM OF \$5,000 FOR MISCELLANEOUS REPAIRS TO THE EXISTING INTEGRAL GUTTERS AND DOWNSPOUTS.

**ALLOWANCE NO. 3:** INCLUDE THE SUM OF \$5,000 FOR MISCELLANEOUS REPAIRS TO THE EXISTING SKYLIGHT PANELS AND ASSOCIATED FLASHINGS.

**ALLOWANCE NO. 4:** INCLUDE THE SUM OF \$5,000 FOR THE REPLACEMENT OF DAMAGED WINDOW LITES.

## ALTERNATES

- A. ALTERNATE NO. 1: ROOF REPLACEMENT  
1. BASE BID ITEM: REMOVE EXISTING DAMAGED SECTIONS OF ROOF. PATCH AND REPLACE TO MATCH EXISTING. (ALLOWANCE NO. 1)  
2. ALTERNATIVE ITEM: IN LIEU OF REPAIRING THE EXISTING ROOF, OMIT ALLOWANCE NO. 1 AND REMOVE EXISTING ROOF PANELS IN THEIR ENTIRETY AND INSTALL NEW STANDING-SEAM METAL ROOF AS SPECIFIED.
- B. ALTERNATE NO. 2: GUTTER AND DOWNSPOUT REPLACEMENT  
1. BASE BID ITEM: REMOVE EXISTING DAMAGED SECTIONS OF INTEGRAL GUTTERS AND DOWNSPOUTS. PATCH AND REPLACE WITH NEW TO MATCH EXISTING. (ALLOWANCE NO. 2)  
2. ALTERNATIVE ITEM: IN LIEU OF REPAIRING EXISTING DAMAGED GUTTERS AND DOWNSPOUTS, OMIT ALLOWANCE NO. 2 AND REMOVE THE EXISTING GUTTERS AND DOWNSPOUTS IN THEIR ENTIRETY AND REPLACE WITH NEW.
- C. ALTERNATE NO. 3: SKYLIGHT REPLACEMENT  
1. BASE BID ITEM: REMOVE EXISTING DAMAGED SKYLIGHT PANELS AND DAMAGED SKYLIGHT FLASHINGS AND REPLACE WITH NEW SKYLIGHT PANELS AND FLASHING. (ALLOWANCE NO. 3)  
2. ALTERNATIVE ITEM: IN LIEU OF REPAIRING/REPLACING EXISTING DAMAGED SKYLIGHTS AND FLASHINGS, OMIT ALLOWANCE NO. 3 AND REMOVE ALL EXISTING SKYLIGHTS AND REPLACE WITH NEW SKYLIGHTS AND FLASHINGS.
- D. ALTERNATE NO. 4: WINDOW REPLACEMENT  
1. BASE BID ITEM: REPLACE EXISTING DAMAGED WINDOW LITES. (ALLOWANCE NO. 4)  
2. ALTERNATIVE ITEM: IN LIEU OF REPLACING EXISTING DAMAGED WINDOW LITES, OMIT ALLOWANCE NO. 4 AND REMOVE AND REPLACE ALL WINDOWS WITH NEW STOREFRONT WINDOW SYSTEM AS SPECIFIED.
- E. ALTERNATE NO. 5: GYM COURT REFINISHING  
1. BASE BID ITEM: EXISTING COURT FLOORING FINISH TO REMAIN. CLEAN.  
2. ALTERNATIVE ITEM: RE-STRIPE AND REFINISH THE EXISTING GYM FLOOR.
- F. ALTERNATE NO. 6: GYM BLEACHER REFINISHING  
1. BASE BID ITEM: CLEAN AND PAINT EXISTING BLEACHERS.  
2. ALTERNATIVE ITEM: IN LIEU OF PAINTING THE EXISTING BLEACHERS, COMPLETELY SAND, STAIN, AND POLY THE EXISTING BLEACHERS.
- G. ALTERNATE NO. 7: GYM WALL PADS  
1. BASE BID ITEM: EXISTING WALL PADS TO REMAIN. CLEAN.  
2. ALTERNATIVE ITEM: REMOVE AND REPLACE EXISTING WALL PADS WITH NEW 5' TALL X 10' WIDE, 2" THICK PVC VINYL WALL PADS AS MANUFACTURED BY AMERICAN FLOOR MATS OR EQUAL. PADS ARE REQUIRED IN TWO (2) PLACES.

## DRAWING INDEX

NUMBER	SHEET NAME	CURRENT REVISION	CURRENT REVISION DATE
TITLE			
T1.01	TITLE SHEET		
LIFE SAFETY			
LS1.01	CODE REVIEW		
CIVIL			
C100	COVER SHEET		
C200	GENERAL NOTES (SHEET 1 OF 2)		
C201	GENERAL NOTES (SHEET 2 OF 2)		
C300	EXISTING CONDITIONS AND DEMOLITION PLAN		
C400	SITE PLANS		
C500	GRADING PLANS		
C600	EROSION CONTROL PLANS		
C701	EROSION CONTROL DETAILS		
C800	STORMWATER AND SITE DETAILS		
SITE PLAN			
AS1.00	ARCHITECTURAL SITE PLAN		
ARCHITECTURAL DEMOLITION			
AD1.00	OVERALL DEMOLITION FLOOR PLAN		
AD2.01	DEMOLITION REFLECTED CEILING PLAN		
ARCHITECTURE			
A1.01	OVERALL FLOOR PLAN		
A1.02	ROOF PLAN		
A2.01	REFLECTED CEILING PLAN		
A3.01	ENLARGED RESTROOM PLANS AND ACCESSORY SCHEDULE		
A4.01	EXTERIOR ELEVATIONS		
A6.01	INTERIOR ELEVATIONS		
A10.01	DOOR SCHEDULE, HARDWARE SCHEDULE, DOOR LEGEND		
A12.01	FINISH PLANS		
STRUCTURAL			
S0.00	GENERAL NOTES		
S0.01	SPECIAL INSPECTIONS		
S1.01	FOUNDATION PLAN		
S2.01	TYPICAL DETAILS		
S3.01	DETAILS & SECTIONS		
PLUMBING DEMOLITION			
PD1.01	PLUMBING DEMOLITION PLANS		
PLUMBING			
P0.01	PLUMBING LEGEND, NOTES, AND SCHEDULES		
P2.01	PLUMBING FLOOR PLAN		
P5.01	PLUMBING RISER DIAGRAMS		
MECHANICAL DEMOLITION			
MD1.01	MECHANICAL DEMOLITION PLAN		
MECHANICAL			
M0.01	MECHANICAL LEGENDS, NOTES, AND SCHEDULES		
M2.01	MECHANICAL FLOOR PLAN		
M8.01	MECHANICAL DETAILS		
ELECTRICAL DEMOLITION			
ED1.01	ELECTRICAL DEMOLITION PLANS		
ELECTRICAL			
E0.01	ELECTRICAL LEGEND		
E2.01	ELECTRICAL FLOOR PLANS		
E5.01	ELECTRICAL RISER DIAGRAMS AND PANEL SCHEDULES		

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

Drawing

TITLE SHEET

T1.01

### OWNER

NEWBERRY COUNTY  
1309 COLLEGE STREET  
P.O. BOX 156  
NEWBERRY, SC 29108

CONTACT:  
T: 803.321.2100

### CONSTRUCTION MANAGER

CLAYTON CONSTRUCTION  
121 VENTURE BLVD # A  
SPARTANBURG, SC 29306

CONTACT:  
ADAM FAILLA  
T: 864.576.1901  
ADAM@CLAYTONCONSTRUCTION.NET

### CIVIL ENGINEER

WK DICKSON & CO., INC.  
5 LEGACY PARK DRIVE  
SUITE A  
GREENVILLE, SC 29607

CONTACT:  
JEFF EDNEY, PE  
T: 864.990.0190  
JEDNEY@WKDICKSON.COM

### ARCHITECT

DP3 ARCHITECTS, LTD.  
15 SOUTH MAIN STREET  
SUITE 400  
GREENVILLE, SC 29601

CONTACT:  
LAUREL GETTY  
T: 864.232.8200  
LGETTY@DP3ARCHITECTS.COM

### STRUCTURAL ENGINEER

BRITT, PETERS & ASSOCIATES, INC.  
101 FALLS PARK DRIVE  
SUITE 601  
GREENVILLE, SC 29601

CONTACT:  
MICHAEL GENNARO, PE  
T: 864.271.8869  
MGENNARO@BRITTPETERS.COM

### PLUMBING ENGINEER

DEVITA & ASSOCIATES, INC.  
33 VILLA ROAD  
SUITE 300  
GREENVILLE, SC 29615

CONTACT:  
EMILY ZIEGLER, PE  
T: 864.232.6642  
EZIEGLER@DEVITAINC.COM

### MECHANICAL ENGINEER

DEVITA & ASSOCIATES, INC.  
33 VILLA ROAD  
SUITE 300  
GREENVILLE, SC 29615

CONTACT:  
EMILY ZIEGLER, PE  
T: 864.232.6642  
EZIEGLER@DEVITAINC.COM

### ELECTRICAL ENGINEER

DEVITA & ASSOCIATES, INC.  
33 VILLA ROAD  
SUITE 300  
GREENVILLE, SC 29615

CONTACT:  
SHANNON EPSS, PE  
T: 864.232.6642  
SEPPS@DEVITAINC.COM



PROJECT ADDRESS

44 SETZLER ALLEY  
WHITMIRE, SC 29178

ARCHITECT / ENGINEER OF RECORD

DISCIPLINE	DESIGNER OF RECORD	LICENSE	TELEPHONE NUMBER
CIVIL ENGINEER	JEFFERY HOYLE EDNEY	23511	864.990.0180
ARCHITECT	MICHAEL T. PRY	04570	864.232.8200
STRUCTURAL ENGINEER	MICHAEL GENNARO	40618	864.271.8869
PLUMBING ENGINEER	EMILY ZIEGLER	40574	864.232.6642
MECHANICAL ENGINEER	EMILY ZIEGLER	40574	864.232.6642
ELECTRICAL ENGINEER	SHANNON L. EPPS	22785	864.232.6642

ADMINISTRATION

BUILDING REVIEW AGENCY	NEWBERRY COUNTY	ZONING SETBACKS:	
OFFICIAL	KATIE WERTS	FRONT:	50'-0"
PHONE NUMBER	803.321.2166	SIDE:	7'-0"
		REAR:	20'-0"
TAX MAP NUMBER:	TMS 314-1-5-15/1		
ZONING CLASS:	GX1	FLOOD ZONE:	NO
ALLOWED HEIGHT:	40' - 0"	WETLANDS:	NO
ALLOWED STORIES:	2	FIRE DISTRICT:	NO
		DARK SKY REQUIREMENTS:	N/A
OVERLAY DISTRICT:	N/A		

PROJECT DESIGNED IN ACCORDANCE WITH

CODE	VERSION
INTERNATIONAL BUILDING CODE*	2021 EDITION
INTERNATIONAL MECHANICAL CODE*	2021 EDITION
INTERNATIONAL PLUMBING CODE*	2021 EDITION
NATIONAL ELECTRICAL CODE	2020 EDITION
INTERNATIONAL FIRE CODE*	2021 EDITION
NFPA LIFE SAFETY CODE	2021 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE W/ ASHRAE / IES 90.1-2009	2009 EDITION
INTERNATIONAL FUEL GAS CODE*	
ACCESSIBILITY CODE	ANSI A117.1 2017
* W/ SOUTH CAROLINA MODIFICATIONS	

USE AND OCCUPANCY INFORMATION

ITEM DESCRIPTION	PROVIDED	CODE SECTION	COMMENTS
CONSTRUCTION CLASSIFICATION	V-B	IBC SECTION 602	
SINGLE OCCUPANCY OR MAIN OCCUPANCY GROUP	A-4	IBC SECTION 302	
MIXED USE AND OCCUPANCY	NO	IBC SECTION 508	
OCCUPANCY GROUPS (ALL)		IBC SECTION 302	
ACCESSORY OCCUPANCIES	NO	IBC SECTION 508.2	
NONSEPARATED	NO	IBC SECTION 508.3	
SEPARATED	NO	IBC SECTION 508.4	
INCIDENTAL USE AREA SEPARATION	NO	IBC SECTION 509	
HAZARDOUS MATERIALS	NO	IBC SECTION 414	

ALLOWABLE BUILDING HEIGHTS AND AREAS

BUILDING	GROUP	CONST. TYPE	SPRINKLER TYPE	BUILDING HEIGHT ALLOWED	PROVIDED	No. OF STORIES ALLOWED	PROVIDED	BUILDING AREA ALLOWED (A <sub>B</sub> )	PROVIDED
WHITMIRE CITY GYM	A-4	TYPE V-B	NS	40' - 0"		1	1	7,198 SF	6,749 SF
ALLOWABLE AREA (A <sub>1</sub> ) DETERMINATION CALCULATION									
$I_r = (F/P - 0.25) * W/30$				$I_r$	AREA FACTOR INCREASE DUE TO FRONTAGE				
$0.199697 = (223' - 6" / 344' - 2" - 0.25) * (15' - 0" / 30)$				$F$	BUILDING PERIMETER THAT FRONTS A PUBLIC WAY OR OPEN SPACE				
				$P$	PERIMETER OF ENTIRE BUILDING				
				$W$	WIDTH OF PUBLIC WAY OR OPEN SPACE				
$A_{10} = [A_1 + (NS * I_r)] * S_{10}$				$A_{10}$	CALCULATED ALLOWABLE AREA				
$7,198 \text{ SF} = 6,000 \text{ SF} + (6,000 \text{ SF} * 0.199697) * 1$				$A_1$	TABULAR ALLOWABLE AREA (TABLE 506.2)				
				$NS$	TABULAR ALLOWABLE AREA FOR NON-SPRINKLERED (TABLE 506.2)				
				$S_{10}$	NUMBER OF BUILDING STORIES ABOVE GRADE PLANE				

OCCUPANT LOADS

ROOM/AREA	IBC TABLE 1004.5		LOAD FACTOR	AREA	FIXED SEATS	OCCUPANTS
	FUNCTION OF SPACE					
MAIN FLOOR						
BENCH SEATING	ASSEMBLY - FIXED BENCH	18" PER PERSON		92	92	
BENCH SEATING	ASSEMBLY - FIXED BENCH	18" PER PERSON		108	108	
OFFICE	BUSINESS	150 GROSS	327 SF		3	
TOTAL OCCUPANTS						203

PLUMBING FIXTURES (IBC TABLE 2902.1)

OCCUPANCY		WATER CLOSETS						LAVATORIES						BATHTUB/ SHOWER	DRINKING FOUNTAIN	SERVICE SINK							
TYPE	LOAD	MALE			FEMALE			UNISEX*		MALE		FEMALE		UNISEX*		RQ	PV	RQ	PV	RQ	PV		
		RQ	PV	UR	RQ	PV		RQ	PV	RQ	PV	RQ	PV										
A4	203 (102M   102F)	1.36	1	1	2.55	2		0	0	0.51	2	0.68	2	0	0	0	0	0	0	1	2	1	1

BUILDING OCCUPANCY UNCHANGED. LEVEL 1 ALTERATION - EXISTING TOILET / URINAL FIXTURE COUNT USED.  
IMPROVED ACCESSIBILITY FOR EXISTING RESTROOMS.

INTERIOR FINISH REQUIREMENTS BY OCCUPANCY

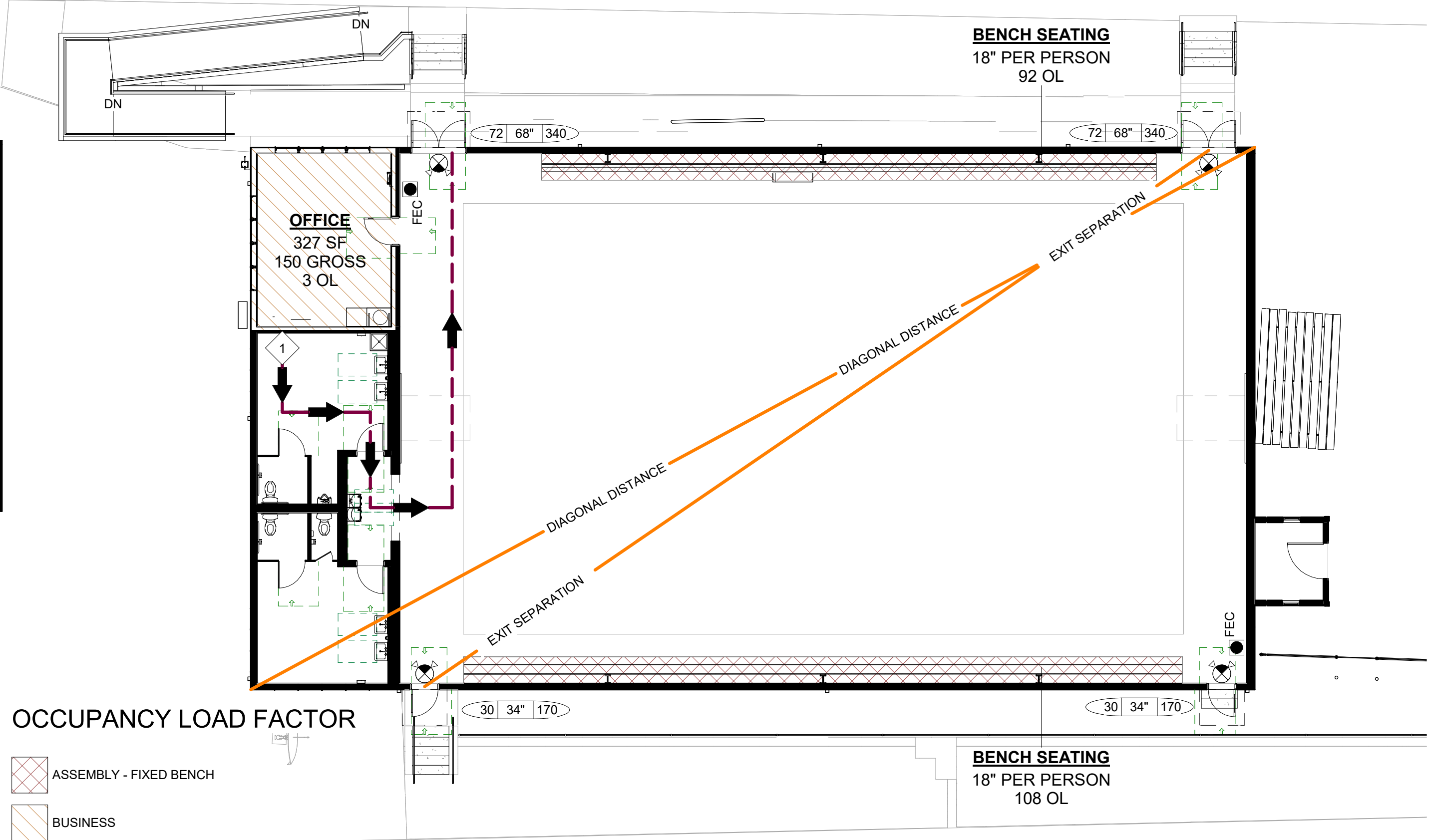
GROUP	SPRINKLERED	IBC TABLE 803.13		ROOMS AND ENCLOSED SPACES	INTERIOR FLOOR FINISH
		INTERIOR EXIT STAIRWAYS, RAMPS AND PASSAGEWAYS	COORDINORS AND ENCLOSURES FOR EXIT ACCESS		
ASSEMBLY - A4	NO	A	A	C	DOC FF-1 'PILL TEST'

FIRE PROTECTION / LIFE SAFETY SYSTEMS

LIFE SAFETY SYSTEM	REQUIRED	CODE SECTION
<b>EGRESS</b>		
EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM	NO	IFC SECTION 907
EMERGENCY ALARM SYSTEM	NO	IBC SECTION 908 AND IFC SECTION 908
EMERGENCY LIGHTING	YES	IBC SECTION 1008
TWO WAY COMMUNICATION SYSTEM	NO	IBC SECTION 1009.8
PANIC HARDWARE	YES	IBC SECTION 1010.2.9
EXIT SIGNS	YES	IBC SECTION 1013
LUMINOUS EGRESS PATH MARKINGS	NO	IBC SECTION 1025
<b>FIRE</b>		
FIRE WALLS	NO	IBC SECTION 706 AND CHAPTER 5
FIRE BARRIERS	NO	IBC SECTION 707 AND CHAPTER 4
FIRE PARTITIONS	NO	IBC SECTION 708
HORIZONTAL ASSEMBLIES	NO	IBC SECTION 711
FIRE BLOCKING	NO	IBC SECTION 718
DRAFTSTOPPING	NO	IBC SECTION 718
FIRE ALARM SYSTEM	NO	IBC SECTION 907 AND IFC SECTION 907
CARBON MONOXIDE DETECTION	NO	IBC SECTION 915
<b>SMOKE</b>		
SMOKE BARRIERS	NO	IBC SECTION 709 AND CHAPTER 4
SMOKE PARTITIONS	NO	IBC SECTION 709 AND CHAPTER 4
SMOKE CONTROL SYSTEM	NO	IBC SECTION 909 AND CHAPTER 5
SMOKE AND HEAT VENTS	NO	IBC SECTION 910 AND IFC SECTION 910
<b>SUPPRESSION</b>		
SPRINKLER SYSTEM	NO	IBC SECTION 903 AND IFC SECTION 903
OTHER SUPPRESSION SYSTEMS	NO	IBC SECTION 904 AND IFC SECTION 904
STANDPIPE	NO	IBC SECTION 905 AND IFC SECTION 905
PORTABLE SUPPRESSION SYSTEMS	YES	IBC SECTION 906 AND IFC SECTION 906
FIRE DEPARTMENT CONNECTION	NO	IBC SECTION 912

FIRE RESISTANCE RATING REQUIREMENTS (HOURS)

BUILDING ELEMENT	REQUIRED	PROVIDED	CODE SECTION	LISTING No.
STRUCTURAL FRAME	0	0	IBC TABLE 601	
BEARING WALLS				
EXTERIOR	REFER TO FIRE RATING FOR EXTERIOR WALLS AND WALL OPENINGS			
INTERIOR	0	0	IBC TABLE 601	
NON-BEARING WALLS				
EXTERIOR	REFER TO FIRE RATING FOR EXTERIOR WALLS AND WALL OPENINGS			
INTERIOR	0	0	IBC TABLE 501	
FLOOR CONSTRUCTION	0	0	IBC TABLE 601	
ROOF CONSTRUCTION	0	0	IBC TABLE 601	
VERTICAL SHAFT CONSTRUCTION	0	0	IBC SECTION 713	



1 LIFE SAFETY PLAN

LS1.01 3/32" = 1'-0"

EXIT REQUIREMENTS

LEVEL	OCCUPANCY	RQ	PV
<varies>	ASSEMBLY - A4	2	4

ARRANGEMENT OF EXITS

FLOOR	DIAGONAL DISTANCE	DISTANCE APART	
		MIN. ALLOWED	PROVIDED
MAIN FLOOR	127' - 0"	42' - 4"	105' - 9"

TRAVEL DISTANCE

PATH	TRAVEL DISTANCE	COMMON PATH	COMMENT
1	75' - 1"	35' - 7"	

RAISED CHARACTER EXIT SIGNS

- TACTILE EXIT SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN, EXIT STAIRWAY OR RAMP. EXIT PASSAGEWAY, EXIT DISCHARGE AND SHALL STATE: EXIT.
- EACH DOOR PROVIDING ACCESS TO AN AREA OF REFUGE FROM AN ADJACENT FLOOR AREA SHALL BE IDENTIFIED BY A SIGN THAT STATING: AREA OF REFUGE.
- EACH DOOR PROVIDING ACCESS TO AN EXTERIOR AREA FOR ASSISTED RESCUE SHALL BE IDENTIFIED BY A SIGN STATING: EXTERIOR AREA FOR ASSISTED RESCUE.
- REQUIRED SIGNS SHALL BE LOCATED AND OF SUCH SIZE, DISTINCTIVE COLOR, AND DESIGN THAT IT IS READILY VISIBLE AND SHALL PROVIDE CONTRAST WITH DECORATIONS, INTERIOR FINISH, OR OTHER SIGNS.
- SIGNS TO BE MOUNTED ON WALL ADJACENT TO LATCH SIDE OF DOOR. IF NO WALL SPACE IS AVAILABLE ADJACENT TO THE DOOR, THE SIGN SHALL BE MOUNTED ON THE NEAREST PERPENDICULAR WALL TO THE LATCH SIDE OF THE DOOR.
- TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1.

FIRE EXTINGUISHERS

- 3A-40B.C DRY CHEMICAL, MULTIPURPOSE
- THE CONTRACTOR SHALL PROVIDE AND COORDINATE FINAL PLACEMENT AND SIZING OF ALL FIRE EXTINGUISHERS WITH THE LOCAL FIRE MARSHAL.
  - EXTINGUISHERS HAVING A WEIGHT OF LESS THAN 40 POUNDS SHALL BE INSTALLED SO THAT THE HANDLE OF THE EXTINGUISHER IS NOT MORE THAN 5 FEET ABOVE THE FLOOR. EXTINGUISHERS HAVING A WEIGHT OF MORE THAN 40 POUNDS SHALL BE INSTALLED SO THAT THE TOP OF THE EXTINGUISHER IS NOT OVER 3 1/2 FEET ABOVE THE FLOOR. CLEARANCE BETWEEN THE BOTTOM OF THE EXTINGUISHER AND THE FLOOR MUST BE AT LEAST 4 INCHES.
  - EXTINGUISHERS SHALL BE PLACED IN A MANNER SUCH THAT THE OPERATING INSTRUCTIONS FACE OUTWARD. THE LOCATION OF EXTINGUISHERS SHALL BE CONSPICUOUSLY MARKED TO BE CLEARLY VISIBLE AT A DISTANCE OF 25 FEET.

LIFE SAFETY LEGEND

- NAME**  
150 SF  
GROUP A2  
GROSS/NET  
# Occupants OL
- FEC TYPE ABC FIRE EXTINGUISHER IN CABINET
- TRAVEL PATH AND DIRECTION
- 1 TRAVEL PATH NUMBER
- ⊗ EXIT SIGN
- EXIT WIDTH
- OCCUPANTS ALLOWED PER EXIT
- ACTUAL OCCUPANT LOAD PER EXIT

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

Drawing

CODE REVIEW

**LS1.01**



# WHITMIRE CITY GYM RENOVATION

FOR  
TOWN OF WHITMIRE  
WHITMIRE, SC

DEVELOPMENT SUMMARY

PARCEL # : 314-1-5-15/1

OWNER: TOWN OF WHITMIRE  
95 MAIN STREET  
WHITMIRE, SC 29178  
CONTACT: JJ NEMETZ  
PHONE NUMBER: (864) 232-8200; EXT. 1016  
JNEMETZ@DP3ARCHITECTS.COM

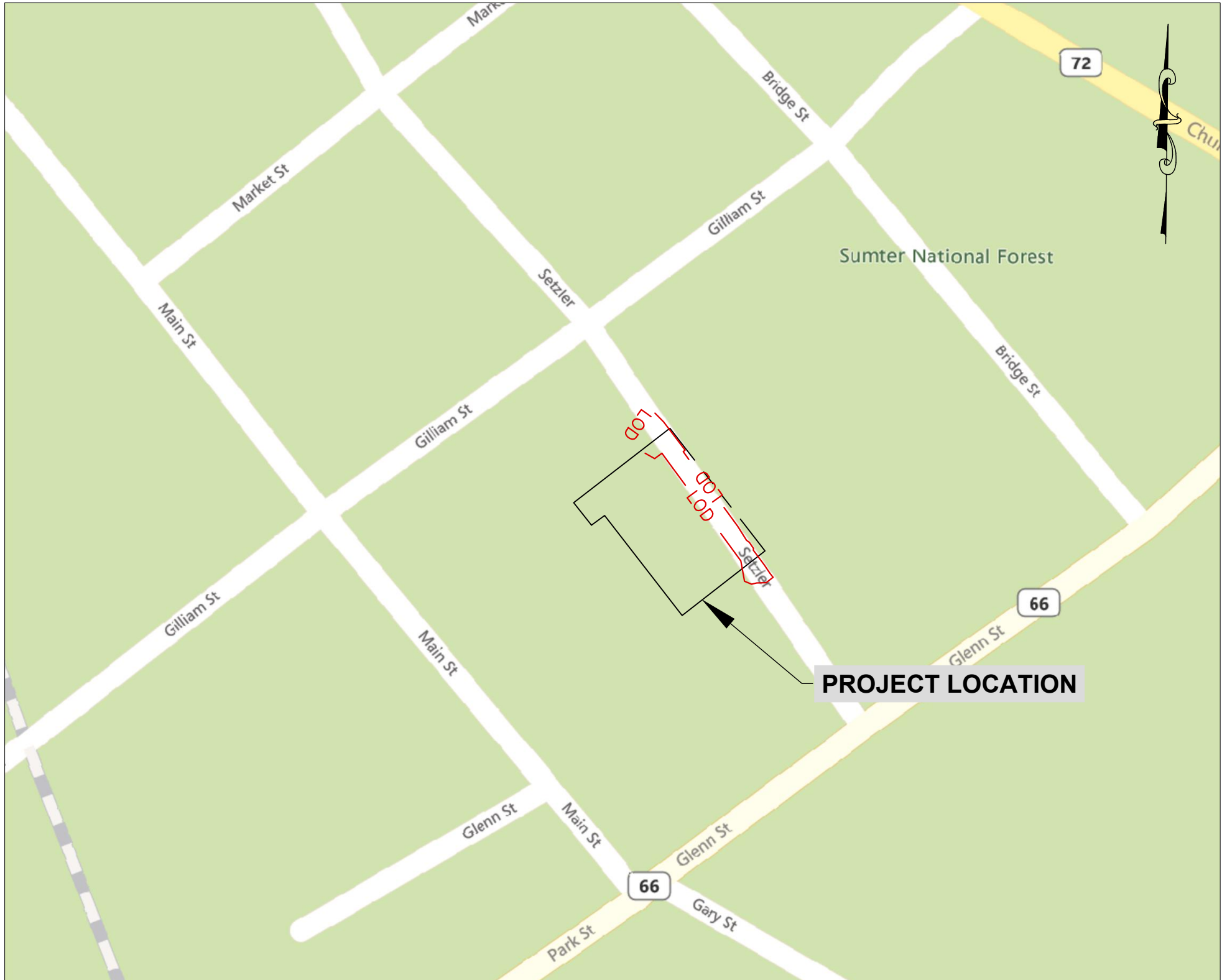
DESIGN ENGINEER: W.K. DICKSON - JEFF H. EDNEY, PE  
5 LEGACY PARK ROAD, SUITE A  
GREENVILLE, SC 29607  
PHONE NUMBER: (864) 990-0180  
JEDNEY@WKDICKSON.COM

PARCEL ACREAGE: ±10 AC

DISTURBED AREA: 0.1 AC

EXISTING USE: RECREATIONAL FACILITY

PROPOSED USE: RECREATIONAL FACILITY



LOCATION MAP  
SCALE: 1" = 100'

Sheet List Table	
Sheet Number	Sheet Title
C100	COVER SHEET
C200	GENERAL NOTES (SHEET 1 OF 2)
C201	GENERAL NOTES (SHEET 2 OF 2)
C300	EXISTING CONDITIONS AND DEMOLITION PLAN
C400	SITE PLANS
C500	GRADING PLANS
C600	EROSION CONTROL PLANS
C701	EROSION CONTROL DETAILS
C800	STORMWATER AND SITE DETAILS



5 LEGACY PARK ROAD  
SUITE A  
GREENVILLE, SC 29607  
(T) 864-990-0180

WWW.WKDICKSON.COM

Seal



C.O.A.



01/13/2025



DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 20231101.00.GV  
Drawn By HMZ  
Checked By JHE  
Date 20 DEC. 2024

Revisions

Drawing

COVER SHEET

C100



Know what's below.  
Call before you dig

NOTICE TO CONTRACTOR

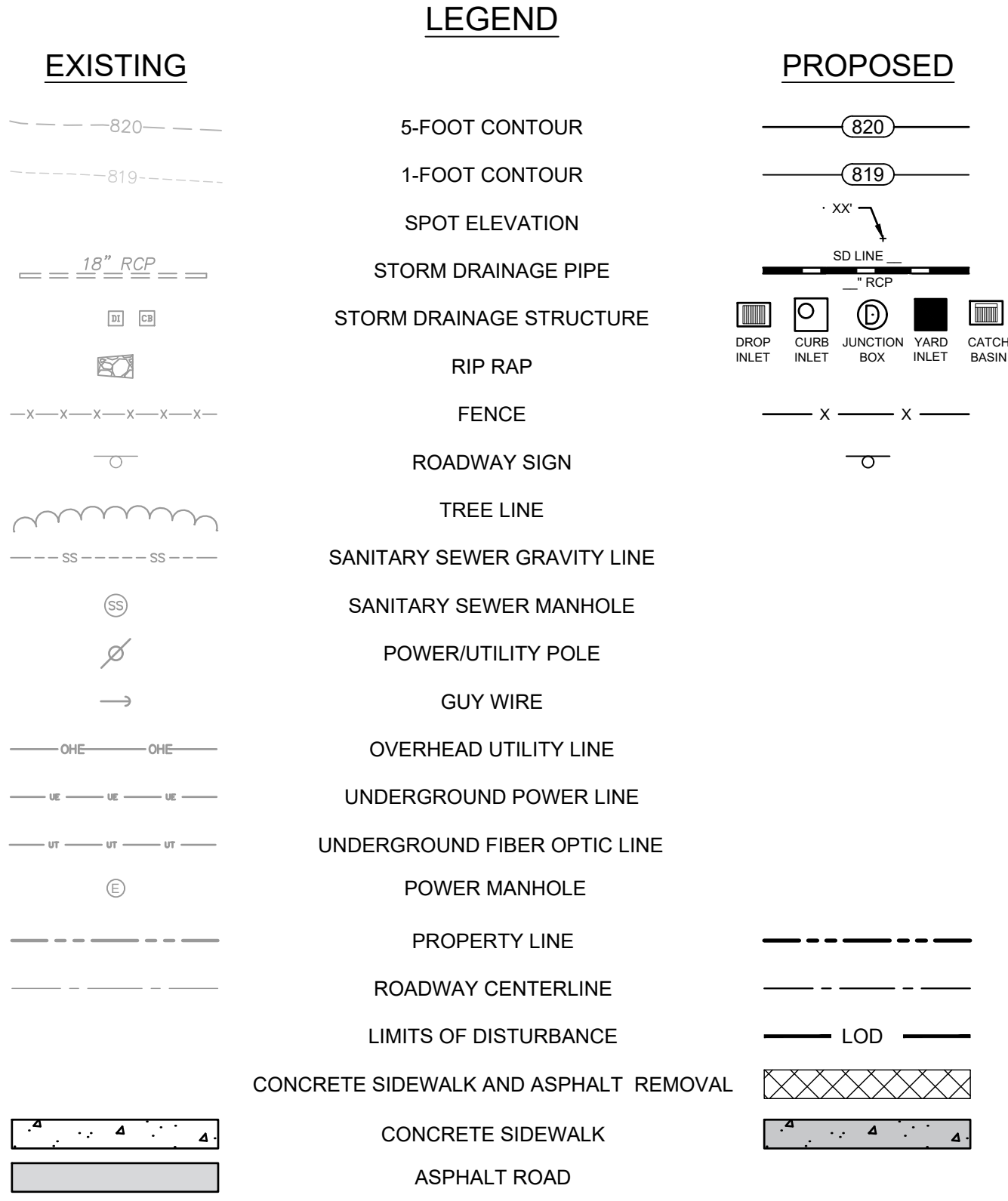
- PRIOR TO CONSTRUCTION, DIGGING, OR EXCAVATION THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA(S) OF CONSTRUCTION, WHETHER INDICATED ON THE PLANS OR NOT. CALL "811" A MINIMUM OF 72 HOURS PRIOR TO DIGGING OR EXCAVATING. REPAIRS TO ANY UTILITY DAMAGED RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



### EROSION CONTROL MAINTENANCE SCHEDULE

ALL SEDIMENT AND EROSION CONTROLS ARE TO BE INSPECTED AT LEAST ONCE EVERY CALENDAR WEEK, WITH NO TIME PERIOD BETWEEN INSPECTIONS EXCEEDING 9 DAYS, AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE. CONTRACTOR TO DOCUMENT WITH SCDHEC APPROVED INSPECTION REPORTS AND LOGGED IN THE PROJECT SWPPP.

### 14 DAY STABILIZATION CLAUSE

ALL DISTURBED AREAS WHICH ARE TO BE LEFT IDLE FOR A PERIOD OF 14 DAYS OR LONGER ARE TO RECEIVE TEMPORARY VEGETATION OR MULCH.

### SCDEC EROSION AND SEDIMENT CONTROL NOTES:

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW:
  - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
  - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES MUST BE INSPECTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK, WITH NO TIME PERIOD BETWEEN INSPECTIONS EXCEEDING 9 DAYS, AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR10000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
  - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
  - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
  - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
  - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, ALL SEDIMENT AND EROSION CONTROL DEVICES MUST BE INSPECTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK, WITH NO TIME PERIOD BETWEEN INSPECTIONS EXCEEDING 9 DAYS, AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.
- CONSTRUCTION ENTRANCES TO BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES A PAVED ROADWAY.
- INLET PROTECTION WILL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVED FLOWS FROM THE DISTURBED AREAS.
- ALL OFF-SITE BORROW SITES MUST HAVE A SEPARATE NPDES PERMIT.
- THE CONTRACTOR WILL PROVIDE A PORTABLE TOILET IN AN AREA THAT IS NOT ADJACENT TO A WATERWAY OR STORM DRAINAGE.
- THE CONTRACTOR WILL PROVIDE A PLACE FOR CONCRETE TRUCKS TO WASHOUT AND THE WASHOUT IS TO BE BURIED ONSITE UNTIL CONSTRUCTION IS COMPLETE. WHEN CONSTRUCTION IS COMPLETE THE WASTE IS TO BE HAULED OFF TO A LANDFILL.
- THE LOCATION OF ANY POSSIBLE STOCKPILES, OFFSITE MATERIAL, WASTE, BORROW, OR CONSTRUCTION EQUIPMENT STORAGE/LAYDOWN AREAS SHALL BE WITHIN THE LIMITS OF DISTURBANCE, ALONG WITH ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES.
- THE INSTALLATION OF UTILITIES (CABLE, ELECTRICAL, NATURAL GAS, WATER, SEWER, ETC.) ARE TO BE WITHIN THE PERMITTED LIMITS OF DISTURBANCE. ANY PROPOSED INSTALLATION OUTSIDE OF THESE AREAS WILL REQUIRE A PLAN MODIFICATION TO THE PERMIT BEFORE SAID WORK IS DONE.

### GENERAL NOTES

- REFERENCE IS MADE TO THE FOLLOWING:
  - TOPOGRAPHIC SURVEY PREPARED BY GEL ENGINEERING LLC, DATED FEBRUARY 08, 2024.
- ALL ELEVATIONS SHOWN REFER TO NAVD 88 DATUM.
- HORIZONTAL COORDINATES REFER TO NAD 83 SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. VERIFY ALL FIELD CONDITIONS AND THE EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THAT SHOWN ON THE PLANS, STOP WORK AND NOTIFY THE ENGINEER.
- ALL WORK FOR THE PROJECT SHALL CONFORM TO THE PROJECT SPECIFICATIONS FOUND IN THE PROJECT MANUAL (CONTRACT DOCUMENTS AND SPECIFICATIONS).
- CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT AND STAKING OF THE PROPOSED SITE AND LIMITS OF WORK.
- ANY UTILITIES OR FACILITIES DAMAGED DURING THE PROJECT BY THE CONTRACTOR'S PERSONNEL OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE. HAND DIGGING TO PROTECT UTILITIES FROM DAMAGE SHOULD BE ANTICIPATED.
- THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- ALL DEMOLITION DEBRIS, INCLUDING CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND SPECIFICATIONS, LATEST REVISION.
- PROMPTLY INFORM THE ENGINEER OF ANY ERROR OR DISCREPANCIES DISCOVERED IN THE DRAWINGS OR SPECIFICATIONS OR CONFLICTS BETWEEN THE DRAWING AND SPECIFICATIONS IN ORDER FOR CORRECTIONS TO BE MADE.
- ALL WORK AND MATERIALS MUST CONFORM WITH CLEMSON UNIVERSITY, PICKENS COUNTY AND SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL (SCDHEC) REGULATIONS AND SPECIFICATIONS, LATEST REVISIONS AT THE BEGINNING OF CONSTRUCTION.
- KEEP ALL ADJACENT AREAS TO THE LIMITS OF WORK CLEAN AND FREE OF DEBRIS/MATERIALS/EQUIPMENT AT ALL TIMES.
- CONTRACTOR RESPONSIBLE FOR PREPARING AND OBTAINING APPROVAL OF ALL TRAFFIC CONTROL PLANS AND LAYOUT AS REQUIRED FOR THE DURATION OF THE PROJECT.
- ANY POSSIBLE STOCKPILES, OFFSITE MATERIAL, WASTE, BORROW, OR CONSTRUCTION EQUIPMENT STORAGE / LAYDOWN AREAS SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE.
- THE CONCRETE WASHOUT SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE.

### GRADING AND EROSION CONTROL NOTES:

- EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED PRIOR TO INSTALLATION OF ANY NEW PIPE LINES OR GRADING OPERATIONS.
- WHEN GRADING BETWEEN CONTOURS AND BETWEEN POINTS OF SPOT ELEVATIONS, GRADE ON A UNIFORM SLOPE. PROPOSED GRADES SHOWN ARE FINAL SURFACE ELEVATIONS.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ON ALL FINISHED GRADE SURFACES.
- EACH SECTION OF STORM DRAINAGE PIPE SHALL BE LAID TO SPECIFIED GRADE AND LAID UPGRADE.
- ALL VEGETATION TOPSOIL SHALL BE STRIPPED AND STOCKPILED PRIOR TO PLACING FILL, PROTECT STOCKPILE FROM EROSION.
- CONTRACTOR SHALL, FOR ALL GRASSSED AREAS, BE RESPONSIBLE FOR REPLACING ERODED SOIL AND GRASS SEED UNTIL AN APPROVED STAND OF GRASS IS ESTABLISHED.
- PROPOSED FILL SOILS SHALL BE SUITABLE MATERIAL AND FREE OF ORGANIC MATERIAL, RUBBLE, DEBRIS, AND HIGHLY PLASTIC CLAYS OR SILTS.
- REMOVE ALL ORGANIC AND UNSUITABLE MATERIAL (MUCK AND/OR NON-COMPACTABLE MATERIAL) FROM AREAS TO BE FILLED.
- CONTRACTOR SHALL, BEFORE BEGINNING GRADING WORK ON SITE, STAKE SILT FENCE AND INSTALL ALL PERIMETER EROSION CONTROLS AS SHOWN IN THESE PLANS.
- CONTRACTOR SHALL BE AWARE OF EXISTING UTILITY LINES DURING PIPE LINE INSTALLATION. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES SUCH AS THE LOCAL ELECTRIC COMPANY, AT&T, ETC. FOR LOCATION OF OTHER UTILITIES NOT SHOWN ON PLAN. CALL PALMETTO TO UTILITIES PROTECTION SERVICES (SC811) FOR UNDERGROUND UTILITY LINES LOCATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- ALL NEWLY CONSTRUCTED SLOPES WHICH ARE STEEPER THAN OR EQUAL TO 2.5 TO 1 MUST BE STABILIZED BY INSTALLATION OF EROSION CONTROL MATTING. OTHER AREAS SUCH AS CHANNEL BOTTOMS, CHANNEL SIDESLOPES, AND SLOPES NEAR SENSITIVE WETLAND AREAS MAY ALSO REQUIRE EROSION CONTROL MATTING WHERE SHOWN ON PLANS. USE NORTH AMERICAN GREEN (NAG) ROLLMAX SC150 OR APPROVED EQUAL WHERE CHANNEL PROTECTION/EROSION CONTROL MATTING IS SPECIFIED ON THE PLANS UNLESS OTHER SPECIFIC MATERIAL IS CALLED OUT ON PLAN SHEET. EQUAL PRODUCTS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES AS MAY BE REQUIRED TO CONTROL SOIL EROSION DURING CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE SITE IMPROVEMENTS ARE COMPLETED.
- ALL AREAS OUTSIDE OF THE LIMITS OF WORK WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEEDED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- INSTALL PERMANENT VEGETATIVE COVER AND THE LONG-TERM EROSION PROTECTION MEASURES OR STRUCTURES AS SOON AS PRACTICAL IN THE DEVELOPMENT PROCESS.
- ALL DISTURBED AREAS NOT PAVED SHALL BE GRASSSED OR LANDSCAPED. USE TEMPORARY PLANT COVER, MULCHING, AND/OR STRUCTURES TO CONTROL RUNOFF AND PROTECT AREA SUBJECT TO EROSION DURING CONSTRUCTION.
- ALL SEDIMENT AND EROSION CONTROLS ARE TO BE INSPECTED AT LEAST ONCE EVERY CALENDAR WEEK AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD. MAINTENANCE OF SEDIMENT TRAPPING DEVICES SHALL BE PERFORMED AS NECESSARY PER THESE INSPECTIONS. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY.
- ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION TO CONTROL EROSION AND/OR OFF SITE SEDIMENTATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE STABILITY OF ALL GRADED AND/OR CLEARED AREAS UNTIL PERMANENT GROUND COVER IS ESTABLISHED. ANY AREAS DAMAGED BY EROSION SHALL BE REPAIRED TO ITS ORIGINAL CONDITION AND PROTECTED FROM FURTHER EROSION AT NO ADDITIONAL COST TO THE OWNER.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETED AND THE SITE STABILIZED.
- ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH "SCDHEC STORM WATER MANAGEMENT & SEDIMENT CONTROL BMP HANDBOOK FOR LAND DISTURBANCE ACTIVITY".
- ALL DISTURBED AREAS, INCLUDING THE CONTRACTORS STAGING AREA, HAUL ROUTES, GRADING LIMITS, ETC., SHALL BE RESTORED TO A SMOOTH LINE AND GRADE WITH POSITIVE DRAINAGE. THE CONTRACTOR SHALL PERMANENTLY SEED ALL DISTURBED AREAS.
- CONTRACTORS ARE REQUIRED TO HAVE RAIN GAUGES AT THE CONSTRUCTION SITE AND THE RAIN TOTALS DOCUMENTED FOR REVIEW BY SCDHEC.
- THE INSTALLATIONS OF UTILITIES (CABLE, ELECTRICAL, NATURAL GAS, WATER, SEWER, ETC.) ARE TO BE WITHIN THE PERMITTED LIMITS OF DISTURBANCE AND THAT INSTALLATION OUTSIDE OF THESE AREAS WILL REQUIRE A MODIFICATION TO THE PERMIT.
- THE STABILIZATION OF CONVEYANCE CHANNELS ARE TO BE COMPLETED WITHIN 7 DAYS OF CHANNEL CONSTRUCTION (IF THERE ARE CHANNELS).



Project



### NEWBERRY COUNTY WHITMIRE CITY GYM RENOVATION

Project Number 20231101.00.GV  
Drawn By HMZ  
Checked By JHE  
Date 20 DEC. 2024

Revisions

Drawing

### GENERAL NOTES (SHEET 1 OF 2)

# C200



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.

Temporary Seeding - Upstate													
Species	lbs./ac	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Browntop Millet (Alone)	40												
Browntop Millet (Mix)	10												
Rye Grain (Alone)	56												
Rye Grain (Mix)	10												
Rye Grass (Alone)	50												
Rye Grass (Mix)	8												
For Steep Slopes/Cut Slopes													
Weeping Lovegrass (Alone)	4												
Weeping Lovegrass (Mix)	2												

Permanent Seeding - Upstate													
Species	Lbs/Ac	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Bahia Grass (Alone)	40												
Bahia Grass (Mix)	30												
Bermuda Grass (hulled) (Alone)	8-12												
Bermuda Grass (hulled) (Mix)	4-6												
Fescue, Tall (KY31) Alone	40												
Fescue, Tall (KY31) mix	20												
Sericea Lespedeza (Scarified) Alone or Mix (inoculate with El, Inoculant	40												
Ladino Clover (mix only) Inoculate with AB Inoculant	2												
For Steep Slopes/Cut Slopes													
Weeping Lovegrass (Alone)	4												
Weeping Lovegrass (Mix)	2												
Crownvetch (Mix) (Inoculate with Type M Inoculant	8-10												

GRASS SEEDING NOTES / SCHEDULES

1.

AREAS TO BE GRASSED SHALL BE DEFINED AS ALL AREAS OF SITE WITHIN THE GRADING LIMITS AND NOT OCCUPIED BY PAVING, CRUSHED STONE SURFACING OR STRUCTURES. GRASSING SHALL INCLUDE FINAL SHAPING, LIMING, FERTILIZING AND SEEDING OR SODDING.
2.

SEEDS SHALL BE MIXTURE AS APPROVED BY THE ENGINEER AND SHALL MEET REQUIREMENTS OF SEED LAWS OF THE STATE AND THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER FEDERAL SEED ACT IN EFFECT ON DATE BIDS ARE RECEIVED. SEED SHALL BE DELIVERED IN STANDARD CONTAINERS. SEED WHICH HAS BECOME WET, MOLDY OR DAMAGED IN TRANSIT OR STORAGE WILL NOT BE ACCEPTABLE.
3.

SPREAD SEED AT A RATE AS NOTED ON THE DRAWINGS/SPECIFICATIONS.
4.

AREAS THAT REQUIRE RE-FERTILIZATION AND/OR RE-SEEDING WILL BE DESIGNATED BY THE ENGINEER. WHEN ANY PORTION OF SURFACE BECOMES GULLED OR OTHERWISE DAMAGED FOLLOWING SEEDING, OR SEEDLINGS HAVE BEEN WINTER-KILLED OR OTHERWISE DESTROYED, AFFECTED PORTION SHALL BE REPAIRED TO RE-ESTABLISH CONDITION AND GRADE OF SOIL PRIOR TO SEEDLING AND SHALL BE RE-SEEDED AS SPECIFIED ABOVE.
5.

ALL DISTURBED AREAS ARE TO BE GRASSED IMMEDIATELY AFTER CONSTRUCTION IN THE AREA. AT NO TIME WILL AN AREA BE LEFT BARE FOR MORE THAN 14 DAYS AFTER COMPLETION OF CONSTRUCTION.
6.

PERMANENT GRASS SHALL BE PROVIDED FOR ALL DISTURBED AREAS. SEED SHALL BE A MINIMUM 90% PURITY AND 80% GERMINATION. AREAS TO HAVE GRASS APPLIED SHALL BE SCARIFIED CULTIVATED TO A DEPTH OF 3 INCHES, WITH ALL CLODS OR CLUMPS BROKEN UP AND FOREIGN MATERIAL AND DEBRIS REMOVED. FERTILIZER AND LIME SHALL BE THOROUGHLY WORKED INTO THE SOIL, AND THE SURFACE RAKED SMOOTH BEFORE APPLYING SEED. SEED SHALL BE APPLIED EVENLY AT THE MINIMUM RATE AND RAKED IN LIGHTLY.
7.

CONTRACTOR SHALL WATER AS NEEDED UNTIL GRASS IS ESTABLISHED.
8.

ALL DISTURBED AREAS SHALL BE HYDROSEEDDED UNLESS SHOWN ON PLANS TO RECEIVE SODDING OR COMPOST BLANKET.

DESIGNER CERTIFICATION

" I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000."

SEQUENCE OF CONSTRUCTION

EROSION CONTROL SEQUENCE

1.

RECEIVE NPDES COVERAGE FROM SCDHEC AND/OR LOCAL MS4.
2.

CONDUCT ON-SITE PRE-CONSTRUCTION MEETING.
3.

NOTIFY SCDES EQC REGIONAL EQC OFFICE 48 HOURS PRIOR TO BEGINNING LAND DISTURBANCE ACTIVITIES. MAY ALSO REQUIRE LOCAL REGULATORY NOTIFICATION.
4.

CLEARING AND GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF TEMPORARY CONSTRUCTION ENTRANCE AND PERIMETER CONTROLS. ONCE INSTALLED CLEAR AND GRUB AREAS FOR PRELIMINARY EROSION CONTROL MEASURES.
5.

INSTALL TEMPORARY EROSION CONTROLS (SILT FENCE, INLET PROTECTION, ETC.).
6.

CLEAR AND GRUB ALL WOODED AREAS LOCATED WITHIN THE LIMITS OF DISTURBANCE.
7.

BEGIN PERFORMING SCDES SWPPP INSPECTIONS AT BEGINNING OF LAND DISTURBING ACTIVITIES AND CONTINUE UNTIL SITE IS PERMANENTLY STABILIZED.
8.

PREPARE STAGING, OPERATIONS AND STOCKPILE AREAS.
9.

STRIP AND STOCKPILE TOPSOIL AS NOTED IN THE PLANS AND SPECIFICATIONS.
10.

BEGIN GRADING / EARTHWORK OPERATIONS.
11.

INSTALL STORM DRAINAGE IN CONJUNCTION WITH GRADING OPERATIONS. INSTALL INLET PROTECTION AND EROSION CONTROL MEASURES AS REQUIRED OR NEEDED AS STORM DRAINAGE IS INSTALLED.
12.

AFTER CONSTRUCTION OF SITE IMPROVEMENTS WITHIN AN AREA, BEGIN STABILIZATION BY PREPARING PROPER SEEDBED AND BEGIN PERMANENT GRASSING.
13.

REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER AREA DRAINING TO STRUCTURE IS STABILIZED .
14.

UPON COMPLETE STABILIZATION OF THE SITE, REMOVE TEMPORARY EROSION CONTROL MEASURES INDICATED. ONCE REMOVED, THE RESULTING DISTURBED AREA SHALL BE PERMANENTLY STABILIZED. REMOVE SEDIMENT BUILDUP FROM THE PONDS/BASINS AND STORMWATER CONVEYANCE SYSTEM.
15.

CONDUCT FINAL INSPECTION WALKTHROUGH, ADDRESS ANY OUTSTANDING STABILIZATION ITEMS.
16.

SUBMIT NOTICE OF TERMINATION (NOT) TO SCDHEC ONCE THE SITE ACHIEVES A 70% UNIFORM STABILIZATION ACROSS THE ENTIRE PROJECT.

CEPSCI / SWPPP INSPECTIONS

THE CONTRACTOR IS RESPONSIBLE FOR ALL CEPSCI (SWPPP) INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES, PER THE PERMIT REQUIREMENTS, FOR THE FULL DURATION OF THE PROJECT THROUGH APPROVAL OF THE NOTICE OF TERMINATION AND PROJECT CLOSEOUT.



5 LEGACY PARK ROAD  
SUITE A  
GREENVILLE, SC 29607  
(716) 864-990-0180

WWW.WKDICKSON.COM

Seal



C.O.A.



01/13/2025



DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 20231101.00.GV  
Drawn By HMZ  
Checked By JHE  
Date 20 DEC. 2024

Revisions

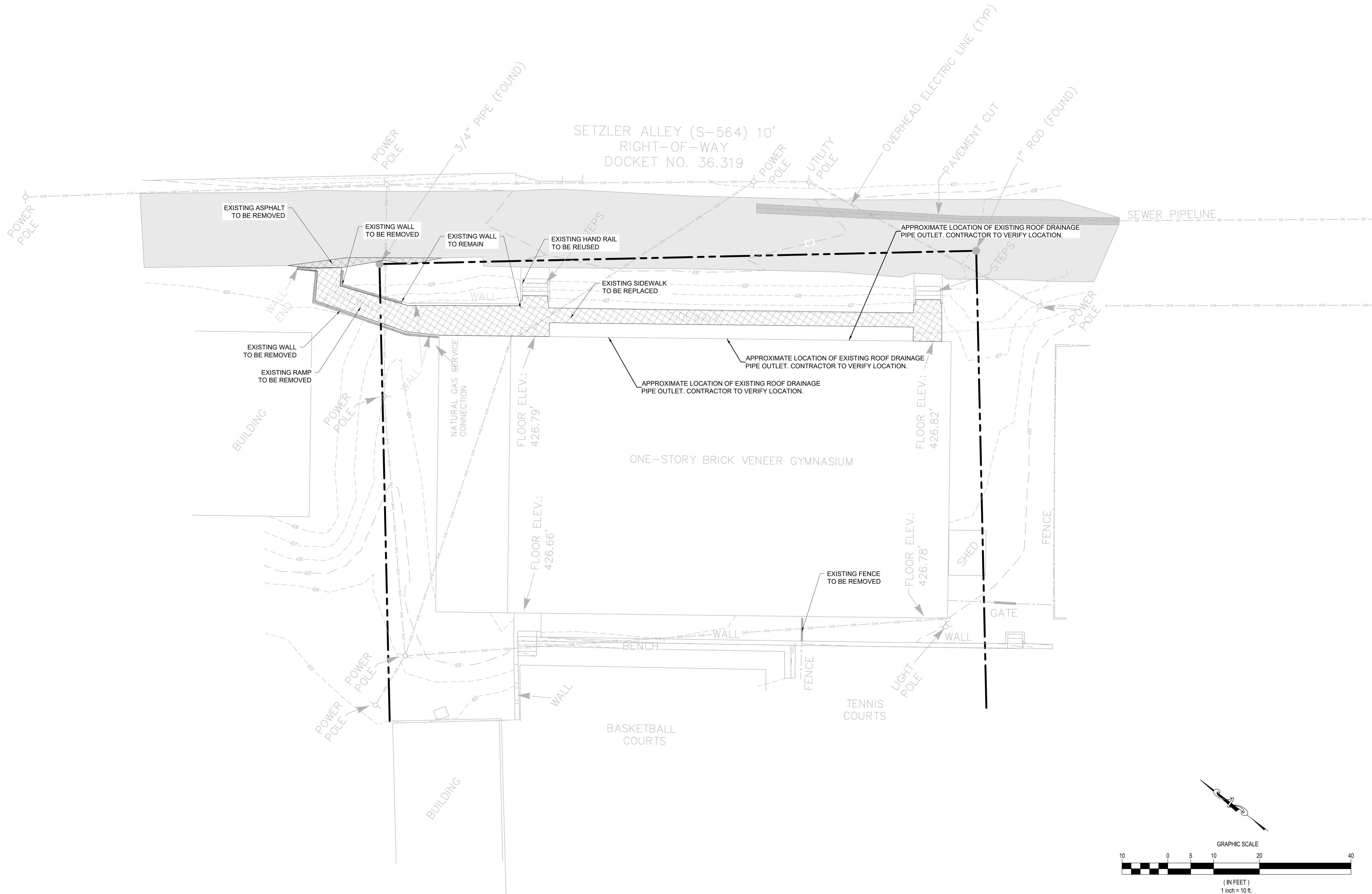
Drawing

GENERAL NOTES  
(SHEET 2 OF 2)

C201



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



5 LEGACY PARK ROAD  
SUITE A  
GREENVILLE, SC 29607  
(716) 864-990-0180

WWW.WKDICKSON.COM

Seal



DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



## NEWBERRY COUNTY WHITMIRE CITY GYM RENOVATION

Project Number 20231101.00.GV  
Drawn By HMZ  
Checked By JHE  
Date 20 DEC. 2024

Revisions

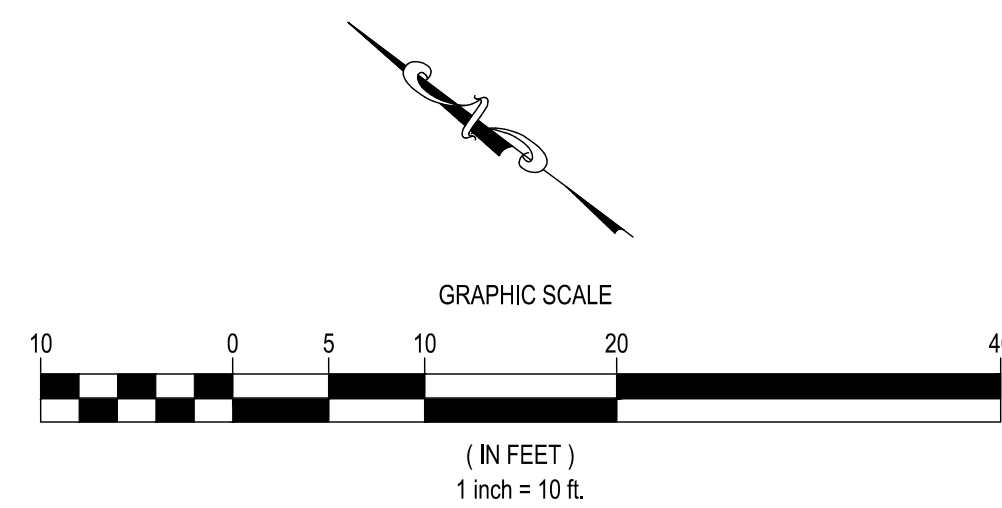
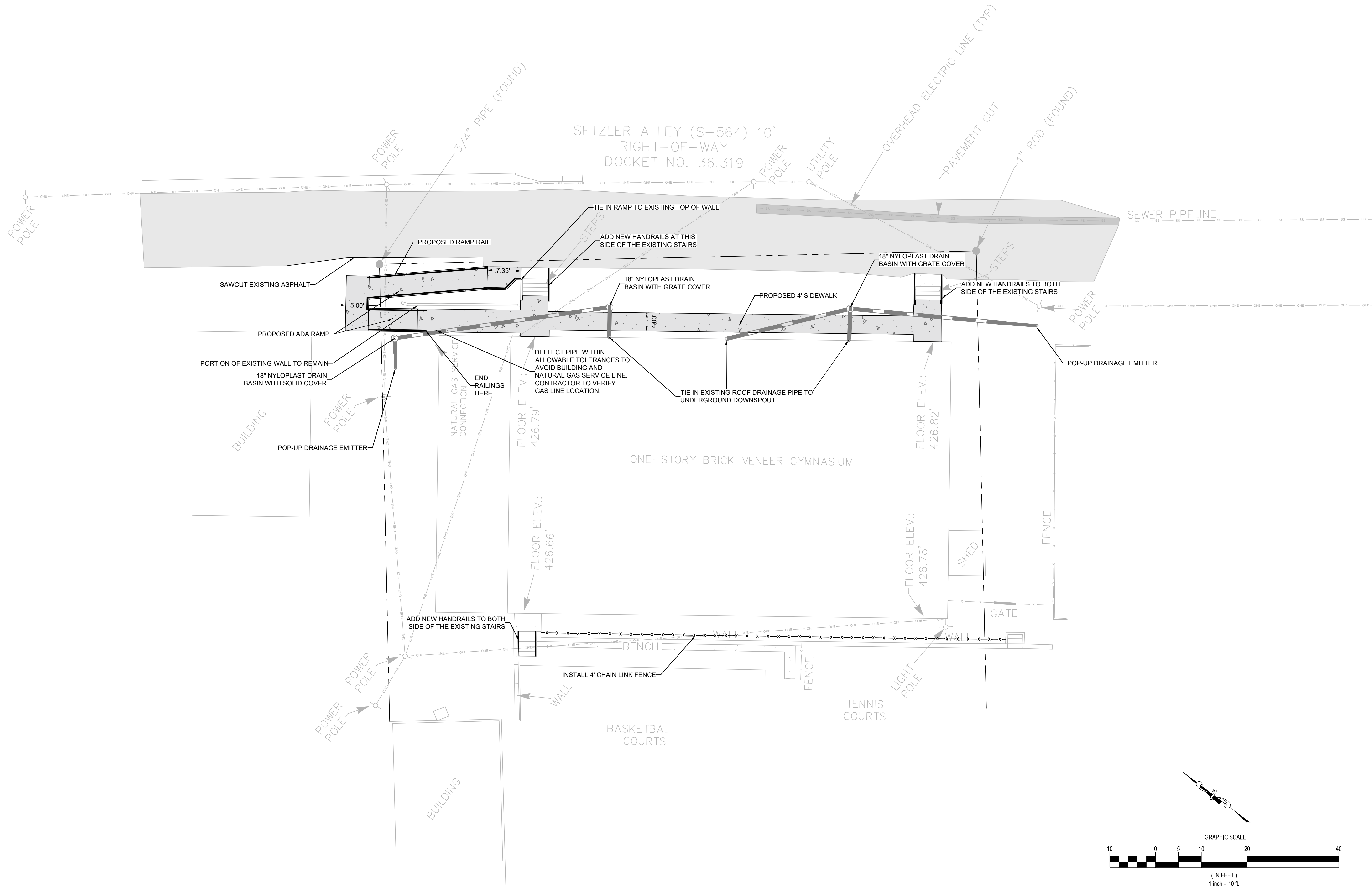
Drawing

EXISTING CONDITIONS  
AND DEMOLITION PLAN

# C300



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



**WK DICKSON**  
community infrastructure consultants  
5 LEGACY PARK ROAD  
SUITE A  
GREENVILLE, SC 29607  
(T) 864-990-0180  
WWW.WKDICKSON.COM

Seal



C.O.A.



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 20231101.00.GV  
Drawn By HMZ  
Checked By JHE  
Date 20 DEC. 2024

Revisions

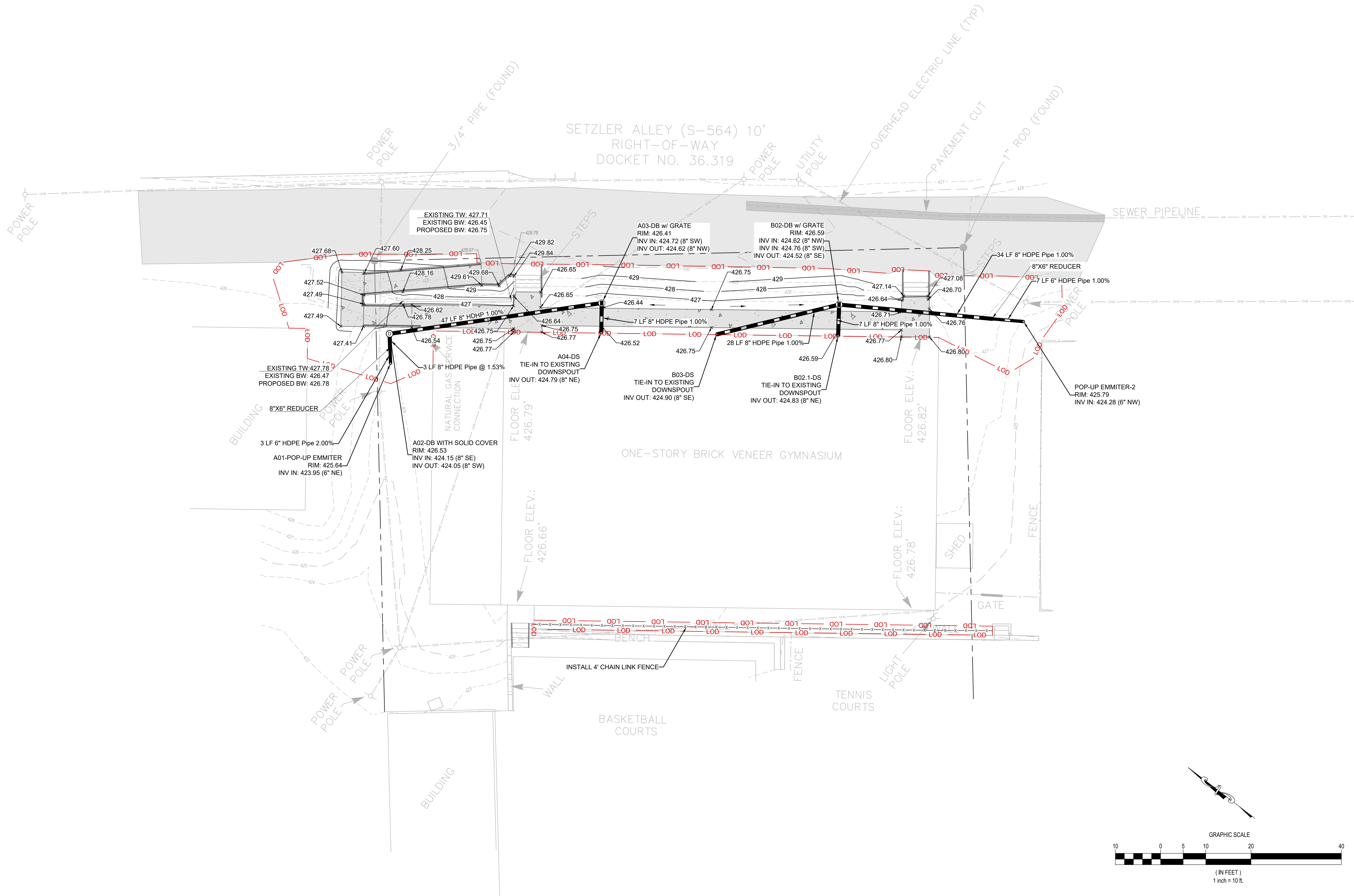
Drawing

**SITE PLANS**

**C400**



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



Seal



C.O.A.



01/13/2025

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 20231101.00.GV  
Drawn By HMZ  
Checked By JHE  
Date 20 DEC. 2024

Revisions

Drawing

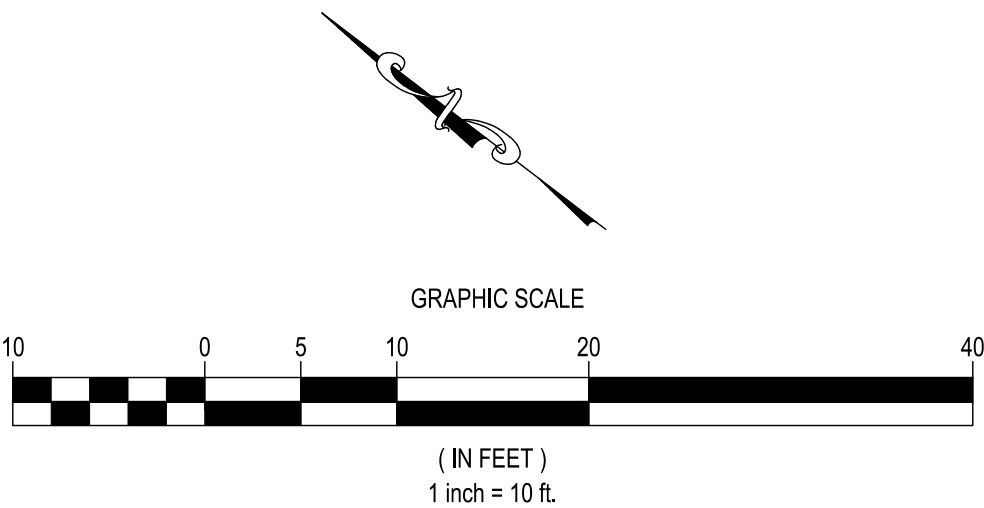
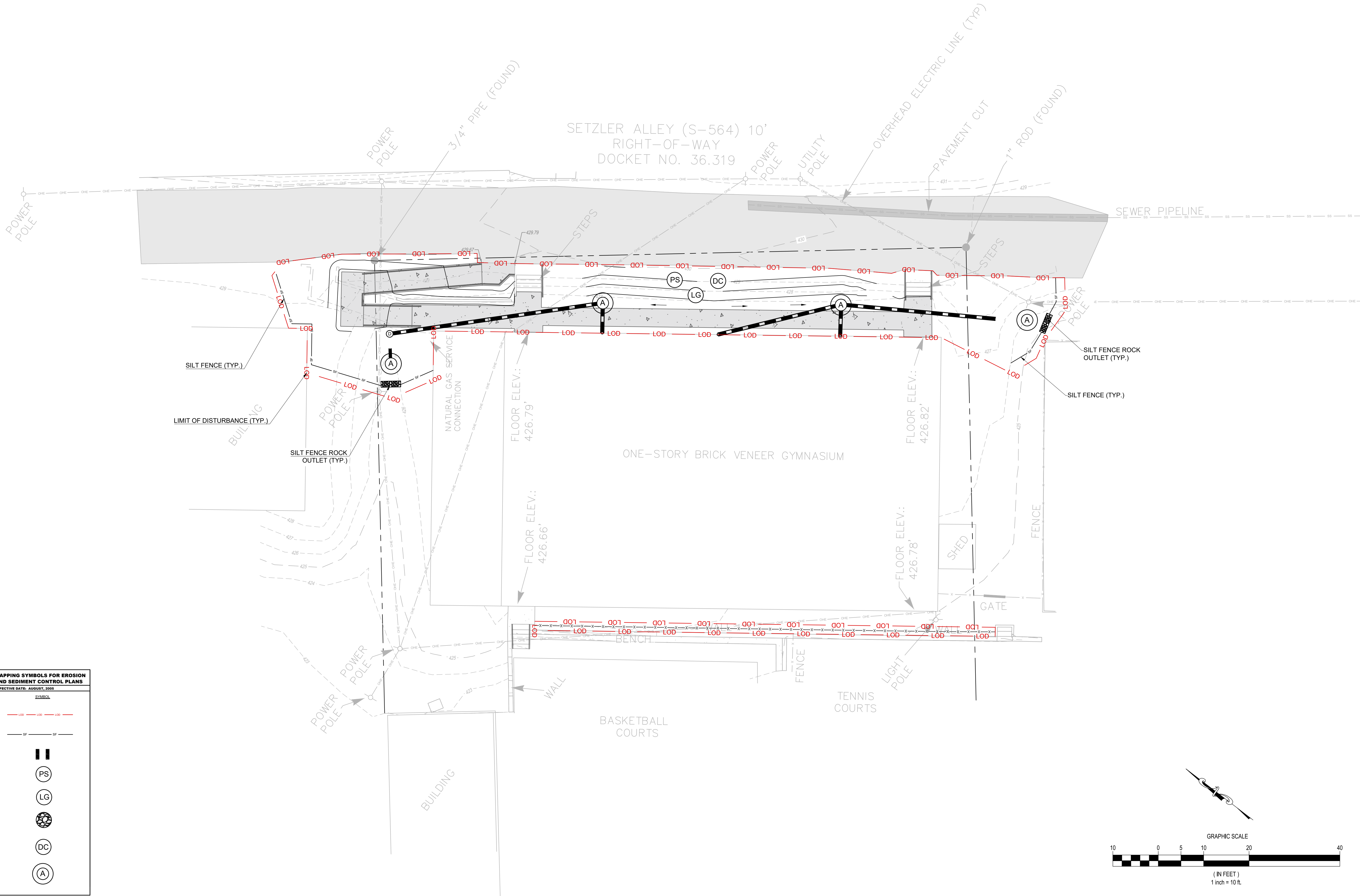
**GRADING PLANS**

**C500**

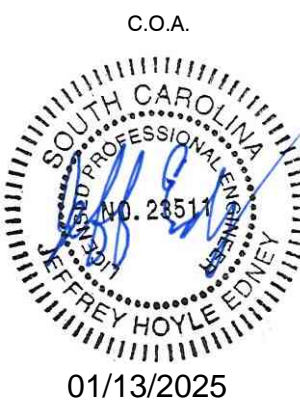


Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.

South Carolina Department of Health and Environmental Control	<b>MAPPING SYMBOLS FOR EROSION AND SEDIMENT CONTROL PLANS</b> <small>EFFECTIVE DATE: AUGUST, 2005</small>
<b>DESCRIPTION</b>	<b>SYMBOL</b>
<b>EROSION PROTECTION</b>	
LIMIT OF DISTURBANCE - 3.38 AC.	LOD LOD LOD LOD
<b>SILT FENCE:</b>	SF SF
COMPOST FILTER SOCK CHECK DAM:	
PERMANENT SEEDING:	PS
LAND GRASSING:	LG
SWAMP:	SWAMP
DIET CONTROL:	DC
TYPE A - SEDIMENT TUBE PILE PROTECTION:	A



Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 20231101.00.GV  
Drawn By HMZ  
Checked By JHE  
Date 20 DEC. 2024

Revisions

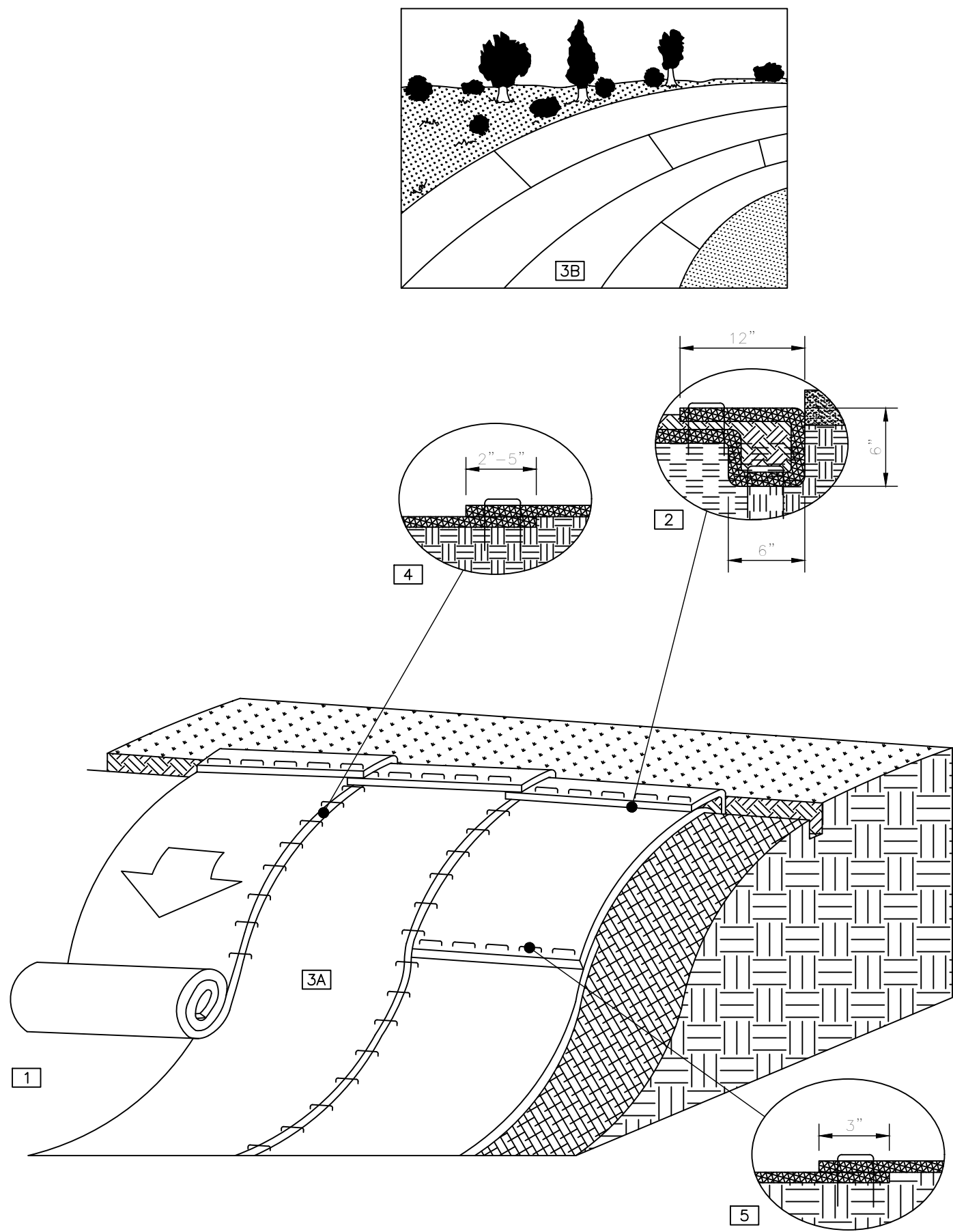
Drawing

**EROSION CONTROL  
PLANS**

**C600**



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



**EROSION CONTROL MATTING**  
NOT TO SCALE

**EROSION CONTROL MATTING INSTALLATION:**

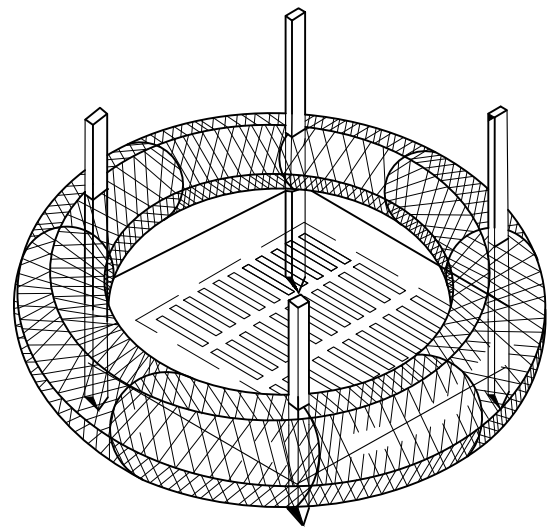
1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6"(15CM) DEEP X 6"(15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12"(30CM) PORTION OF RECPs BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12"(30CM) APART ACROSS THE WIDTH OF THE RECPs.
3. ROLL THE RECPs (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5-12.5CM) OVERLAP DEPENDING ON THE RECPs TYPE.
5. CONSECUTIVE RECPs SPLICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3"(7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12"(30CM) APART ACROSS ENTIRE RECPs WIDTH.

**NOTES:**

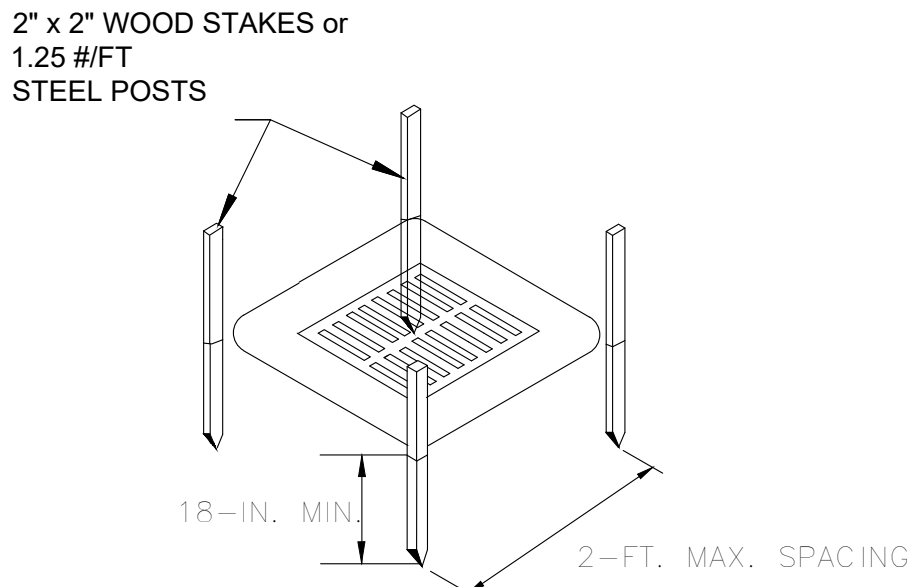
1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6"(15CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECPs.
2. ALL SLOPES WITH SLOPE GREATER THAN 3:1 THAT CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED SHALL BE STABILIZED WITH NA GREEN SC 150 EROSION CONTROL MATTING OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.

**MAINTENANCE NOTES:**

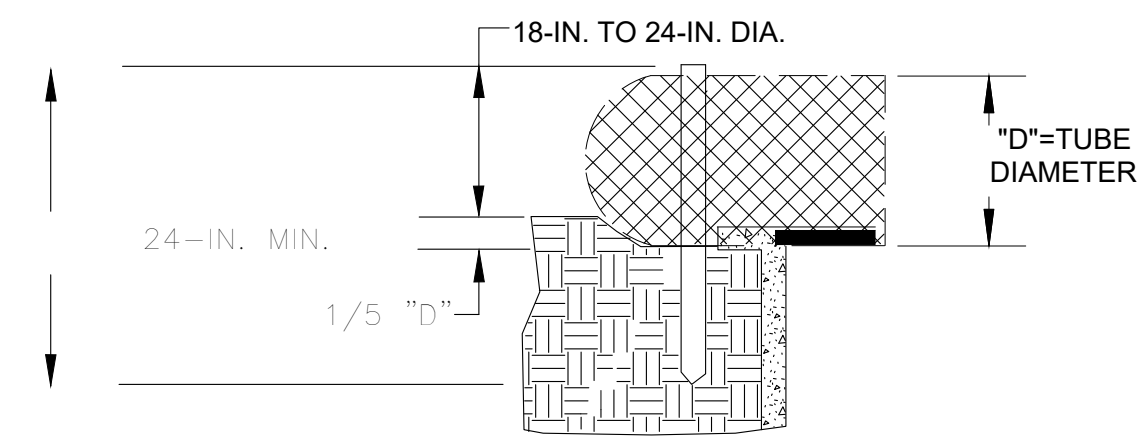
1. INSPECT AREAS PROTECTED BY EROSION CONTROL MATTING FOR DISLOCATION OR FAILURE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH STORM THAT PRODUCES 2" OR MORE OF RAIN.
2. CONDUCT REGULAR INSPECTIONS UNTIL GRASSES ARE FIRMLY ESTABLISHED.
3. ADHERE TO THE PINNING OR STAPLING PATTERN AS SHOWN ON THE MANUFACTURER'S INSTALLATION SHEET. IF THERE IS EVIDENCE THE MATTING IS NOT SECURELY FASTENED TO THE SOIL, REQUIRE EXTRA PINS OR STAPLES TO INHIBIT THE MATTING FROM BECOMING DISLODGED.
4. IF WASHOUT OR BREAKAGE OCCURS, REPAIR ALL DAMAGED AREAS IMMEDIATELY BY RESTORING THE SOIL ON THE SLOPES OR CHANNELS TO ITS FINISHED GRADE. RE-APPLY FERTILIZER AND SEED, AND REPLACE THE APPROPRIATE MATTING MATERIAL AS NEEDED.



**SEDIMENT TUBE INSTALLATION  
DETAIL**



**POST INSTALLATION DETAIL**



**SEDIMENT TUBE BURIAL DETAIL**

**SEDIMENT TUBE INLET PROTECTION  
(DROP INLET / YARD INLET)**  
NOT TO SCALE

**TYPE A - SEDIMENT TUBE INLET PROTECTION**

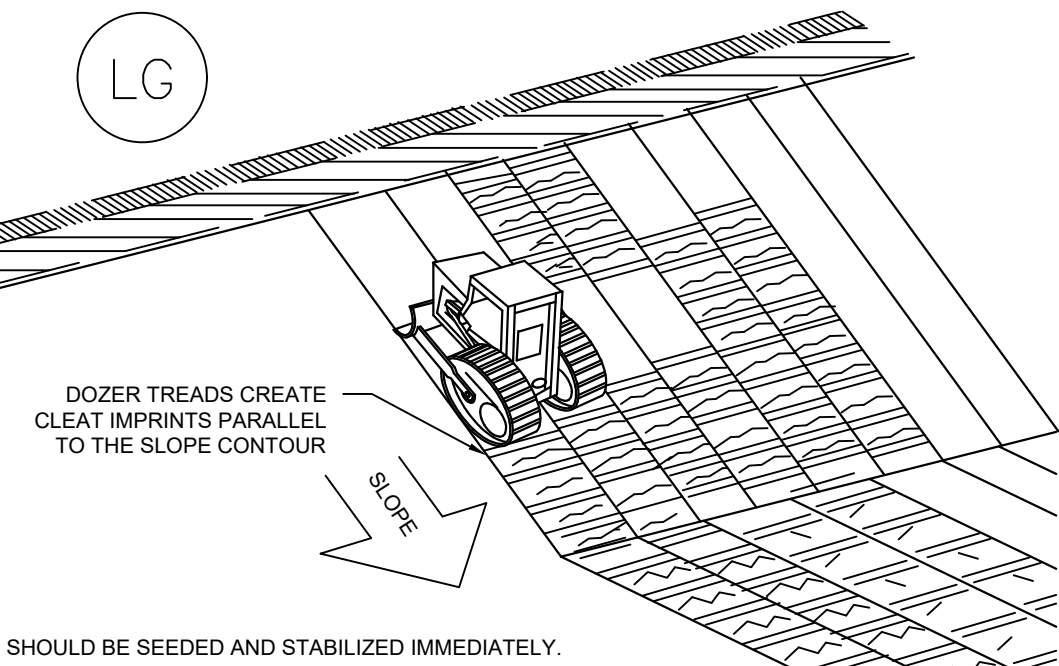
**GENERAL NOTES**

1. Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needle, and leaf mulch-filled sediment tubes are not permitted.
2. The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
3. Sediment tube diameters shall range from 18-inches to 24-inches. Sediment tubes with smaller diameters are prohibited when used as inlet protection.
4. Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
5. Sediment tubes should be staked using wooden oak stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
6. Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
7. The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
8. Sediment tubes should not be stacked on top of one another.
9. Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
10. Install stakes at a diagonal facing incoming runoff.

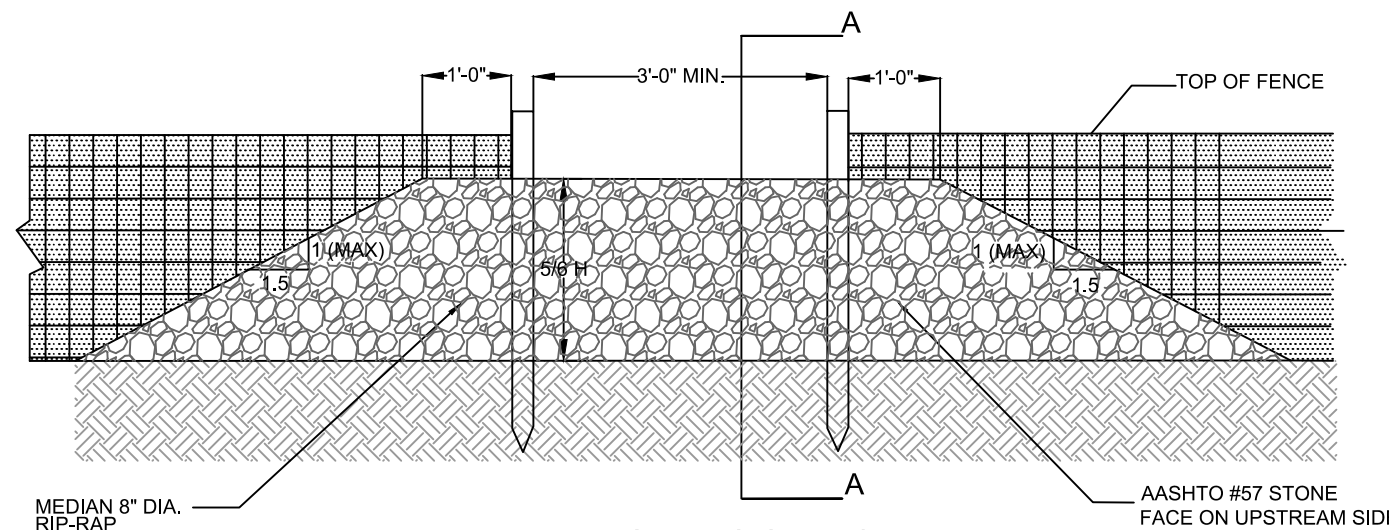
**INSPECTION & MAINTENANCE**

1. The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of sediment tube inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 the depth of the sump.
5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
6. Large debris, trash, and leaves should be removed from in front of tubes when found.
7. Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

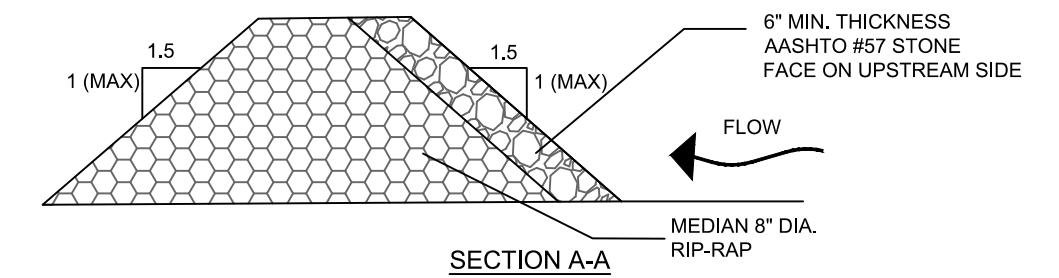
**PLAN SYMBOL**



**SLOPE TRACKING  
NOT TO SCALE**



**ELEVATION - UP-SLOPE FACE**



**SECTION A-A**

**NOTES:**

1. WASHED STONE (#57) TO BE REMOVED AND REPLACED ONCE IT BECOMES CLOGGED WITH SEDIMENT.
2. SEDIMENT TO BE REMOVED WHEN ACCUMULATIONS REACH 1/3 HEIGHT OF SILT FENCE
3. THE KEY TO FUNCTIONAL ROCK OUTLETS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.

**SILT FENCE ROCK OUTLET**  
NOT TO SCALE

**SILT FENCE - POST REQUIREMENTS**

1. SILT FENCE POSTS MUST BE 48-INCH LONG STEEL POSTS THAT MEET, AT A MINIMUM, THE FOLLOWING PHYSICAL CHARACTERISTICS:
  - COMPOSED OF A HIGH STRENGTH STEEL WITH A MINIMUM YIELD STRENGTH OF 50,000 PSI
  - INCLUDE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND A NOMINAL "T" LENGTH OF 1.48-INCHES.
  - WEIGH 1.25 POUNDS PER FOOT (± 8%)
2. POSTS SHALL BE EQUIPPED WITH PROJECTIONS TO AID IN FASTENING OF FILTER FABRIC.
3. STEEL POSTS MAY NEED TO HAVE A METAL SOIL STABILIZATION PLATE WELDED NEAR THE BOTTOM WHEN INSTALLED ALONG STEEP SLOPES OR INSTALLED IN LOOSE SOILS. THE PLATE SHOULD HAVE A MINIMUM CROSS SECTION OF 17-SQUARE INCHES AND BE COMPOSED OF 16 GAUGE STEEL, AT A MINIMUM. THE METAL SOIL STABILIZATION PLATE SHOULD BE COMPLETELY BURIED.
4. INSTALL POSTS TO A MINIMUM OF 24-INCHES. A MINIMUM HEIGHT OF 1- TO 2-INCHES ABOVE THE FABRIC SHALL BE MAINTAINED, AND A MAXIMUM HEIGHT OF 3 FEET SHALL BE MAINTAINED ABOVE THE GROUND.
5. POST SPACING SHALL BE AT A MAXIMUM OF 6-FEET ON CENTER.

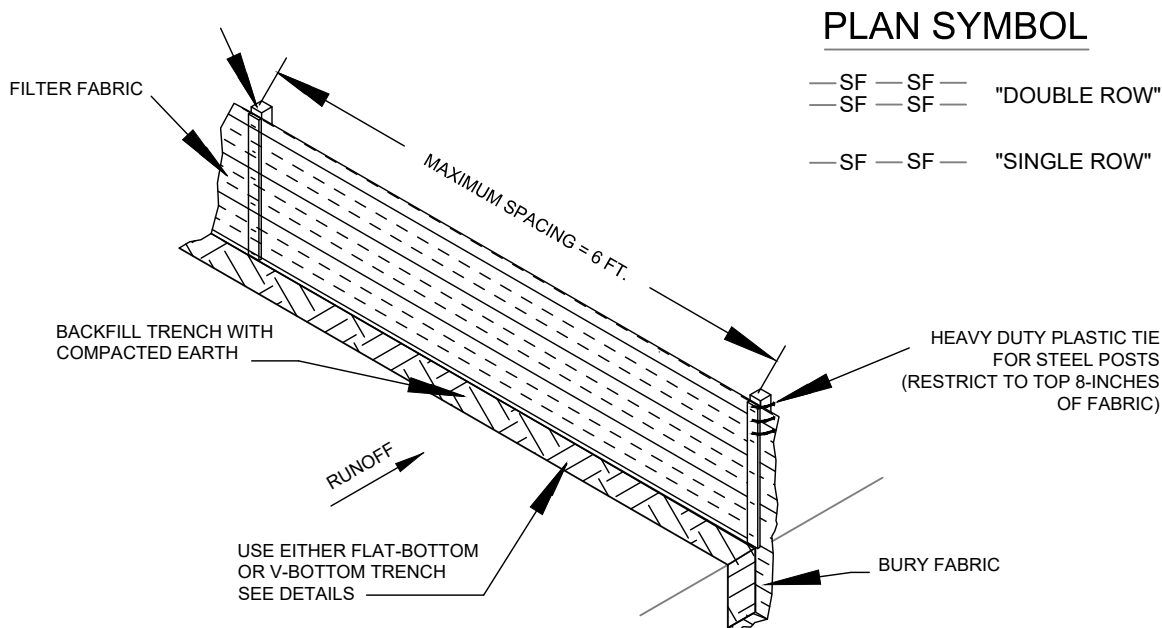
**SILT FENCE - FABRIC REQUIREMENTS**

1. SILT FENCE MUST BE COMPOSED OF WOVEN GEOTEXTILE FILTER FABRIC THAT CONSISTS OF THE FOLLOWING REQUIREMENTS:
  - COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS OF AT LEAST 85% BY WEIGHT OF POLYOLEFINS, POLYESTERS, OR POLYAMIDES THAT ARE FORMED INTO A NETWORK SUCH THAT THE FILAMENTS OR YARNS RETAIN DIMENSIONAL STABILITY RELATIVE TO EACH OTHER;
  - FREE OF ANY TREATMENT OR COATING WHICH MIGHT ADVERSELY ALTER ITS PHYSICAL PROPERTIES AFTER INSTALLATION;
  - FREE OF ANY DEFECTS OR FLAWS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES; AND,
  - HAVE A MINIMUM WIDTH OF 36-INCHES.
2. USE ONLY FABRIC APPEARING ON SC DOT'S QUALIFIED PRODUCTS LISTING (QPL), APPROVAL SHEET #34, MEETING THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE SC DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
3. 12-INCHES OF THE FABRIC SHOULD BE PLACED WITHIN EXCAVATED TRENCH AND TOED IN WHEN THE TRENCH IS BACKFILLED.
4. FILTER FABRIC SHALL BE PURCHASED IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS.
5. FILTER FABRIC SHALL BE INSTALLED AT A MINIMUM OF 24-INCHES ABOVE THE GROUND.

**SILT FENCE INSTALLATION**

**SILT FENCE - INSPECTION & MAINTENANCE**

1. THE KEY TO FUNCTIONAL SILT FENCE IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
2. REGULAR INSPECTIONS OF SILT FENCE SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVEN THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
3. ATTENTION TO SEDIMENT ACCUMULATIONS ALONG THE SILT FENCE IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE SILT FENCE.
5. REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
6. CHECK FOR AREAS WHERE STORMWATER RUNOFF HAS ERODED A CHANNEL BENEATH THE SILT FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED DUE TO RUNOFF OVERTOPPING THE SILT FENCE. INSTALL CHECKS/TIE-BACKS AND/OR REINSTALL SILT FENCE, AS NECESSARY.
7. CHECK FOR TEARS WITHIN THE SILT FENCE. AREAS WHERE SILT FENCE HAS BEGUN TO DECOMPOSE, AND FOR ANY OTHER CIRCUMSTANCE THAT MAY RENDER THE SILT FENCE INEFFECTIVE. REMOVE DAMAGED SILT FENCE AND REINSTALL NEW SILT FENCE IMMEDIATELY.
8. SILT FENCE SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED AND ONCE IT IS REMOVED, THE RESULTING DISTURBED AREA SHALL BE PERMANENTLY STABILIZED.



**PLAN SYMBOL**

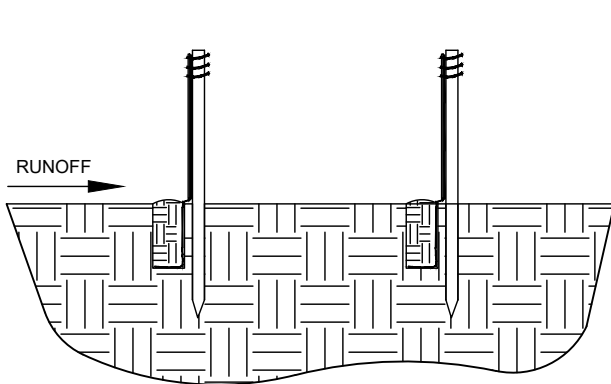
- SF — SF — "DOUBLE ROW"
- SF — SF — "SINGLE ROW"

**SILT FENCE - GENERAL NOTES**

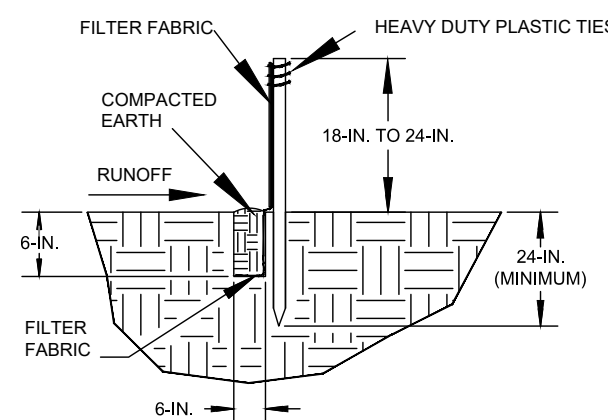
1. DO NOT PLACE SILT FENCE ACROSS CHANNELS OR IN OTHER AREAS SUBJECT TO CONCENTRATED FLOWS. SILT FENCE SHOULD NOT BE USED AS A VELOCITY CONTROL BMP. CONCENTRATED FLOWS ARE ANY FLOWS GREATER THAN 0.5 CFS.
2. MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE SILT FENCE SHALL BE 100-FEET.
3. MAXIMUM SLOPE STEEPNESS (NORMAL [PERPENDICULAR] TO THE FENCE LINE) SHALL BE 2:1.
4. SILT FENCE JOINTS, WHEN NECESSARY, SHALL BE COMPLETED BY ONE OF THE FOLLOWING OPTIONS:
  - WRAP EACH FABRIC TOGETHER AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POST, WITH A 1-FOOT MINIMUM OVERLAP;
  - OVERLAP SILT FENCE BY INSTALLING 3-FEET PASSED THE SUPPORT POST TO WHICH THE NEW SILT FENCE ROLL IS ATTACHED. ATTACH OLD ROLL TO NEW ROLL WITH HEAVY-DUTY PLASTIC TIES, OR,
  - OVERLAP ENTIRE WIDTH OF EACH SILT FENCE ROLL FROM ONE SUPPORT POST TO THE NEXT SUPPORT POST.
5. ATTACH FILTER FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED WITHIN THE TOP 8-INCHES OF THE FABRIC.
6. INSTALL THE SILT FENCE PERPENDICULAR TO THE DIRECTION OF THE STORMWATER FLOW AND PLACE THE SILT FENCE THE PROPER DISTANCE FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.
7. INSTALL SILT FENCE CHECKS (TIE-BACKS) EVERY 50-100 FEET, DEPENDENT ON SLOPE, ALONG SILT FENCE THAT IS INSTALLED WITH SLOPE AND WHERE CONCENTRATED FLOWS ARE EXPECTED OR ARE DOCUMENTED ALONG THE PROPOSED/INSTALLED SILT FENCE.

**SILT FENCE**  
NOT TO SCALE

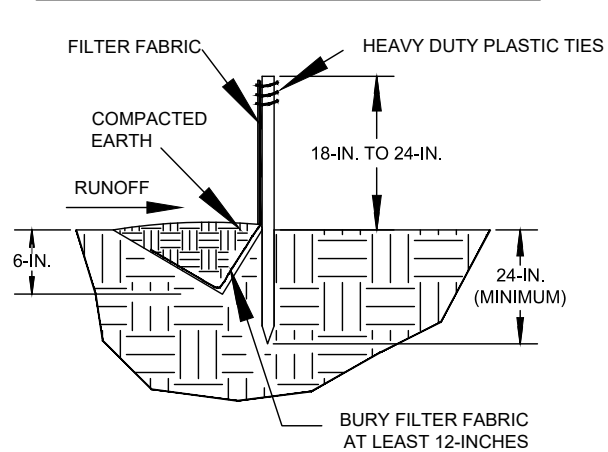
**DOUBLE ROW SILT FENCE DETAIL**



**FLAT-BOTTOM TRENCH DETAIL**



**V-SHAPED TRENCH DETAIL**



**Seal**



C.O.A.



01/13/2025

**Project**



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

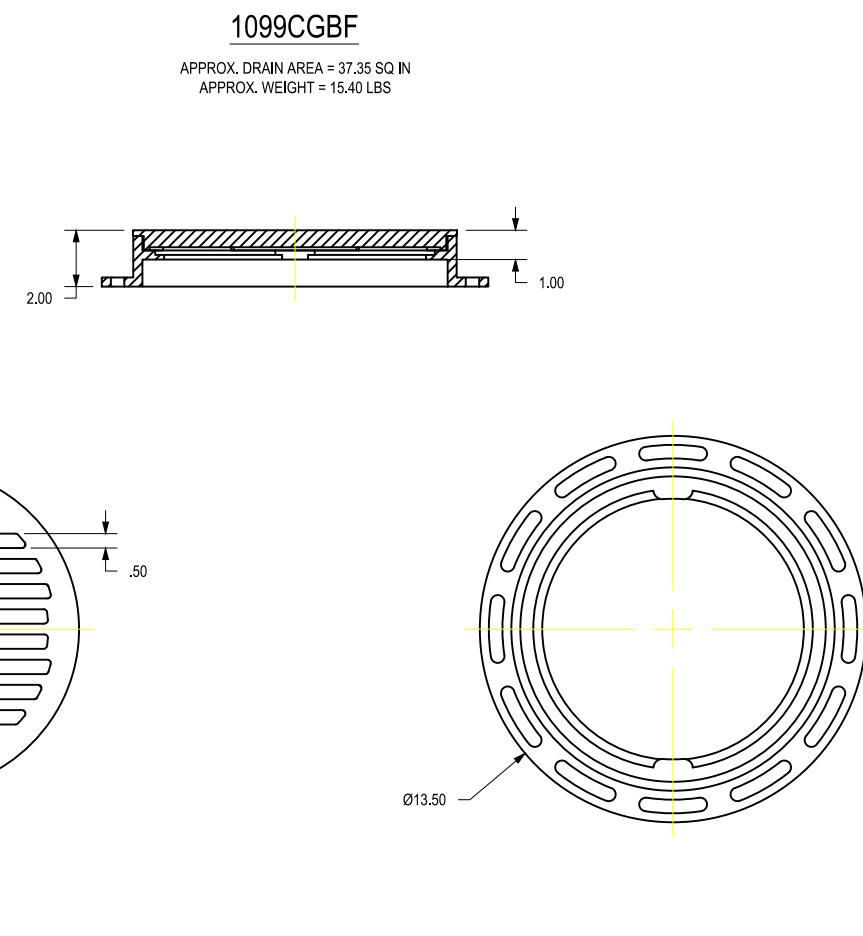
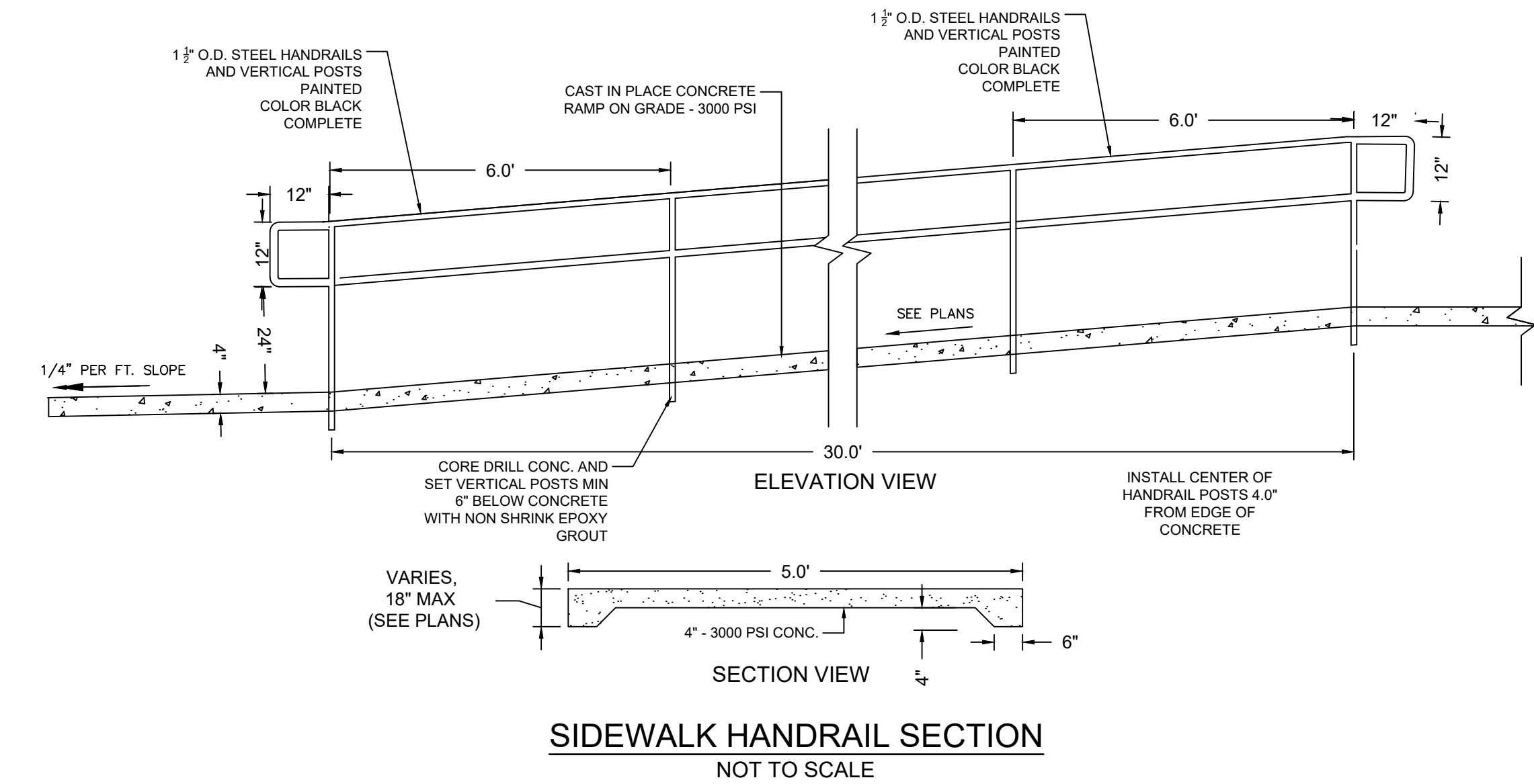
Project Number 20231101.00.GV  
Drawn By HMZ  
Checked By JHE  
Date 20 DEC. 2024


**Revisions**

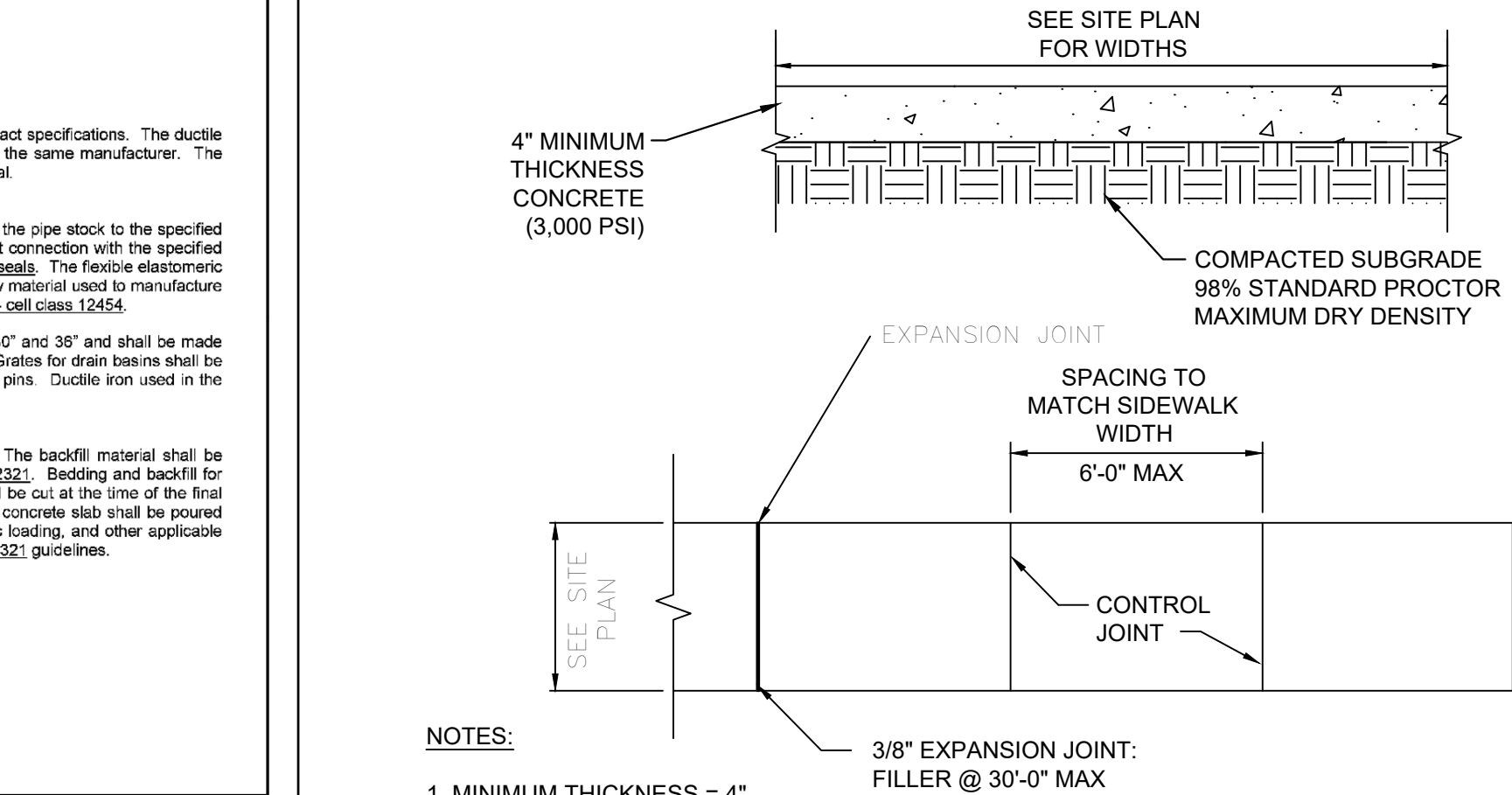
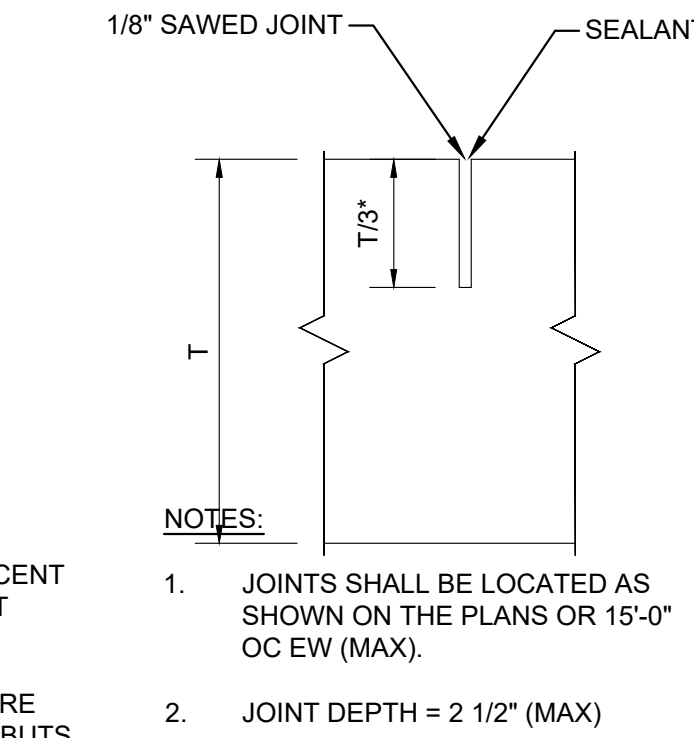
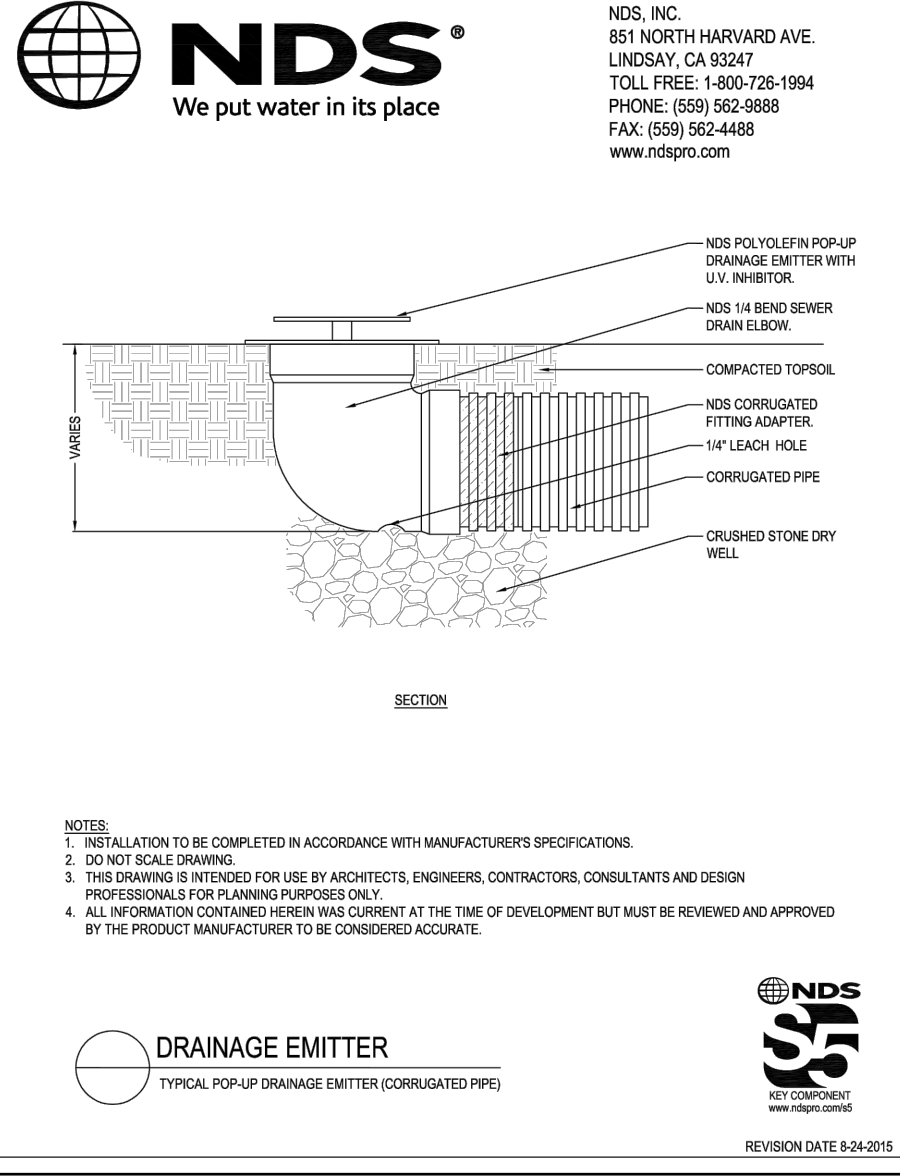
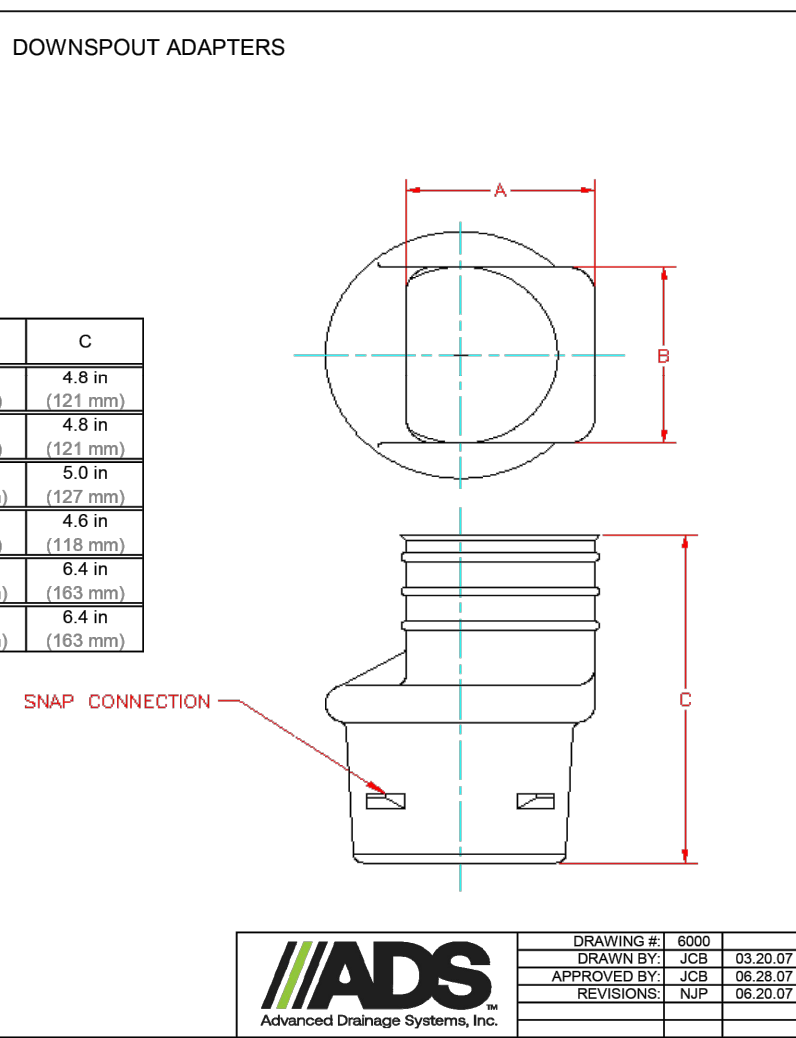
**Drawing**

**EROSION CONTROL  
DETAILS**



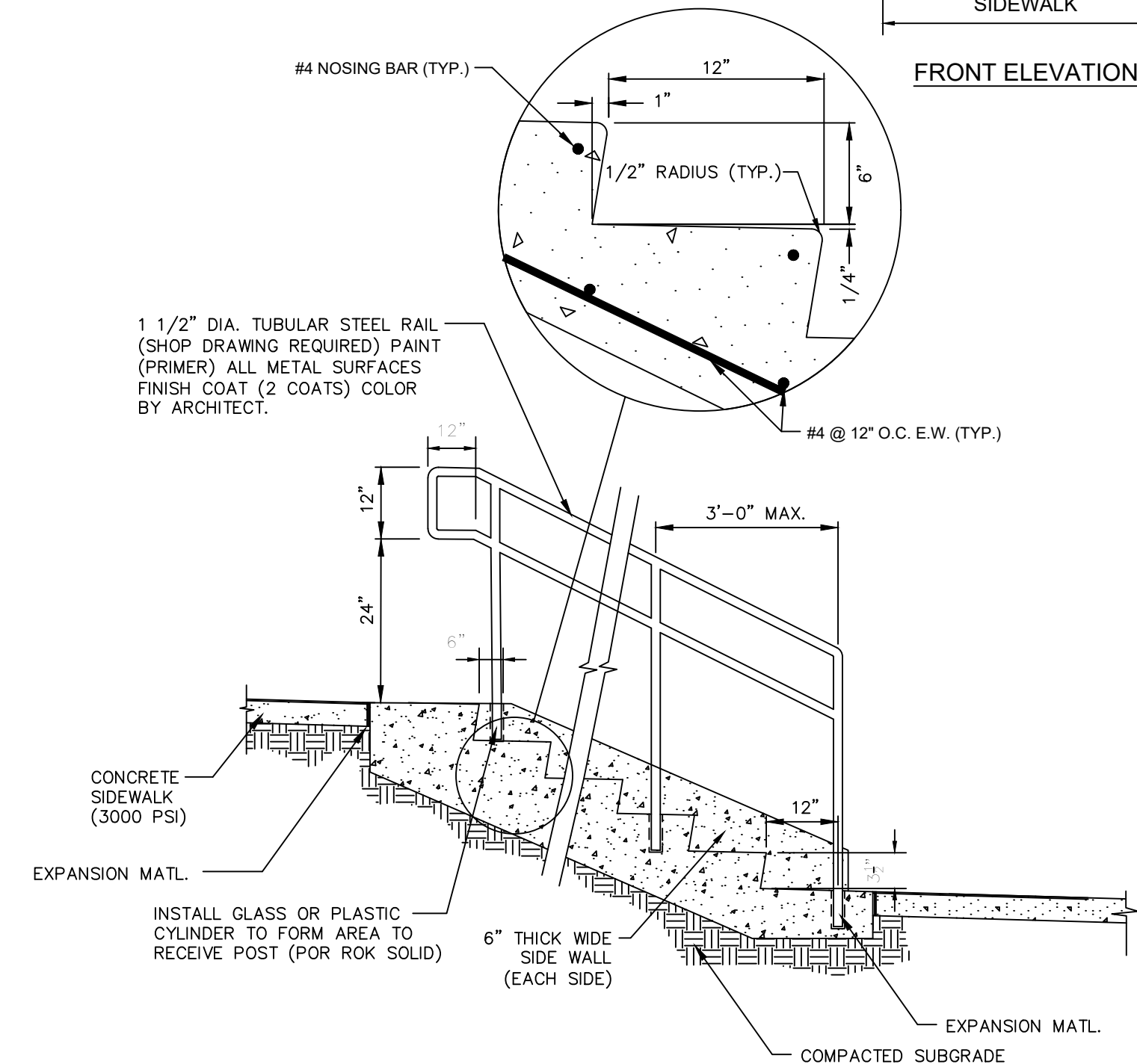
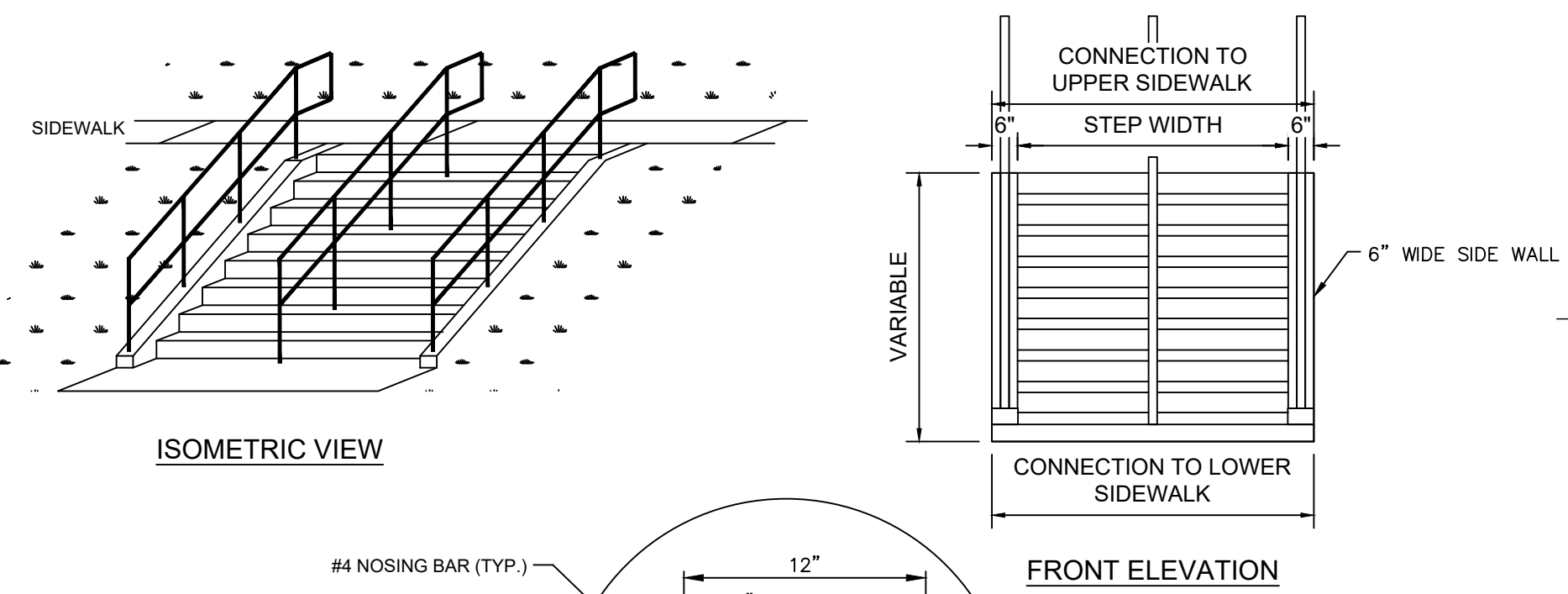


THIS PRINT DISCLOSES SUBJECT MATTER IN RECEIPT NYLOPLAST HAS PROPRIETARY RIGHTS, THE OR POSSESSION OF THIS PRINT DOES NOT CONFER TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM FOR THE DISCLOSURE TO OTHERS IS PROHIBITED, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.				DRAWN BY NMM MATERIAL			
DATE 7-25-11				DUCTILE IRON FRAME BRONZE GRATE		3119 VERONA AVE BUFFALO, NY 20511 PNN (716) 252-443 FAX (716) 252-549 www.nyloplast.com	
APPRO BY NMM				PROJECT NO NAME		TITLE	
DATE 7-25-11						16 IN BRONZE GRATE ASSEMBLY - TYPE B	
DWG SIZE A				SCALE 1:1 SHEET 1 OF 1		DWG NO. 700-110-562 REV A	



- NOTES:**
- 1. MINIMUM THICKNESS = 4".
  - 2. PROVIDE EXPANSION JOINTS @ INTERSECTIONS OF WALKS AND WHERE WALK ABUTTS OTHER STRUCTURES.
  - 3. 3000 PSI MINIMUM CONCRETE FOR 28 DAY STRENGTH.
  - 4. SIDEWALKS TO HAVE BROOM FINISH.
  - 5. ALL JOINTS AND EDGES TO BE TOOLED.
  - 6. CONTROL JOINTS TO BE TOOLED TO A MINIMUM DEPTH OF 1".
  - 7. SMOOTH TROWEL 3" "PICTURE FRAME" EDGE, TYP.

CONCRETE SIDEWALK  
NOT TO SCALE



- NOTES:**

  1. ALL HANDRAILS AND STEPS TO MEET ALL STANDARD BUILDING CODES AND A.D.A. REQUIREMENTS AND REGULATIONS.
  2. HANDRAILS TO BE INSTALLED AS SHOWN ON DRAWINGS.
  3. CENTERLINE OF POSTS SHALL BE 3" FROM EDGE OF STAIRS.
  4. HANDRAIL HEIGHT SHALL BE A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES MEASURED VERTICALLY FROM THE NOSE OF EACH RISER. HANDRAIL SHALL BE CONTINUOUS AND UNIFORM ALONG THE FULL LENGTH OF THE HAND RAIL. (COMMERCIAL AND RESIDENTIAL.)
  5. ALL PORTIONS OF THE STAIRWAY SHALL BE WITHIN 30 INCHES OF A HANDRAIL. OTHERWISE, AN INTERMEDIATE HANDRAIL ALONG THE CENTER OF THE STAIRWAY SHALL BE USED.
  6. HANDRAIL SHALL EXTEND HORIZONTALLY AT LEAST 12 INCHES BEYOND THE TOP OF THE RISER AND CONTINUE TO SLOPE FOR A DEPTH OF 12 INCHES BEYOND BOTTOM RISER.
  7. THE MINIMUM CLEARANCE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE 1.5 INCHES.

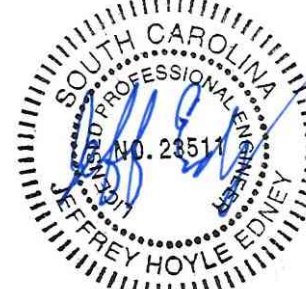
## CONCRETE STEP AND HANDRAIL DETAIL

SCALE: 1/2" = 1'-0"



5 LEGACY PARK ROAD  
SUITE A  
GREENVILLE, SC 29607  
(t) 864-990-0180

WWW.WKDICKSON.COM



01/13/2025



DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
[www.DP3architects.com](http://www.DP3architects.com)



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 20231101.00.GV  
 Drawn By HMZ  
 Checked By JHE  
 Date 20 DEC. 2024

## Revisions

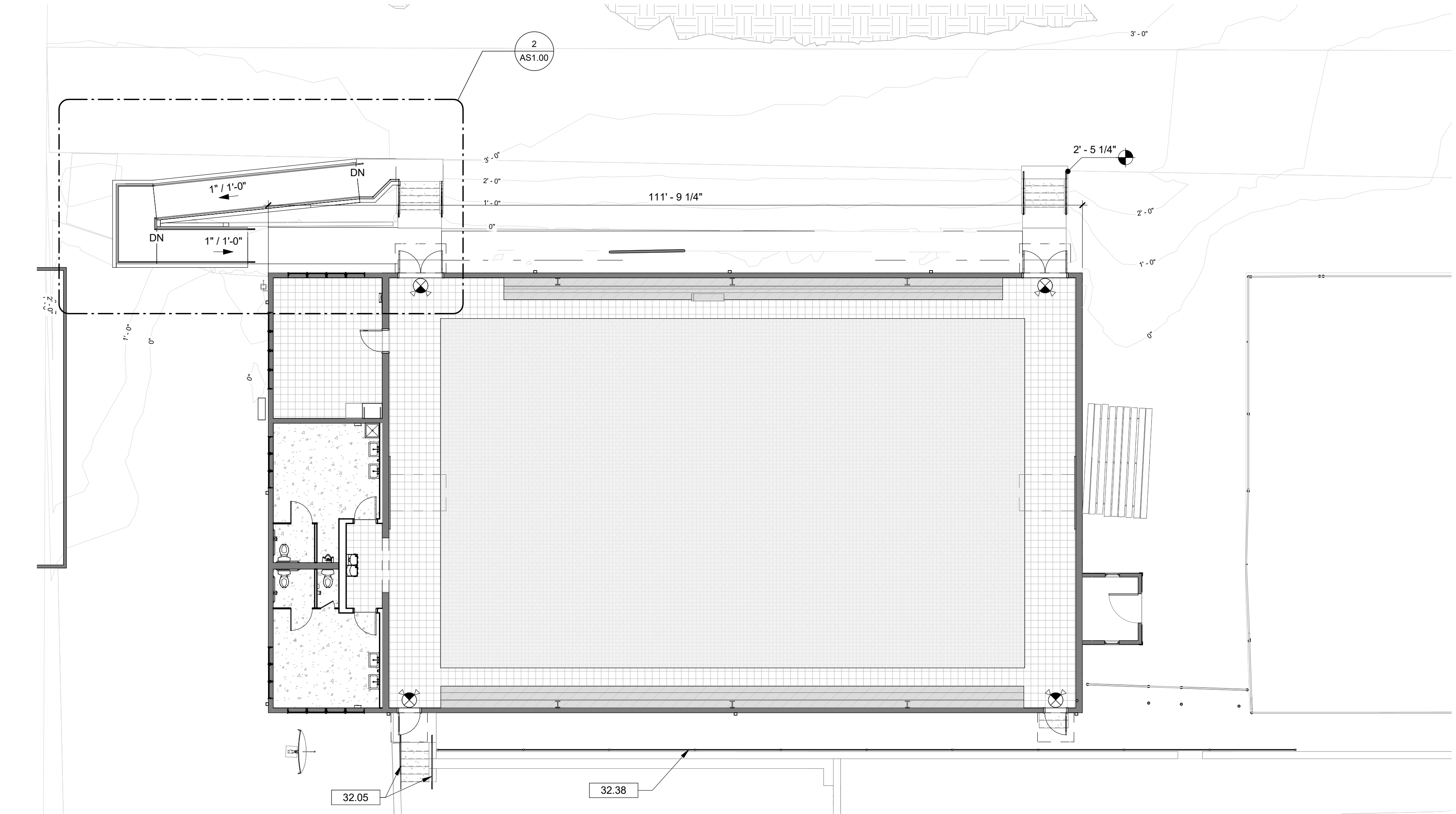
### Drawing

## STORMWATER AND SITE DETAILS

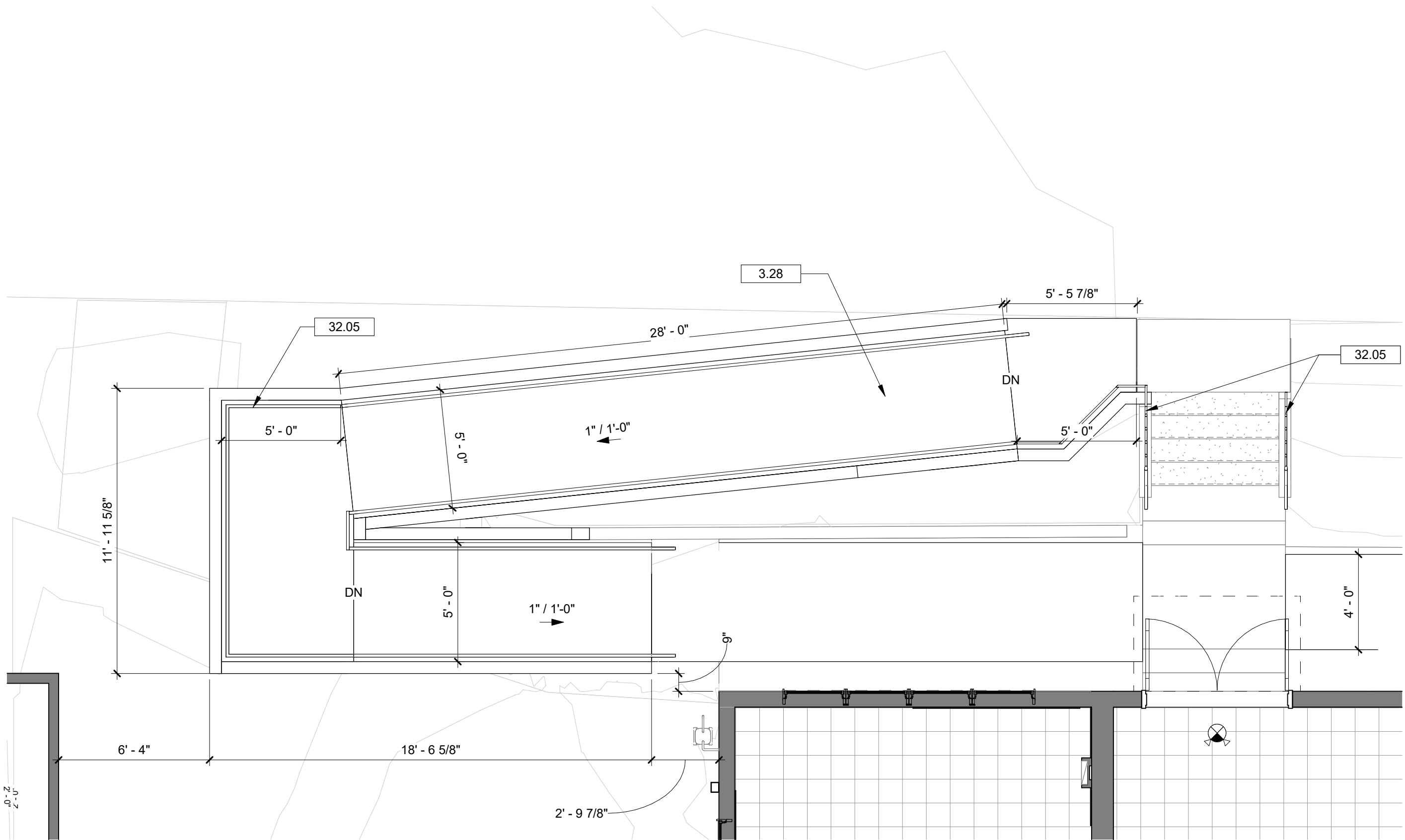
# C800



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



1 ARCHITECTURAL SITE RENOVATION PLAN  
AS1.00' 3/32" = 1'-0"

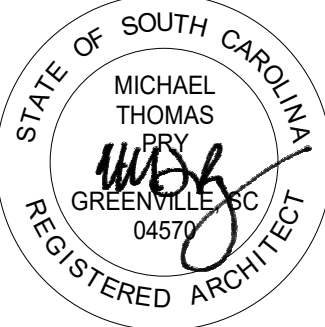


2 ENLARGED RAMP PLAN  
AS1.00' 1/4" = 1'-0"

DRAWING NOTES

- 3.28 NEW RAMP. REFER TO CIVIL DRAWINGS FOR SPOT ELEVATIONS AND DETAILS.  
32.05 NEW HANDRAIL. REFER TO CIVIL DRAWINGS.  
32.38 INSTALL 4'-0" HIGH CHAIN LINK FENCE.

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

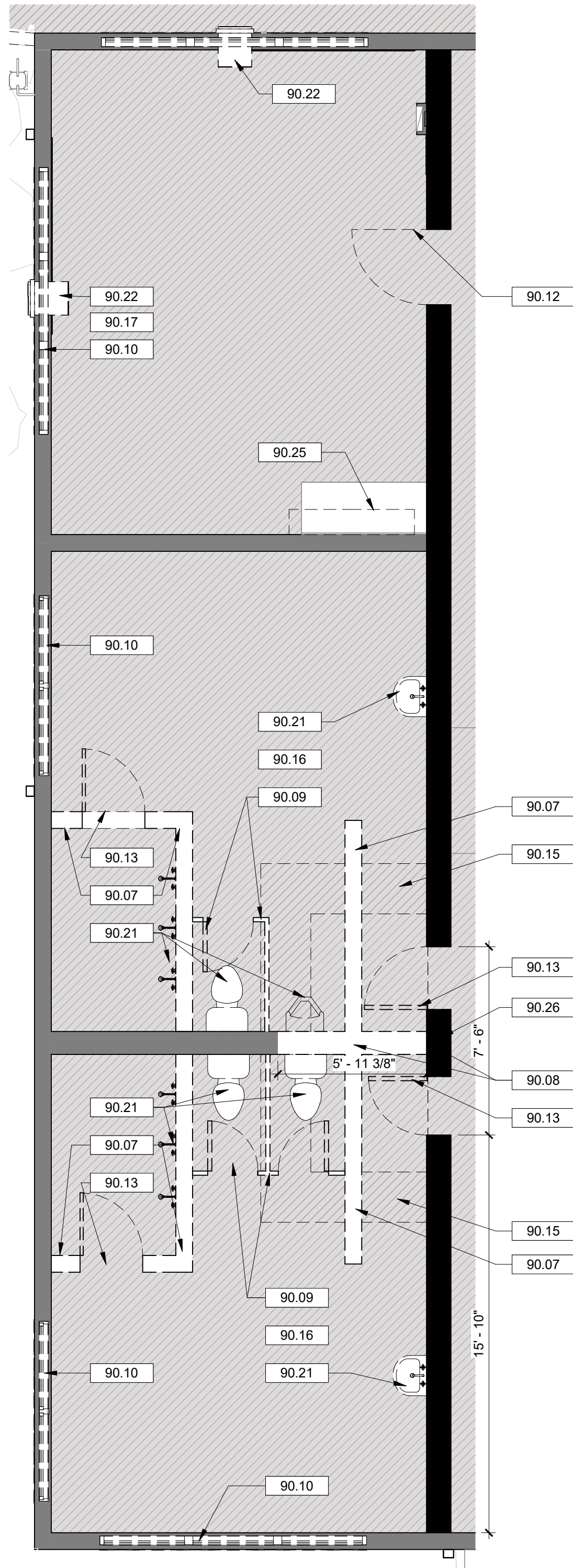
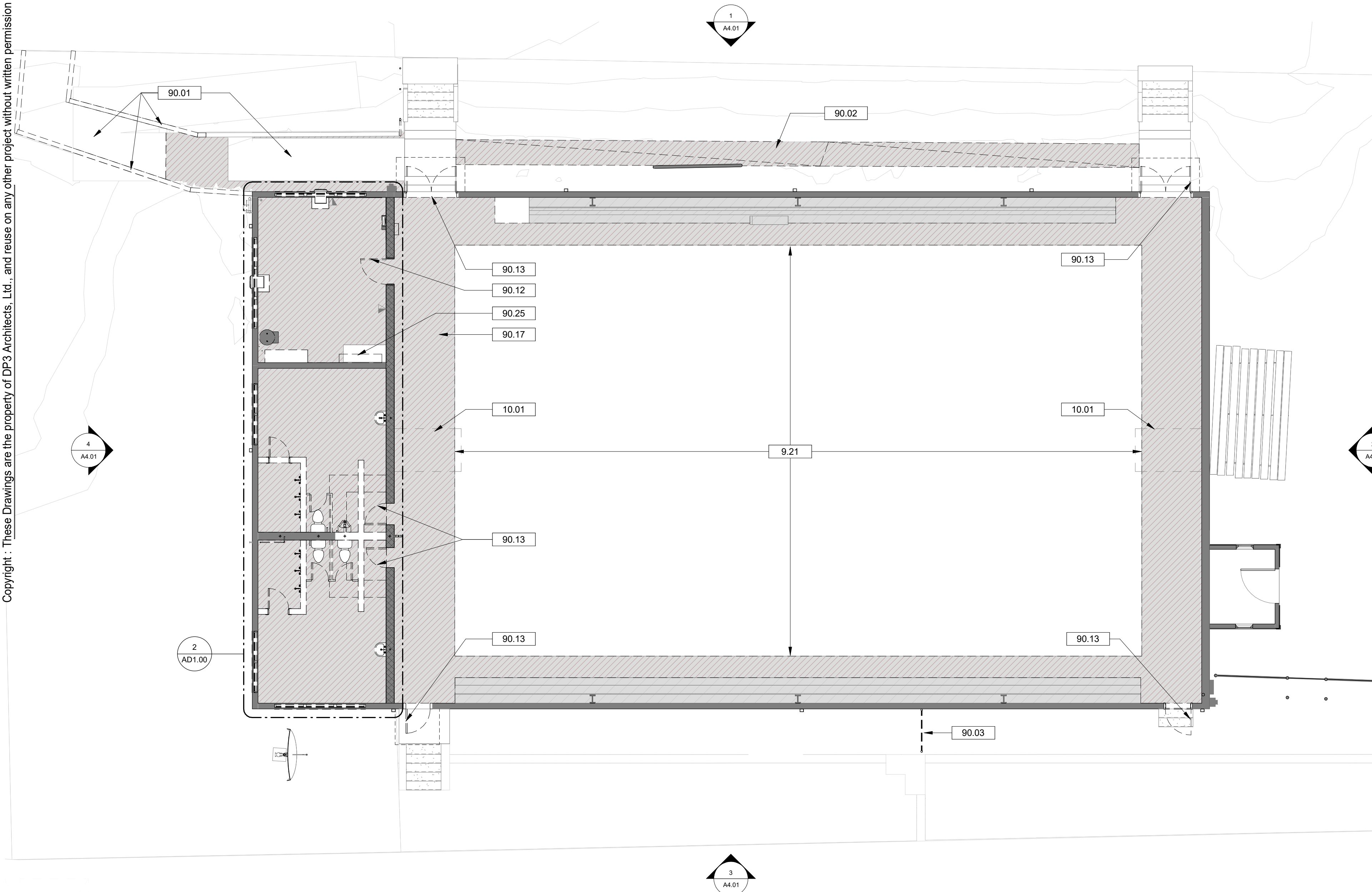
Drawing

ARCHITECTURAL  
SITE PLAN

AS1.00



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



## GENERAL DEMOLITION NOTES

- ALL HAZARDOUS MATERIALS SHALL BE REMOVED PRIOR TO START OF CONSTRUCTION UNDER SEPARATE CONTRACT.
- ALL MATERIALS THAT HAVE BEEN DEMOLISHED SHALL BE REMOVED IMMEDIATELY AND DISPOSED OF PROPERLY. NO DEMOLISHED MATERIALS SHALL BE STOCKPILED ON SITE.
- PROTECT OWNER'S PROPERTY AND PERSONS AT ALL TIMES.
- ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR.
- COORDINATE ANY SYSTEMS SHUTDOWNS WHICH MAY BE REQUIRED WITH THE OWNER.
- PRIOR TO COMMENCING WITH THE DEMOLITION, THE CONTRACTOR SHALL ASCERTAIN FROM THE OWNER WHETHER OR NOT THE OWNER WISHES TO RETAIN ANY ITEMS. ANY SUCH ITEMS SHALL BE REMOVED WITH CARE SO AS TO PREVENT UNNECESSARY DAMAGE AND TURNED OVER TO THE OWNER.
- BURNING ON THE SITE WILL NOT BE PERMITTED.
- EXPLOSIVES WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED.
- WHERE DAMPERS, CONDUIT, PIPING, ETC. ARE REMOVED FROM RATED WALLS, WALLS SHALL BE PATCHED AND SEALED TO MAINTAIN FIRE AND SMOKE RATING INTEGRITY OF WALLS.
- CONTRACTOR SHALL MAKE FUNCTIONAL ALL CIRCUITS DISRUPTED BY ANY DEMOLITION.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- REMOVE ALL WIRING, CONDUIT, WIRING SYSTEMS AND EQUIPMENT MADE OBSOLETE BY DEMOLITION. ANY EXISTING CONDUIT SYSTEM THAT CAN BE REUSED IN PLACE IN THE NEW WORK MAY BE REUSED PROVIDED IT IS IN A CONDITION ACCEPTABLE TO THE ARCHITECT.
- PROVIDE NEW PANELBOARD DIRECTORY CARD IN EXISTING PANELBOARDS AS REQUIRED AFTER DEMOLITION/REWORKING OF EXISTING CIRCUITS.
- DEMOLITION INCLUDES REMOVAL OF ALL ITEMS NECESSARY TO FACILITATE THE NEW CONSTRUCTION, WHETHER SPECIFICALLY INDICATED OR NOT, UNLESS NOTED OTHERWISE.
- ALL UTILITIES DEMOLISHED SHALL BE COMPLETELY REMOVED AND/OR CAPPED. ALL FINISHES TO REMAIN THAT ARE DISTURBED SHALL BE REPAIRED TO MATCH EXISTING.

## DRAWING NOTES

- BASE BID: EXISTING COURT FLOORING FINISH TO REMAIN. CLEAN, ALTERNATIVE NO. 5: RE-STRIPE AND REFINISH THE EXISTING GYM FLOOR.
- EXISTING BASKETBALL HOOP, STRUCTURE, AND PULLY SYSTEM TO REMAIN.
- DEMOLISH EXISTING RAMP AND PORTION OF EXISTING RETAINING WALL. PREPARE FOR NEW RAMP. REFER TO CIVIL DRAWINGS.
- REMOVE EXISTING SIDEWALK. PREPARE FOR NEW SIDEWALK AND DRAINAGE SYSTEM. REFER TO CIVIL DRAWINGS.
- DEMOLISH PORTION OF EXISTING FENCE. REFER TO CIVIL DRAWINGS.
- DEMOLISH EXISTING CMU WALL.
- DEMOLISH PORTION OF EXISTING MASONRY WALL. PREPARE FOR ENLARGED OPENING. REFER TO STRUCTURAL DRAWINGS.
- DEMOLISH EXISTING RESTROOM PARTITION WALLS AND DOORS.
- REMOVE EXISTING OFFICE AND RESTROOM WINDOWS. PREPARE FOR NEW WINDOWS. REFER TO RENOVATION FLOOR PLANS.
- REMOVE EXISTING DOOR. EXISTING FRAME TO REMAIN. PATCH AND REPAIR FRAME AS NEEDED. PREPARE FOR NEW DOOR. REFER TO RENOVATION FLOOR PLANS.
- DEMOLISH EXISTING DOOR AND FRAME ASSEMBLY.
- REMOVE PORTION OF SLAB FOR NEW FOOTING. REFER TO STRUCTURAL DRAWINGS.
- DEMOLISH EXISTING RESTROOM TILE FLOORING. PREPARE FOR NEW FLOORING.
- DEMOLISH EXISTING VCT FLOORING. PREPARE FOR NEW FLOORING.
- REMOVE EXISTING PLUMBING FIXTURES. REFER TO PLUMBING DRAWINGS.
- REMOVE EXISTING MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS.
- REMOVE EXISTING UPPER CABINETS.
- DEMOLISH PORTION OF EXISTING MASONRY WALL AS REQUIRED FOR DEMOLITION OF EXISTING PLUMBING PIPING AND INSTALLATION OF NEW PLUMBING PIPING. REFER TO STRUCTURAL DRAWINGS FOR SUPPORT REQUIREMENTS AND PLUMBING DRAWINGS.

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

Drawing

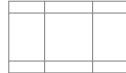
**OVERALL  
DEMOLITION FLOOR  
PLAN**


**AD1.00**

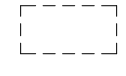


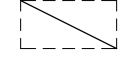
Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.

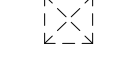
DEMOLITION REFLECTED CEILING PLAN LEGEND


- 

DEMOLISHED ACT CEILING
- 

DEMOLISHED HIGH BAY LIGHT FIXTURE
- 

DEMOLISHED TROFFER LIGHT FIXTURE
- 

DEMOLISHED EMERGENCY LIGHT FIXTURE
- 

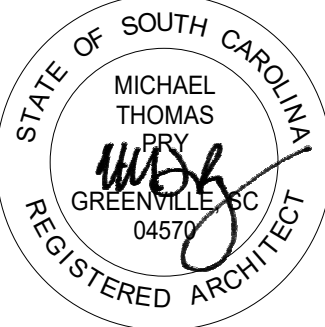
DEMOLISHED SUPPLY DIFFUSER
- 

DEMOLISHED EXHAUST DIFFUSER

REFLECTED CEILING PLAN NOTES

- A. COORDINATE ALL LIGHTING TYPES WITH ELECTRICAL DRAWINGS.
- B. REFER TO ELECTRICAL DRAWINGS FOR ALL CEILING MOUNTED EXIT LIGHTS, SMOKE DETECTORS, SPEAKERS, FIRE ALARM DEVICES, ETC. FOR ITEMS NOT INDICATED ON THE REFLECTED CEILING PLAN, COORDINATE LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION.
- C. COORDINATE ALL HVAC MECHANICAL DEVICES WITH MECHANICAL DRAWINGS.
- D. IF AS-BUILT CONDITIONS DEMAND THAT A CEILING BOARD LARGER THAN 2'-0" IN ANY DIMENSION BE USED IN THE PERIMETER BOARDS OF A TYPICAL 2'X2' GRID, THEN THAT BOARD SHALL BE CUT FROM A 2'X4' BOARD. A DOUBLE WALL ANGLE SHALL NOT BE USED IN THE CEILING GRID SYSTEM.
- E. CEILING SUSPENSION SYSTEM TO MEET SEISMIC REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE CURRENT EDITION.
- F. LOCATE ALL TRACK & RECESSED FIXTURES AT THE CENTERLINE OF TILE UNLESS NOTED OTHERWISE. INSTALL ALL ELECTRICAL SYSTEM COMPONENTS WITHOUT INTERFERING WITH DUCTS, PIPES, BEAMS, ETC. LOCATE LIGHT FIXTURES SYMMETRICALLY, AS DIMENSIONED, OR AS INDICATED ON THE REFLECTED CEILING PLANS. IN THE EVENT OF CONFLICT, THE ARCHITECT WILL DECIDE WHICH ITEM TO RELOCATE WITHOUT REGARD TO WHICH WAS INSTALLED FIRST.
- G. COORDINATE ALL EXPOSED CEILING WORK WITH ALL TRADES, AND PROVIDE SKETCH (FOR PRE-INSTALLATION MEETING) OF ALL CONDUIT RUNS, JUNCTION BOXES, DUCTWORK AND SUPPORTS, PLUMBING (OVERHEAD) AND FIRE PROTECTION PIPING, IN EXPOSED CEILING AREAS. CONTRACTOR SHALL SCHEDULE A PRE-INSTALLATION COORDINATION MEETING WITH ALL TRADES REPRESENTED, INCLUDING ARCHITECT, WHERE FINAL APPROVAL FOR ALL ROUTING WILL BE GRANTED. ALL EQUIPMENT, PIPING OR ACCESSORIES INSTALLED IN THESE AREAS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

DRAWING NOTES

- 10.01 EXISTING BASKETBALL HOOP, STRUCTURE, AND PULLY SYSTEM TO REMAIN.
- 90.04 BASE BID ITEM: REMOVE EXISTING DAMAGED SECTIONS OF ROOF. PATCH AND REPLACE TO MATCH EXISTING (ALLOWANCE NO. 1). ALTERNATIVE NO. 1: IN LIEU OF REPAIRING THE EXISTING ROOF, OMIT ALLOWANCE NO. 1 AND REMOVE EXISTING ROOF PANELS IN THEIR ENTIRETY AND INSTALL NEW STANDING-SEAM METAL ROOF AS SPECIFIED.
- 90.05 REMOVE EXISTING CANOPY AND CANOPY SUPPORT. REFER TO RENOVATION ROOF PLAN.
- 90.06 BASE BID ITEM: REMOVE EXISTING DAMAGED SECTIONS OF INTEGRAL GUTTERS AND DOWNSPOUTS. PATCH AND REPLACE WITH NEW TO MATCH EXISTING (ALLOWANCE NO. 2). ALTERNATIVE NO. 2: IN LIEU OF REPAIRING EXISTING DAMAGED GUTTERS AND DOWNSPOUTS, OMIT ALLOWANCE NO. 2 AND REMOVE THE EXISTING GUTTERS AND DOWNSPOUTS IN THEIR ENTIRETY AND REPLACE WITH NEW.
- 90.10 REMOVE EXISTING OFFICE AND RESTROOM WINDOWS. PREPARE FOR NEW WINDOWS. REFER TO RENOVATION FLOOR PLANS.
- 90.11 BASE BID ITEM: REPLACE EXISTING DAMAGED WINDOW LITES (ALLOWANCE NO. 4). ALTERNATIVE ITEM NO. 4: IN LIEU OF REPLACING EXISTING DAMAGED WINDOW LITES, OMIT ALLOWANCE NO. 4 AND REMOVE AND REPLACE ALL WINDOWS WITH NEW STOREFRONT WINDOW SYSTEM AS SPECIFIED.
- 90.18 REMOVE EXISTING ACOUSTICAL CEILING SUSPENSION SYSTEM (TILES AND GRID) AND PREPARE FOR INSTALLATION OF NEW SUSPENSION SYSTEM.
- 90.22 REMOVE EXISTING MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS.
- 90.23 REMOVE EXISTING HIGH BAY LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS.
- 90.25 REMOVE EXISTING UPPER CABINETS.
- 90.27 REMOVE EXISTING LOUVER VENT AND PREPARE OPENING FOR NEW WORK.
- 90.28 REMOVE EXISTING EXHAUST FAN AND PREPARE FOR NEW WORK.

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

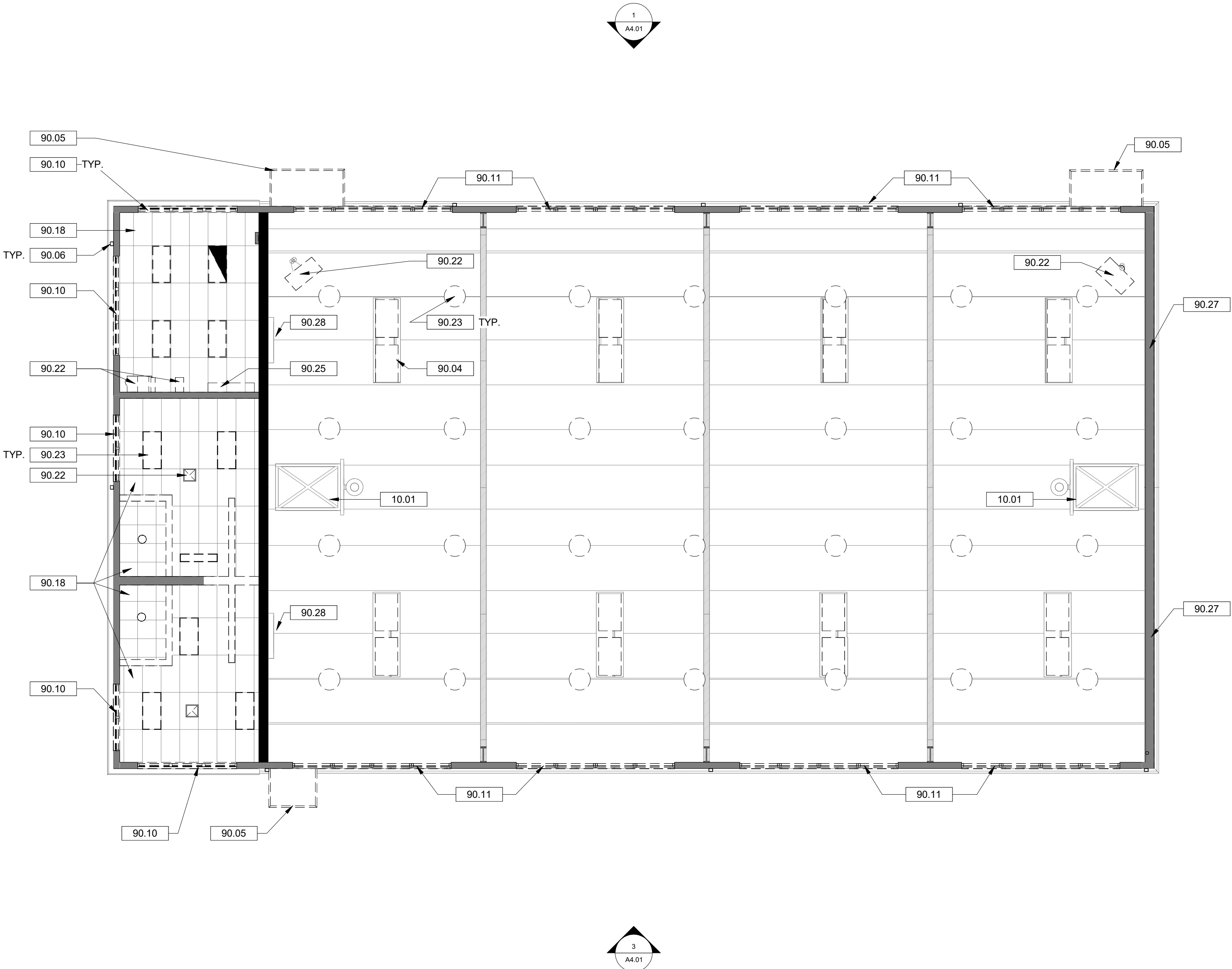
Project Number 23233  
Drawn By JUN  
Checked By MTP  
Date 3 APR 2025

Revisions

Drawing

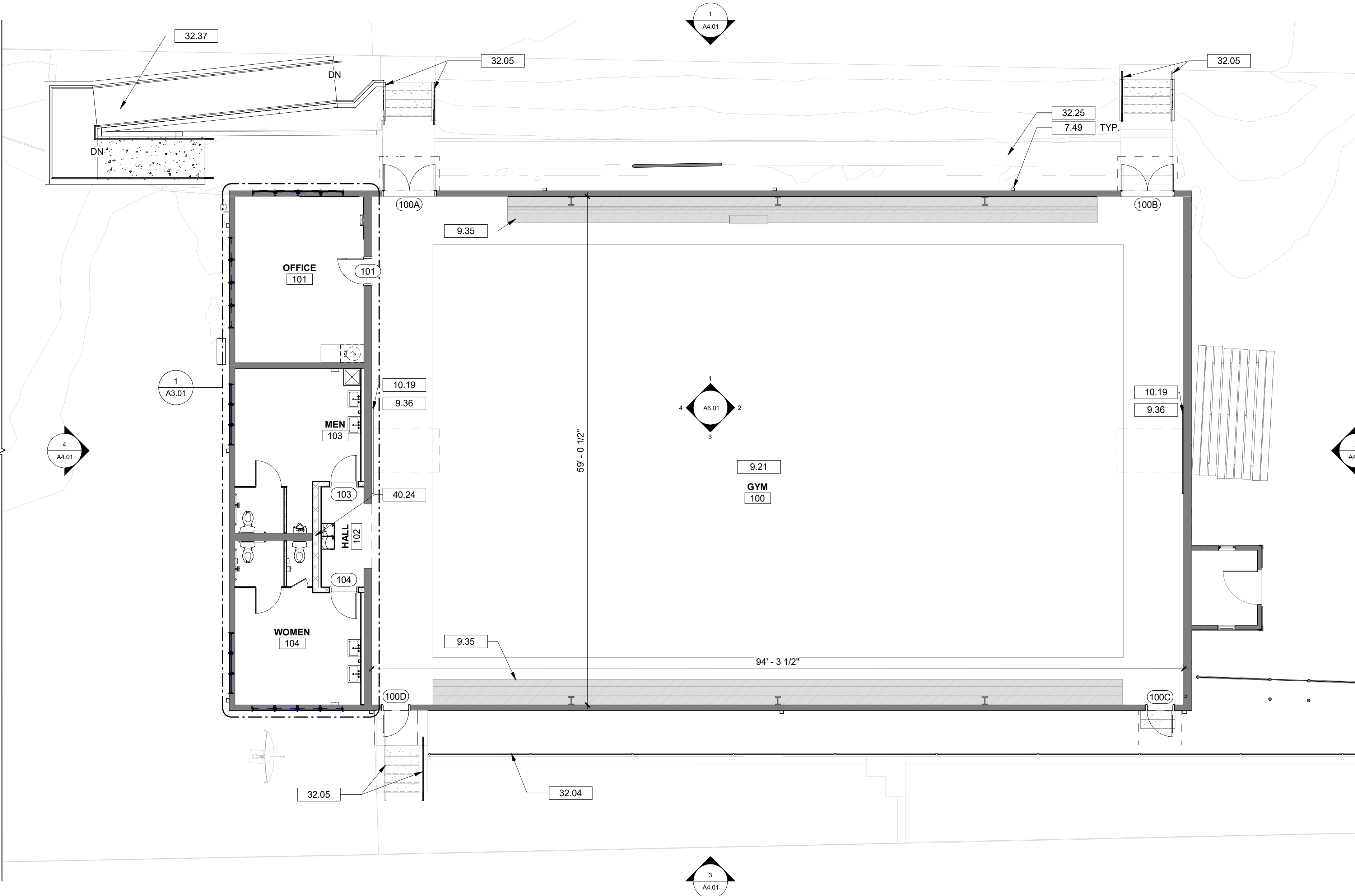
**DEMOLITION  
REFLECTED CEILING  
PLAN**

**AD2.01**





Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.

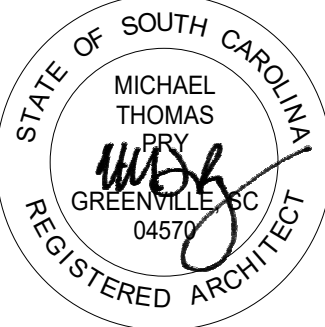


1 RENOVATION FLOOR PLAN  
A1.01/ 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- A. GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
- B. DIMENSIONS ARE TO CENTERLINE OF COLUMN LINES, FACE OF INTERIOR STUDS, FACE OF EXTERIOR WALL SHEATHING AND FACE OF MASONRY, UNLESS NOTED OTHERWISE.
- C. THE CONTRACTOR SHALL COORDINATE ALL UNDERGROUND PIPING, MECHANICAL AND ELECTRICAL WORK.
- D. DOOR JAMBS ARE 6" NEAREST PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
- E. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS.
- F. ROOMS ARE DEFINED BY WALLS, FACES OF DOORS AND ROOM CHANGE INDICATORS.
- G. PROVIDE WOOD BLOCKING IN PARTITIONS AT ALL LOCATIONS WHERE WORK SURFACES, SHELVING, BRACKETS, DISPLAYS, GRAB BARS, HANDRAILS AND/OR EQUIPMENT WILL BE MOUNTED OR ATTACHED TO THE FACE OF THE WALL. ALL CONCEALED WOOD SHALL BE FIRE-RETARDANT LUMBER.
- H. LUMBER AND BLOCKING IN CONTACT WITH MASONRY AND CONCRETE SHALL BE PRESSURE TREATED.
- I. USE MOISTURE RESISTANT (TYPE "X" AS REQUIRED) GWB BEHIND ALL SINKS AND WET AREAS.
- J. NON-FIXED FURNITURE AND EQUIPMENT IS SHOWN FOR REFERENCE ONLY. NO NON-FIXED FURNITURE, FURNISHINGS OR EQUIPMENT ARE A PART OF THE CONSTRUCTION CONTRACT UNLESS NOTED OTHERWISE.

Seal



20 DEC 2024

DRAWING NOTES

- 7.49 BASE BID ITEM: REMOVE EXISTING DAMAGED SECTIONS OF INTEGRAL GUTTERS AND DOWNSPOUTS. PATCH AND REPLACE WITH NEW TO MATCH EXISTING (ALLOWANCE NO. 2). ALTERNATIVE NO. 2: IN LIEU OF REPAIRING EXISTING DAMAGED GUTTERS AND DOWNSPOUTS, OMIT ALLOWANCE NO. 2 AND REMOVE THE EXISTING GUTTERS AND DOWNSPOUTS IN THEIR ENTIRETY AND REPLACE WITH NEW.
- 9.21 BASE BID: EXISTING COURT FLOORING FINISH TO REMAIN. CLEAN. ALTERNATIVE NO. 5: RE-STRIPE AND REFINISH THE EXISTING GYM FLOOR.
- 9.35 BASE BID ITEM: CLEAN AND PAINT EXISTING BLEACHERS. ALTERNATIVE NO. 6: IN LIEU OF PAINTING THE EXISTING BLEACHERS, COMPLETELY SAND, STAIN AND POLY THE EXISTING BLEACHERS.
- 9.36 NEW FLOORING AS SCHEDULED AT ENTIRE PERIMETER OF COURT.
- 10.19 BASE BID ITEM: EXISTING WALL PADS TO REMAIN. CLEAN. ALTERNATIVE NO. 7: REMOVE AND REPLACE EXISTING WALL PADS WITH NEW 5' TALL x 10' WIDE, 2" THICK PVC VINYL WALL PADS AS MANUFACTURED BY AMERICAN FLOOR MATS OR EQUAL. PADS ARE REQUIRED IN TWO (2) PLACES.
- 32.04 CHAIN LINK FENCE. REFER TO CIVIL DRAWINGS FOR SIZE AND TYPE.
- 32.05 NEW HANDRAIL. REFER TO CIVIL DRAWINGS.
- 32.25 NEW CONCRETE SIDEWALK. REFER TO CIVIL DRAWINGS.
- 32.37 NEW ACCESSIBLE RAMP. REFER TO CIVIL DRAWINGS AND AS1.00.
- 40.24 NEW MASONRY INFILL. TOOTH IN BRICK UNITS TO MATCH EXISTING ADJACENT MASONRY AND MORTAR PATTERN. PAINT FINISH AS SCHEDULED.

DP3  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

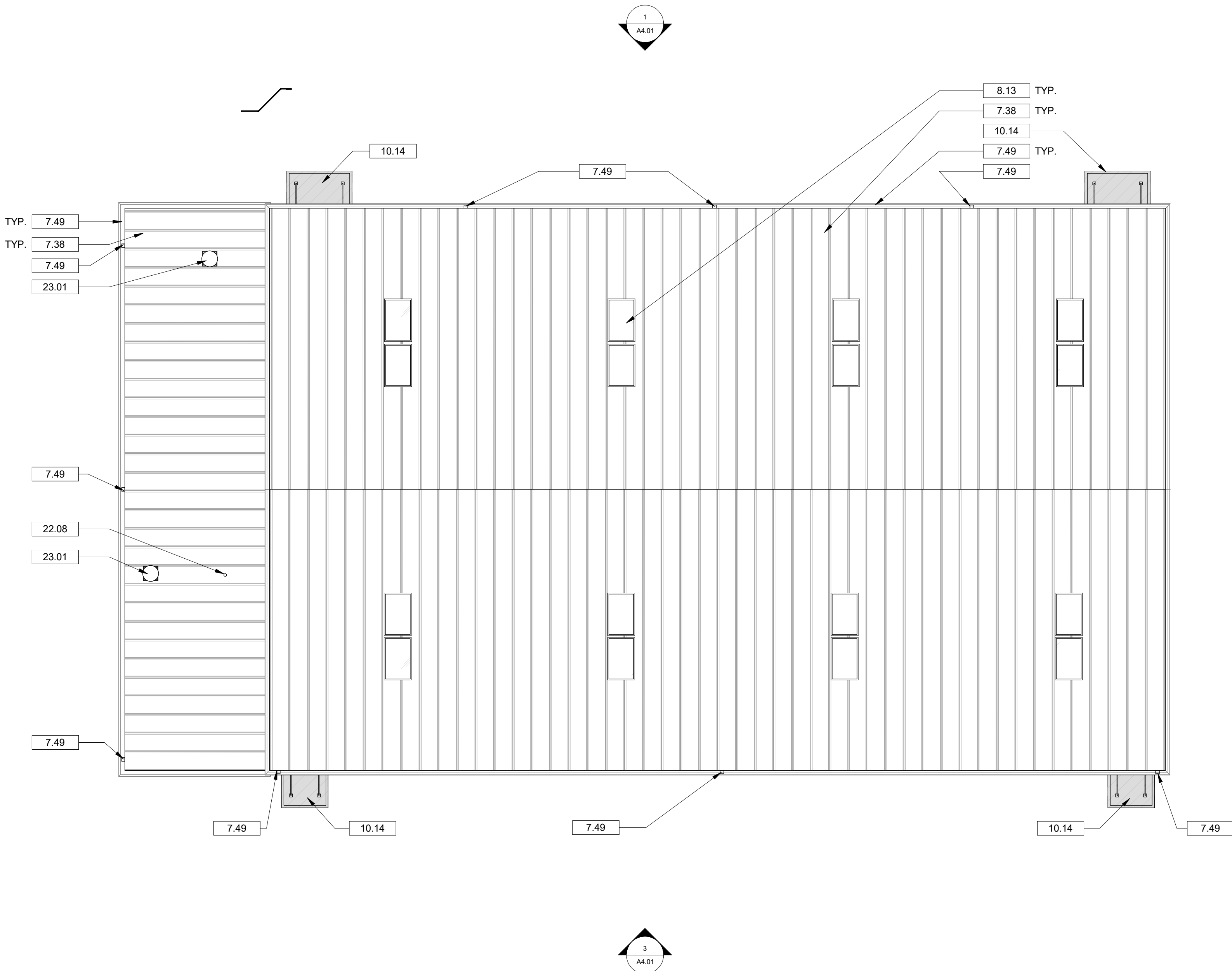
Drawing

OVERALL FLOOR  
PLAN

A1.01



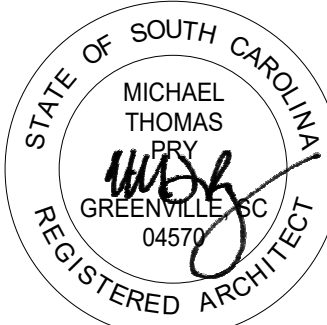
Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



## GENERAL ROOF PLAN NOTES

- REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FANS, AND OTHER ITEMS ON THE ROOF SURFACE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW OTHER DRAWINGS FOR ROOF PENETRATIONS NOT SHOWN ON THIS PLAN.
- PROVIDE ALL FLASHING MATERIALS AND METHODS AS APPROVED BY THE MANUFACTURER FOR A FULL WATERPROOFING SYSTEM.
- PAINT EXPOSED ROOF-MOUNTED EQUIPMENT, PIPING, ETC. IN A COLOR AS SELECTED BY ARCHITECT, EXCEPT THOSE ITEMS WHICH ARE PRE-FINISHED.
- ALL FLASHING TO BE SHEET METAL UNLESS NOTED OTHERWISE.
- TRAFFIC OVER FINISHED ROOF SURFACES IS NOT DESIRED, WHERE OVER-ROOF TRAFFIC IS ANTICIPATED, PROTECT ROOF SURFACE FROM DAMAGE DURING CONSTRUCTION.

Seal



20 DEC 2024

## DRAWING NOTES

- BASE BID: REMOVE DAMAGED SECTIONS OF ROOF, PATCH AND REPLACE TO MATCH EXISTING. ALTERNATIVE NO. 1: REMOVE EXISTING ROOF PANELS, INSTALL NEW BUILDING FELT, WATER AND ICE SHIELD (2'-0" FROM ROOF EDGES, SKYLIGHTS, AND ANY PENETRATIONS, TYP.), AND INSTALL NEW METAL ROOF.
- BASE BID ITEM: REMOVE EXISTING DAMAGED SECTIONS OF INTEGRAL GUTTERS AND DOWNSPOUTS. PATCH AND REPLACE WITH NEW TO MATCH EXISTING (ALLOWANCE NO. 2). ALTERNATIVE NO. 2: IN LIEU OF REPAIRING EXISTING DAMAGED GUTTERS AND DOWNSPOUTS, OMIT ALLOWANCE NO. 2 AND REMOVE THE EXISTING GUTTERS AND DOWNSPOUTS IN THEIR ENTIRETY AND REPLACE WITH NEW.
- BASE BID: REMOVE EXISTING DAMAGED SKYLIGHT PANELS AND DAMAGED SKYLIGHT FLASHINGS AND REPLACE WITH NEW SKYLIGHT PANELS AND FLASHING (ALLOWANCE NO. 3). ALTERNATIVE NO. 3: IN LIEU OF REPAIRING/REPLACING EXISTING DAMAGED SKYLIGHTS AND FLASHINGS, OMIT ALLOWANCE NO. 3 AND REMOVE ALL EXISTING SKYLIGHTS AND REPLACE WITH NEW SKYLIGHTS AND FLASHINGS.
- NEW PREFINISHED ALUMINUM CANOPY TO MATCH EXISTING CANOPIES. REFER TO SPECIFICATIONS.
- VENT THROUGH ROOF. REFER TO PLUMBING DRAWINGS.
- MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS.

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

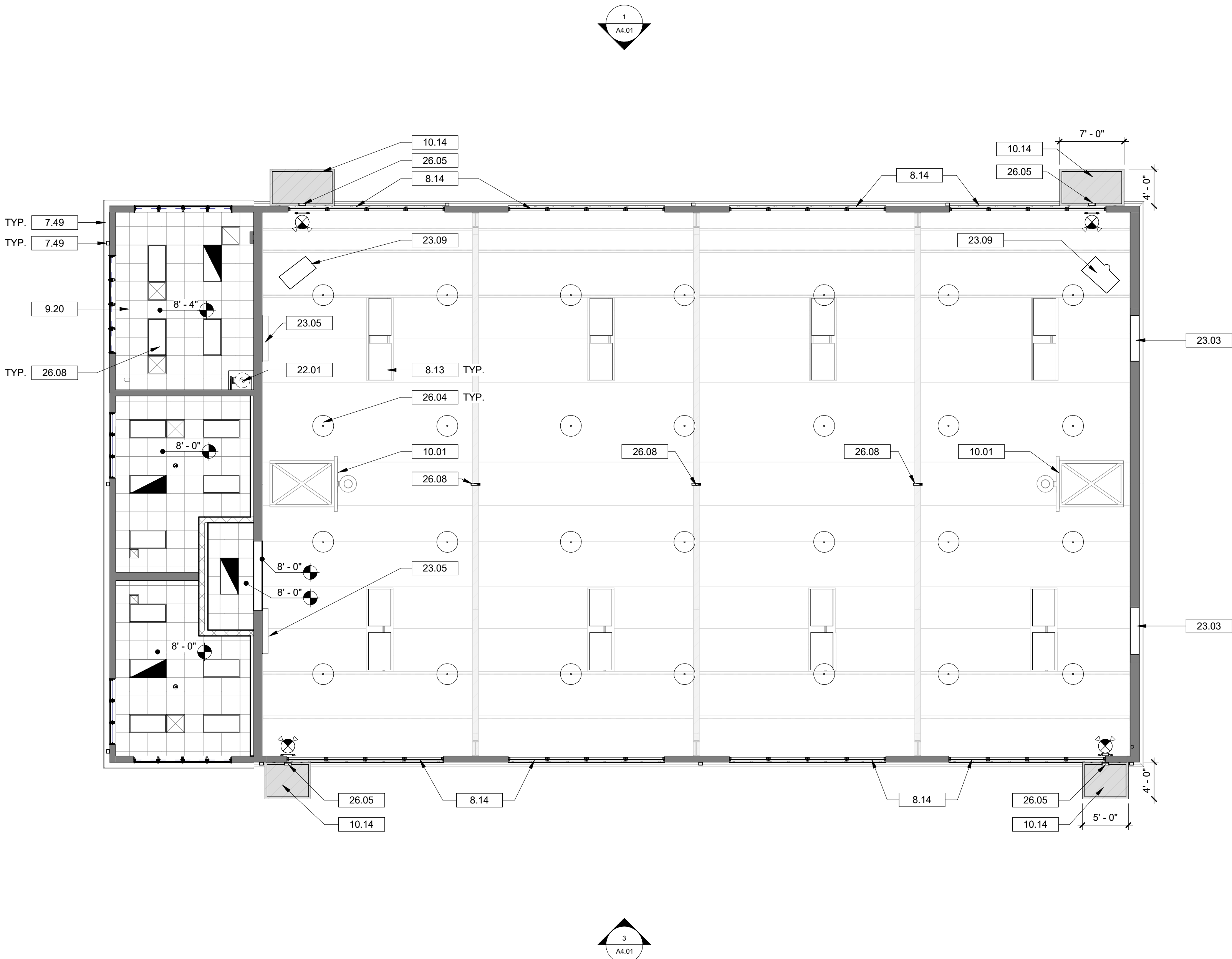
Drawing

**ROOF PLAN**

**A1.02**



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



REFLECTED CEILING PLAN LEGEND

- ACT CEILING
- HIGH BAY LIGHT FIXTURE
- TROFFER LIGHT FIXTURE
- EMERGENCY LIGHT FIXTURE
- WALL PACK LIGHT FIXTURE
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- EXHAUST DIFFUSER
- OCCUPANCY SENSOR
- EXIT SIGN

REFLECTED CEILING PLAN NOTES

- COORDINATE ALL LIGHTING TYPES WITH ELECTRICAL DRAWINGS.
- REFER TO ELECTRICAL DRAWINGS FOR ALL CEILING MOUNTED EXIT LIGHTS, SMOKE DETECTORS, SPEAKERS, FIRE ALARM DEVICES, ETC. FOR ITEMS NOT INDICATED ON THE REFLECTED CEILING PLAN, COORDINATE LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION.
- COORDINATE ALL HVAC MECHANICAL DEVICES WITH MECHANICAL DRAWINGS.
- IF AS-BUILT CONDITIONS DEMAND THAT A CEILING BOARD LARGER THAN 2'-0" IN ANY DIMENSION BE USED IN THE PERIMETER BOARDS OF A TYPICAL 2'X2' GRID, THEN THAT BOARD SHALL BE CUT FROM A 2'X4' BOARD. A DOUBLE WALL ANGLE SHALL NOT BE USED IN THE CEILING GRID SYSTEM.
- CEILING SUSPENSION SYSTEM TO MEET SEISMIC REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE CURRENT EDITION.
- LOCATE ALL TRACK & RECESSED FIXTURES AT THE CENTERLINE OF TILE UNLESS NOTED OTHERWISE. INSTALL ALL ELECTRICAL SYSTEM COMPONENTS WITHOUT INTERFERING WITH DUCTS, PIPES, BEAMS, ETC. LOCATE LIGHT FIXTURES SYMMETRICALLY, AS DIMENSIONED, OR AS INDICATED ON THE REFLECTED CEILING PLANS. IN THE EVENT OF CONFLICT, THE ARCHITECT WILL DECIDE WHICH ITEM TO RELOCATE WITHOUT REGARD TO WHICH WAS INSTALLED FIRST.
- COORDINATE ALL EXPOSED CEILING WORK WITH ALL TRADES, AND PROVIDE SKETCH (FOR PRE-INSTALLATION MEETING) OF ALL CONDUIT RUNS, JUNCTION BOXES, DUCTWORK AND SUPPORTS, PLUMBING (OVERHEAD) AND FIRE PROTECTION PIPING, IN EXPOSED CEILING AREAS. CONTRACTOR SHALL SCHEDULE A PRE-INSTALLATION COORDINATION MEETING WITH ALL TRADES REPRESENTED, INCLUDING ARCHITECT, WHERE FINAL APPROVAL FOR ALL ROUTING WILL BE GRANTED. ALL EQUIPMENT, PIPING OR ACCESSORIES INSTALLED IN THESE AREAS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

DRAWING NOTES

- BASE BID ITEM: REMOVE EXISTING DAMAGED SECTIONS OF INTEGRAL GUTTERS AND DOWNSPOUTS. PATCH AND REPLACE WITH NEW TO MATCH EXISTING (ALLOWANCE NO. 2). ALTERNATIVE NO. 2: IN LIEU OF REPAIRING EXISTING DAMAGED GUTTERS AND DOWNSPOUTS, OMIT ALLOWANCE NO. 2 AND REMOVE THE EXISTING GUTTERS AND DOWNSPOUTS IN THEIR ENTIRETY AND REPLACE WITH NEW.
- BASE BID: REMOVE EXISTING DAMAGED SKYLIGHT PANELS AND DAMAGED SKYLIGHT FLASHINGS AND REPLACE WITH NEW SKYLIGHT PANELS AND FLASHING (ALLOWANCE NO. 3). ALTERNATIVE NO. 3: IN LIEU OF REPAIRING/REPLACING EXISTING DAMAGED SKYLIGHTS AND FLASHINGS, OMIT ALLOWANCE NO. 3 AND REMOVE ALL EXISTING SKYLIGHTS AND REPLACE WITH NEW SKYLIGHTS AND FLASHINGS.
- BASE BID ITEM: REPLACE EXISTING DAMAGED WINDOW LITES (ALLOWANCE NO. 4). ALTERNATIVE NO. 4: IN LIEU OF REPLACING EXISTING DAMAGED WINDOW LITES, OMIT ALLOWANCE NO. 4 AND REMOVE AND REPLACE ALL WINDOWS WITH NEW STOREFRONT WINDOW SYSTEM AS SPECIFIED.
- INSTALL NEW ACT SUSPENSION GRID AND ACOUSTIC CEILING TILES. BASIS OF DESIGN: ARMSTRONG FINE FISSURED W/BIOBLOCK AND HUMIGUARD PLUS; 24" X 24" X 5/8" PANEL; 15/16 SQUARE EDGE STYLE.
- EXISTING BASKETBALL HOOP, STRUCTURE, AND PULLY SYSTEM TO REMAIN.
- NEW PREFINISHED ALUMINUM CANOPY TO MATCH EXISTING CANOPIES. REFER TO SPECIFICATIONS.
- NEW WATER HEATER TANK. REFER TO PLUMBING DRAWINGS.
- NEW LOUVER VENT. REFER TO MECHANICAL DRAWINGS.
- NEW EXHAUST FAN AND GRILLE. REFER TO MECHANICAL DRAWINGS.
- NEW GAS UNIT HEATER. REFER TO MECHANICAL DRAWINGS.
- NEW HIGH-BAY LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS.
- NEW EXTERIOR WALLPACK. REFER TO ELECTRICAL DRAWINGS.
- NEW EMERGENCY LED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

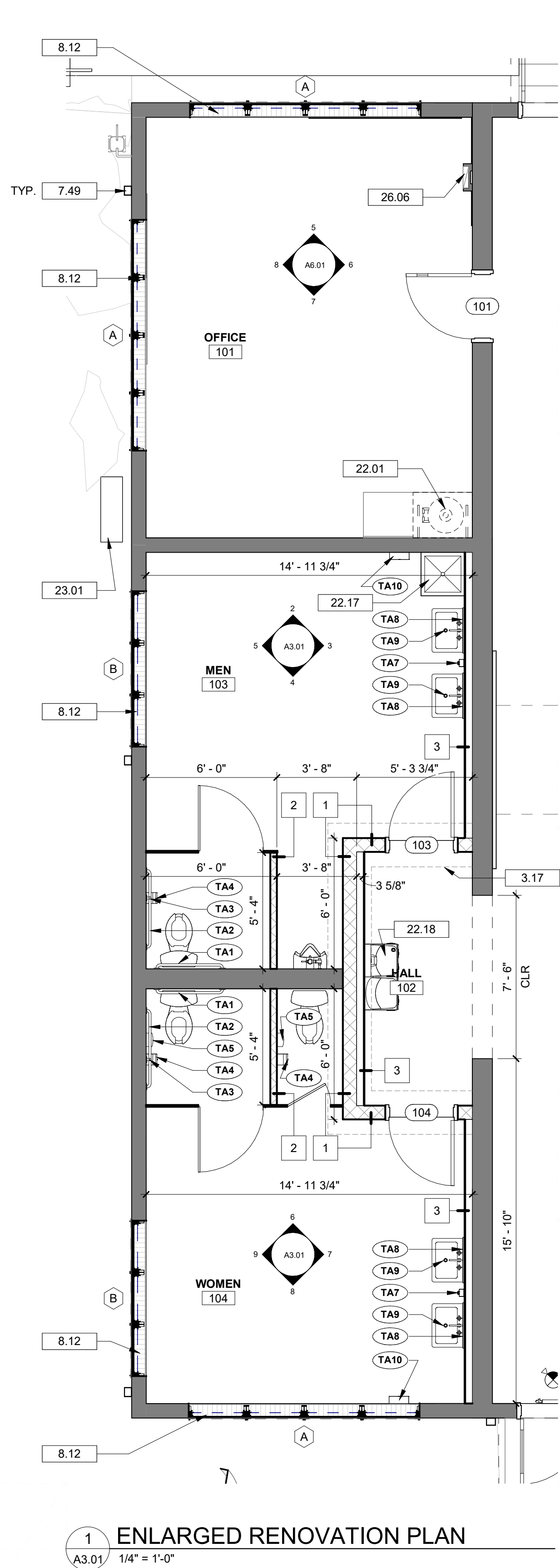
Drawing

**REFLECTED CEILING  
PLAN**

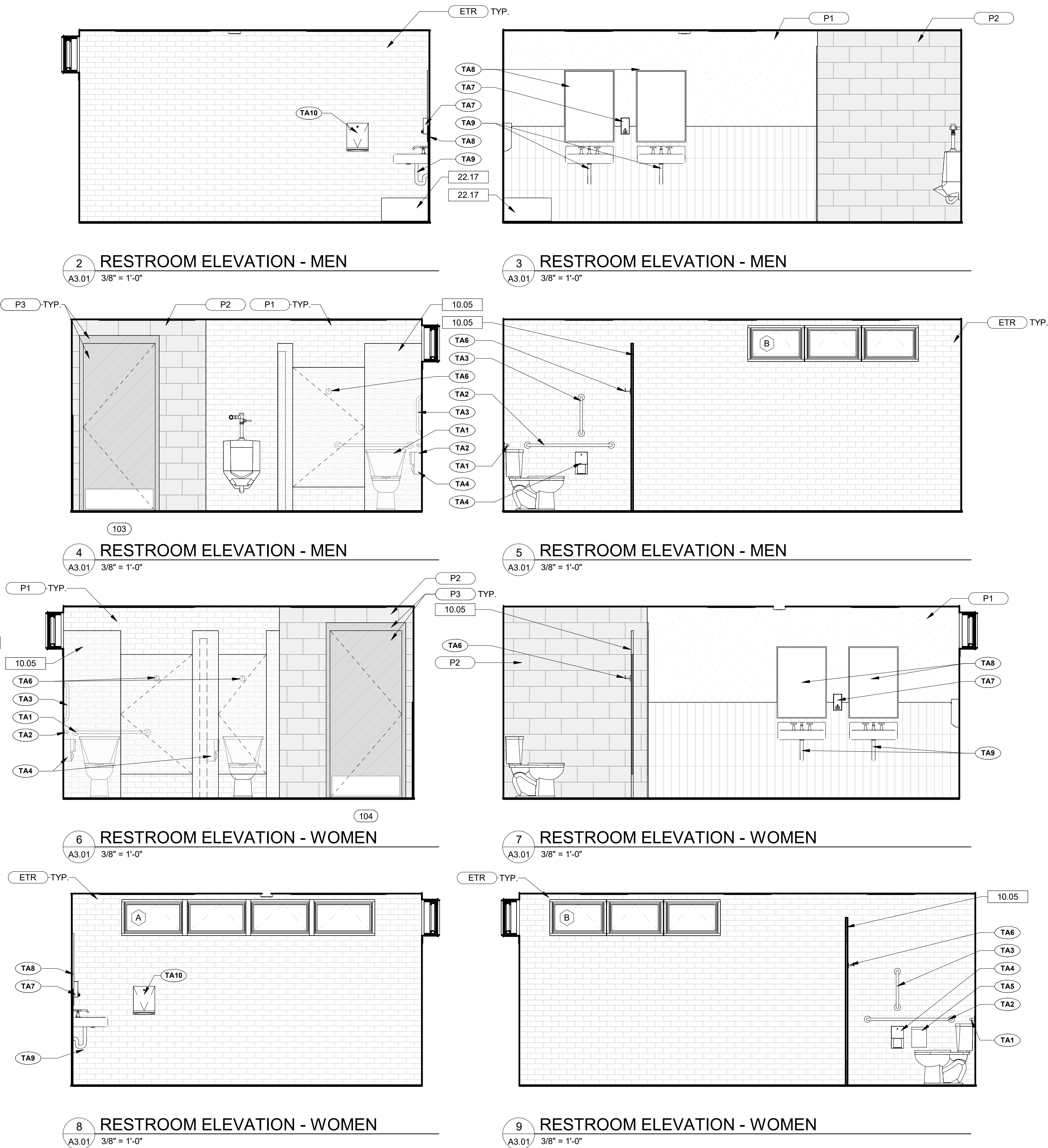
**A2.01**



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



1 ENLARGED RENOVATION PLAN  
A3.01 1/4" = 1'-0"



8 RESTROOM ELEVATION - WOMEN  
A3.01 3/8" = 1'-0"

9 RESTROOM ELEVATION - WOMEN  
A3.01 3/8" = 1'-0"

RESTROOM ACCESSORY SCHEDULE			
MARK	DESCRIPTION	MANUF.	MODEL
TA1	36" ACCESSIBLE GRAB BAR	BOBRICK   ASI	B-5806-36   ASI-3801-36
TA2	42" ACCESSIBLE GRAB BAR	BOBRICK   ASI	B-5806-42   ASI-3801-42
TA3	18" GRAB BAR (VERTICAL)	BOBRICK   ASI	B-5806-18   ASI-3801-18
TA4	TOILET TISSUE DISPENSER; MULTI-ROLL; SURFACE MOUNTED	BOBRICK   ASI	B-2888   ASI-0030
TA5	SANITARY NAPKIN DISPOSAL; SURFACE MOUNTED	BOBRICK   ASI	B-270   ASI-0852
TA6	ROBE HOOK; SURFACE MOUNTED	BOBRICK   ASI	B-542   ASI-7308
TA7	SOAP DISPENSER; LIQUID SOAP; SURFACE MOUNTED	BOBRICK   ASI	B-2111   ASI-0347
TA8	STAINLESS STEEL CHANNEL MIRROR; 24" X 36"	BOBRICK   ASI	B165 2436   ASI-0620-2436
TA9	LAVATORY PIPE INSULATION	LAV GUARD	TRUEBRO 100 SERIES
TA10	CLASSIC SERIES SURFACE MOUNTED PAPER TOWEL DISPENSER	BOBRICK   ASI	B-262

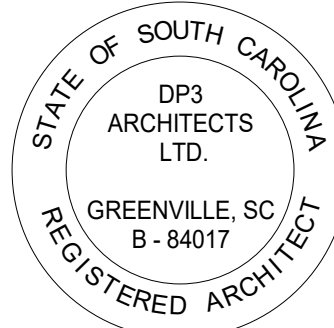
#### DRAWING NOTES

- 3.17 CONCRETE FOOTING. REFER TO STRUCTURAL DRAWINGS FOR SIZE, TYPE OF REINFORCEMENT AND DEPTH.
- 3.25 1/2" CEMENTITIOUS BACKER BOARD.
- 7.49 BASE BID ITEM: REMOVE EXISTING DAMAGED SECTIONS OF INTEGRAL GUTTERS AND DOWNSPOUTS. PATCH AND REPLACE WITH NEW TO MATCH EXISTING (ALLOWANCE NO. 2). ALTERNATIVE NO. 2: IN LIEU OF REPAIRING EXISTING DAMAGED GUTTERS AND DOWNSPOUTS, OMIT ALLOWANCE NO. 2 AND REMOVE THE EXISTING GUTTERS AND DOWNSPOUTS IN THEIR ENTIRETY AND REPLACE WITH NEW.
- 8.12 REPLACE OFFICE AND RESTROOM WINDOWS. REFER TO WINDOW TYPE LEGEND.
- 9.02 3 5/8 INCH METAL STUD FRAMING SYSTEM.
- 9.12 5/8 INCH MOISTURE RESISTIVE GYPSUM WALL BOARD.
- 9.38 PORCELAIN TILE. REFER TO FINISH SCHEDULE.
- 10.05 SCHEDULED TOILET COMPARTMENTS. BASIS OF DESIGN: SCRANTON HINY HIDERS; FLOOR-MOUNTED OVERHEAD BRACED W/ CONTINUOUS ALUMINUM BRACKETS, ALUMINUM CONTINUOUS HINGE.
- 22.01 NEW WATER HEATER TANK. REFER TO PLUMBING DRAWINGS.
- 22.17 MOP SINK. REFER TO PLUMBING DRAWINGS.
- 22.18 H-Low DRINKING FOUNTAIN WITH BOTTLE FILLER. REFER TO PLUMBING DRAWINGS.
- 23.01 MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS.
- 26.06 ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.

#### WALL TYPE LEGEND

- 1 8 INCH X 8 INCH X 16 INCH CONCRETE MASONRY UNIT, RUNNING BOND. WALL HEIGHT TO DECK.
- 2 4 INCH X 8 INCH X 16 INCH CONCRETE MASONRY UNIT, RUNNING BOND. 7'-4" HEIGHT A.F.F. TYP.
- 3 TO 4'-0" A.F.F. PORCELAIN TILE. REFER TO FINISH SCHEDULE. 1/2" CEMENTITIOUS BACKER BOARD. 3 5/8 INCH METAL STUD FRAMING SYSTEM.
- TO 1'-0" ABOVE CEILING 5/8 INCH MOISTURE RESISTIVE GYPSUM WALL BOARD. 3 5/8 INCH METAL STUD FRAMING SYSTEM.

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By JUN  
Checked By MTP  
Date 3 APR 2025

Revisions

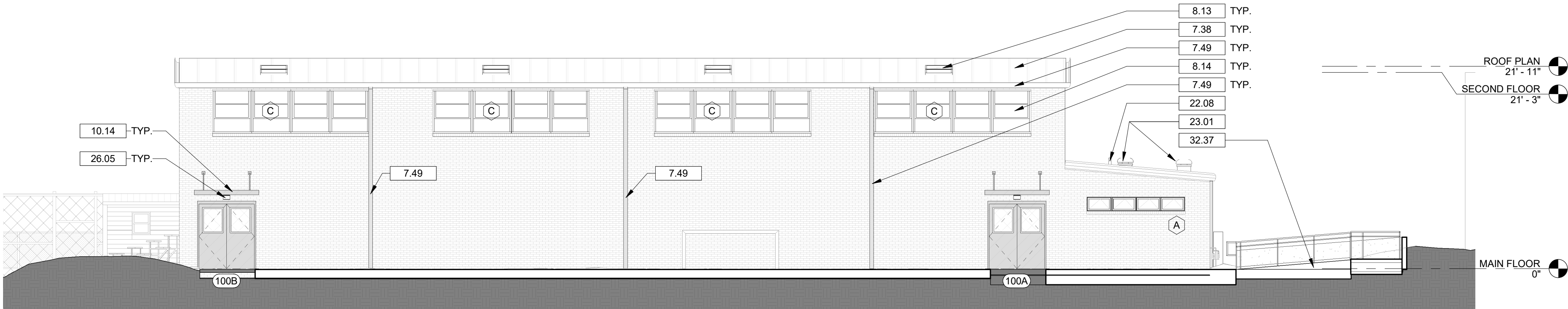
Drawing

**ENLARGED  
RESTROOM PLANS  
AND ACCESSORY  
SCHEDULE**

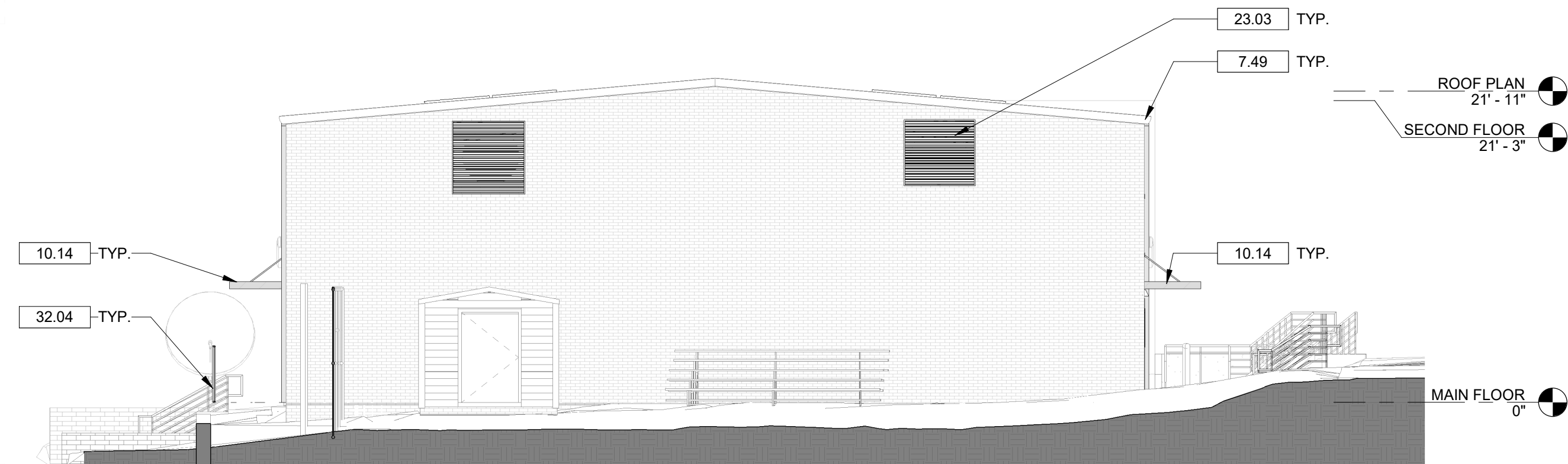
**A3.01**



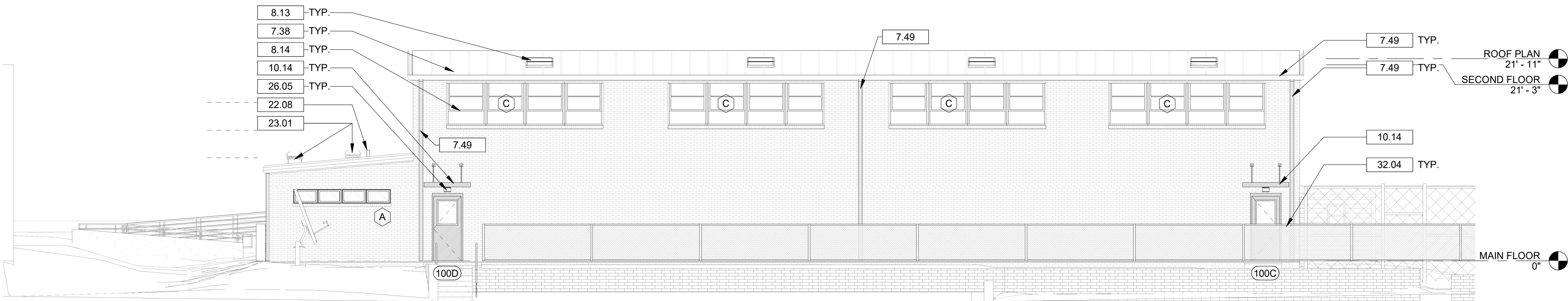
Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



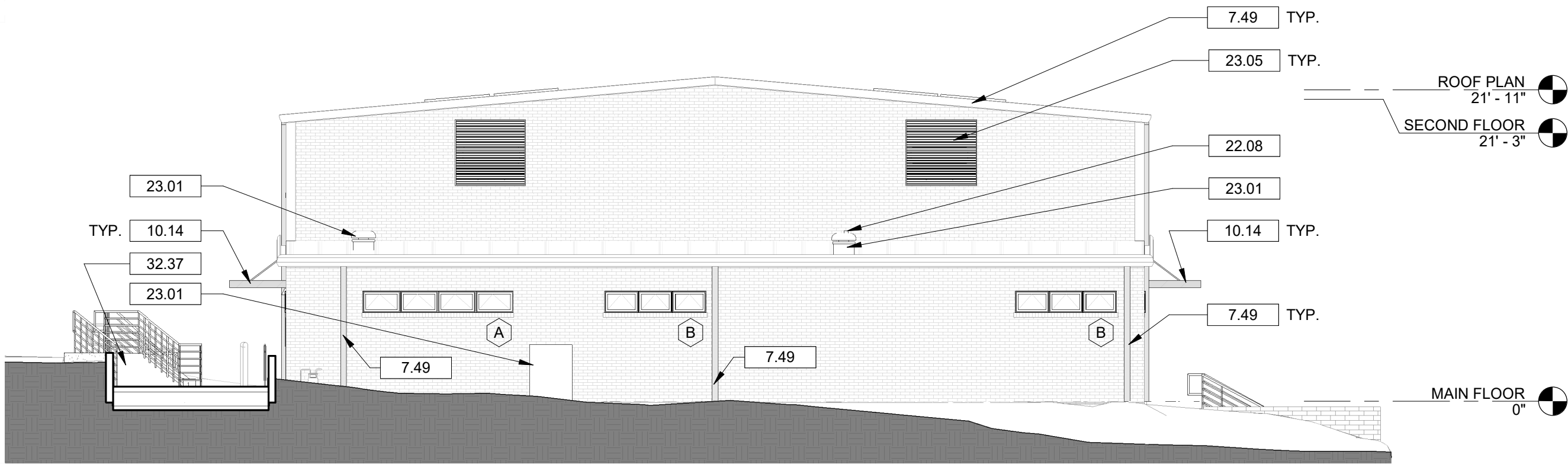
1 NORTH ELEVATION  
A4.01 1/8" = 1'-0"



2 EAST ELEVATION  
A4.01 1/8" = 1'-0"



3 SOUTH ELEVATION  
A4.01 1/8" = 1'-0"



4 WEST ELEVATION  
A4.01 1/8" = 1'-0"

## GENERAL EXTERIOR NOTES

- PROVIDE CONCEALED BLOCKING BEHIND LOCATIONS OF ALL ATTACHED BUILDING SIGNAGE.
- COORDINATE EXTERIOR ELEVATIONS WITH ELECTRICAL AND MECHANICAL DRAWINGS.
- PRESSURE WASH ENTIRE EXTERIOR OF BUILDING AT COMPLETION OF PROJECT.

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

## DRAWING NOTES

- BASE BID: REMOVE DAMAGED SECTIONS OF ROOF, PATCH AND REPLACE TO MATCH EXISTING. ALTERNATIVE NO. 1: REMOVE EXISTING ROOF PANELS, INSTALL NEW BUILDING FELT, WATER AND ICE SHIELD (2'-0" FROM ROOF EDGES, SKYLIGHTS, AND ANY PENETRATIONS, TYP.), AND INSTALL NEW METAL ROOF.
- BASE BID ITEM: REMOVE EXISTING DAMAGED SECTIONS OF INTEGRAL GUTTERS AND DOWNSPOUTS, PATCH AND REPLACE WITH NEW TO MATCH EXISTING (ALLOWANCE NO. 2). ALTERNATIVE NO. 2: IN LIEU OF REPAIRING EXISTING DAMAGED GUTTERS AND DOWNSPOUTS, OMIT ALLOWANCE NO. 2 AND REMOVE THE EXISTING GUTTERS AND DOWNSPOUTS IN THEIR ENTIRETY AND REPLACE WITH NEW.
- BASE BID: REMOVE EXISTING DAMAGED SKYLIGHT PANELS AND DAMAGED SKYLIGHT FLASHINGS AND REPLACE WITH NEW SKYLIGHT PANELS AND FLASHINGS (ALLOWANCE NO. 3). ALTERNATIVE NO. 3: IN LIEU OF REPAIRING/REPLACING EXISTING DAMAGED SKYLIGHTS AND FLASHINGS, OMIT ALLOWANCE NO. 3 AND REMOVE ALL EXISTING SKYLIGHTS AND REPLACE WITH NEW SKYLIGHTS AND FLASHINGS.
- BASE BID ITEM: REPLACE EXISTING DAMAGED WINDOW LITES (ALLOWANCE NO. 4). ALTERNATIVE NO. 4: IN LIEU OF REPLACING EXISTING DAMAGED WINDOW LITES, OMIT ALLOWANCE NO. 4 AND REMOVE AND REPLACE ALL WINDOWS WITH NEW STOREFRONT WINDOW SYSTEM AS SPECIFIED.
- NEW PREFINISHED ALUMINUM CANOPY TO MATCH EXISTING CANOPIES. REFER TO SPECIFICATIONS.
- VENT THROUGH ROOF. REFER TO PLUMBING DRAWINGS.
- MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS.
- NEW LOUVER VENT. REFER TO MECHANICAL DRAWINGS.
- NEW EXHAUST FAN AND GRILLE. REFER TO MECHANICAL DRAWINGS.
- NEW EXTERIOR WALLPACK. REFER TO ELECTRICAL DRAWINGS.
- CHAIN LINK FENCE. REFER TO CIVIL DRAWINGS FOR SIZE AND TYPE.
- NEW ACCESSIBLE RAMP. REFER TO CIVIL DRAWINGS AND A51.00.

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

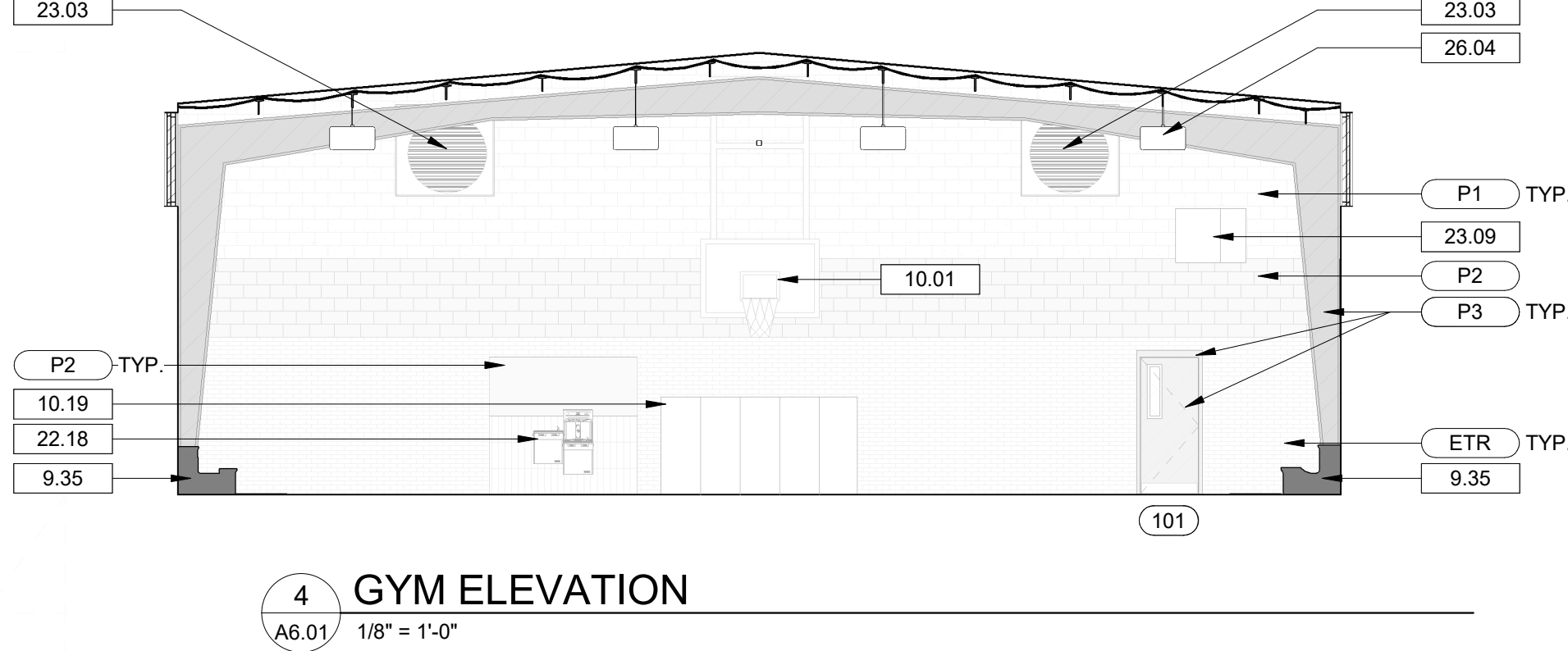
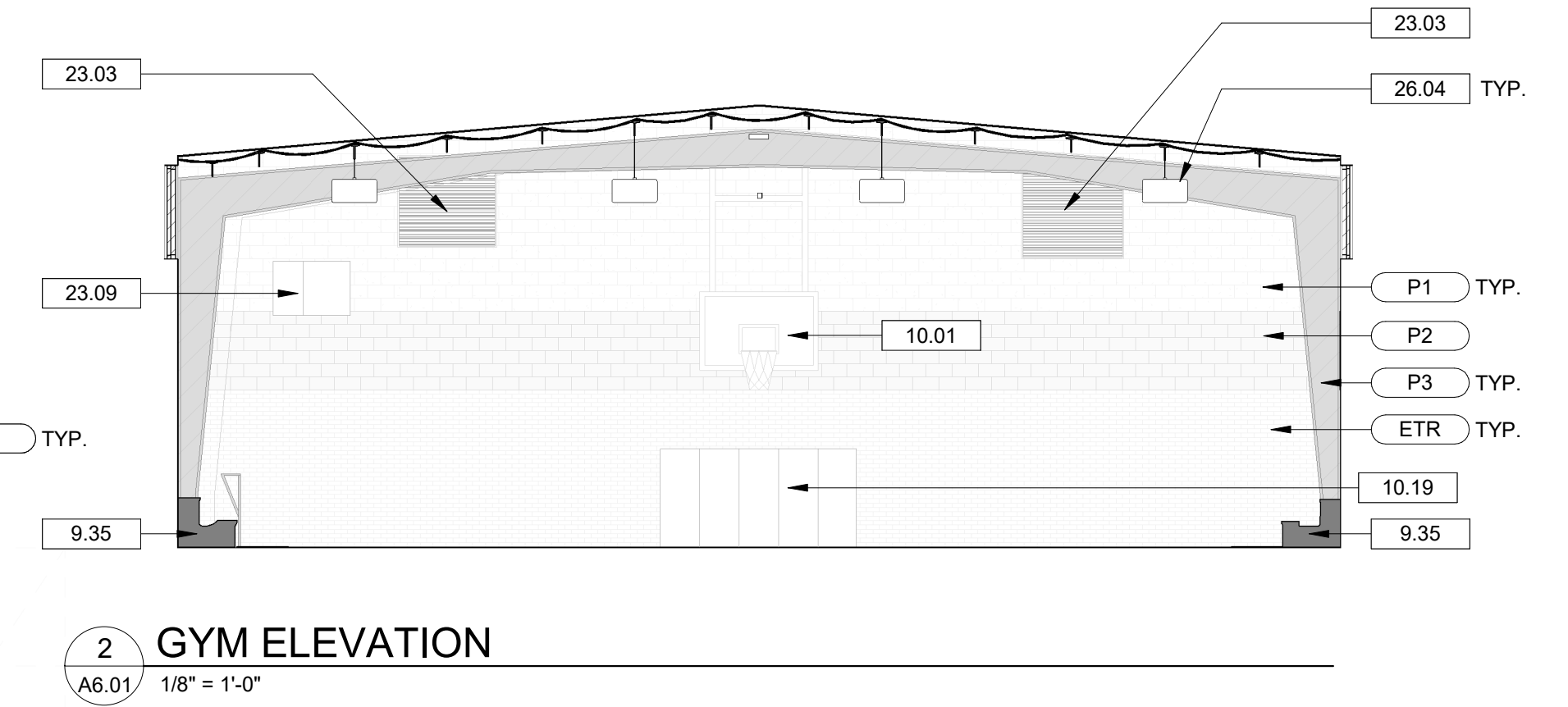
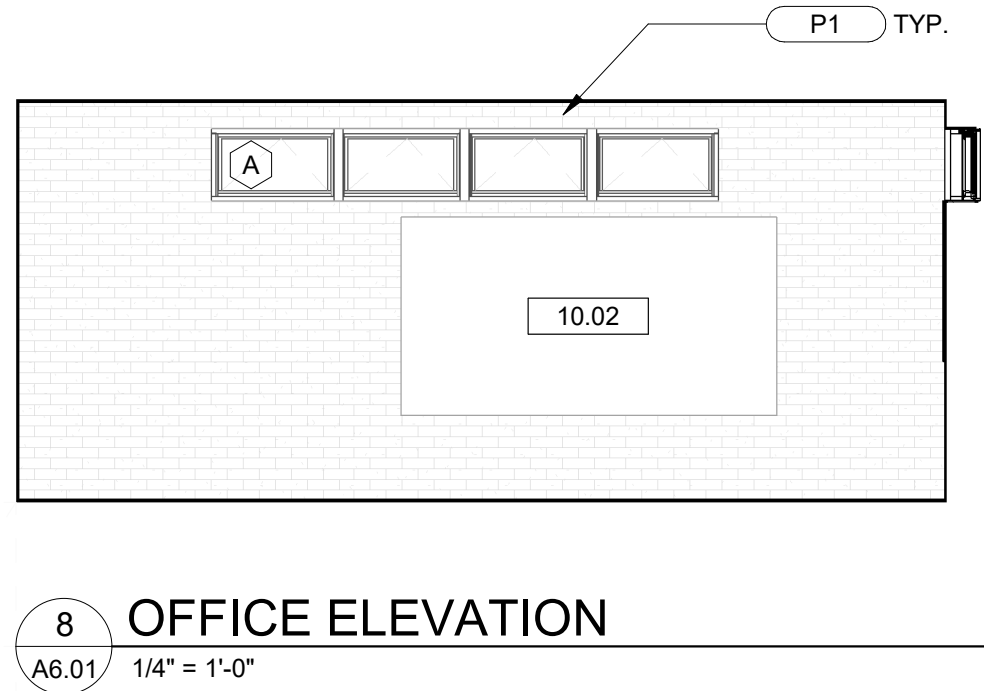
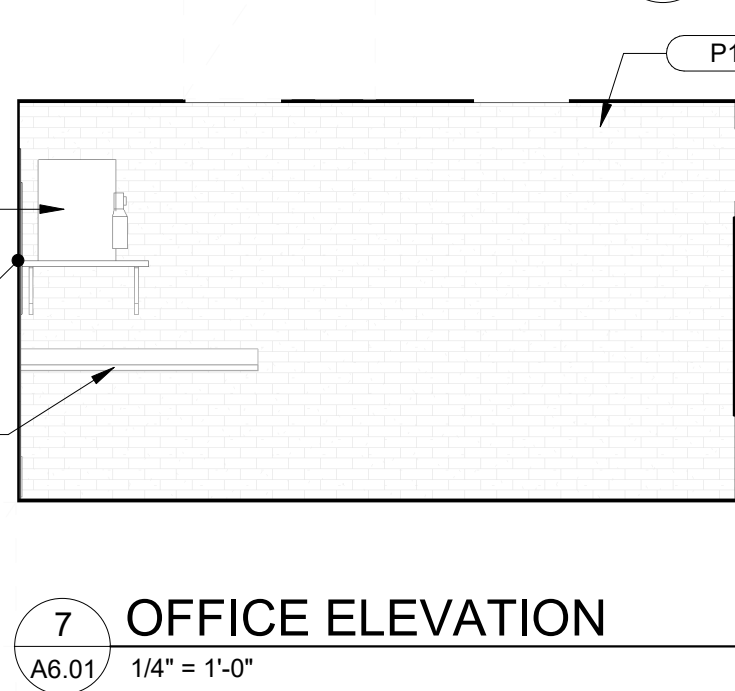
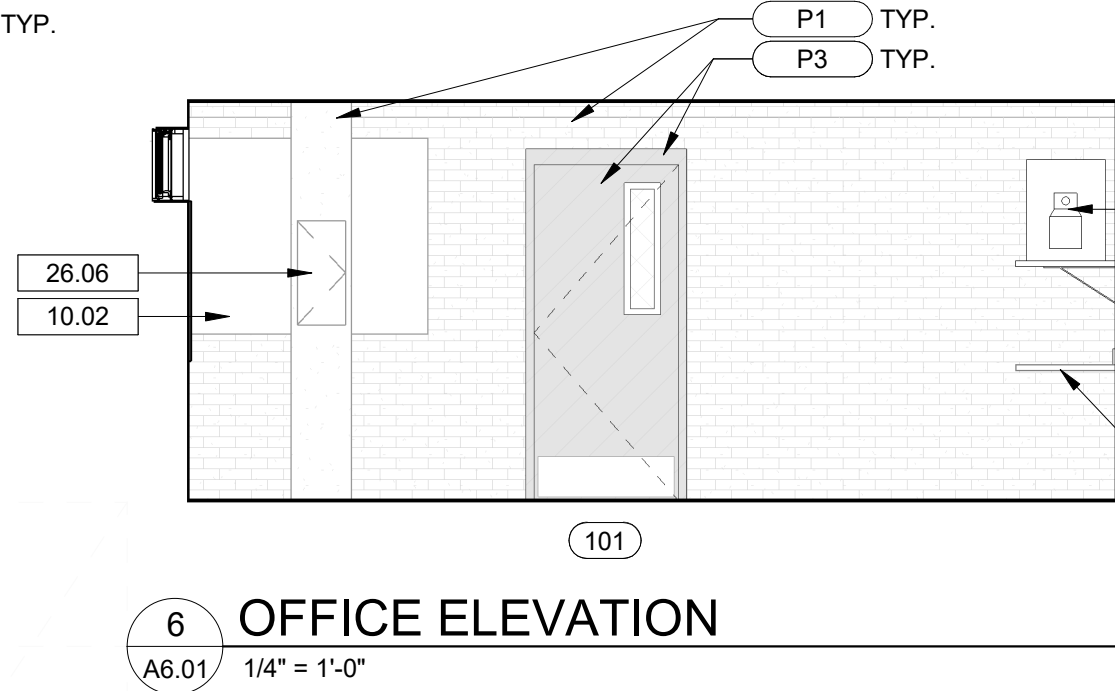
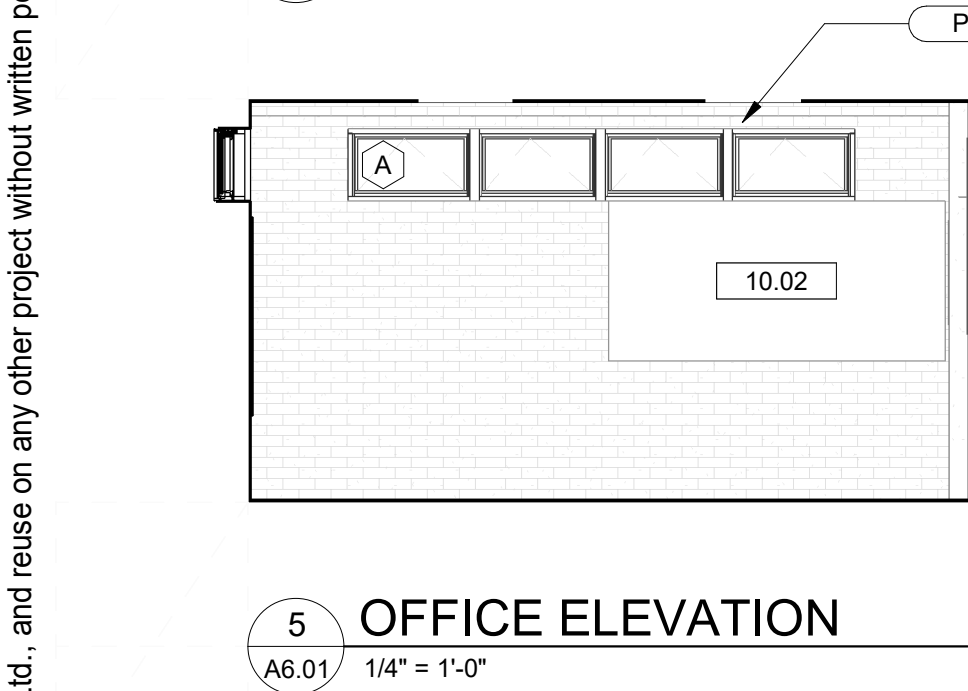
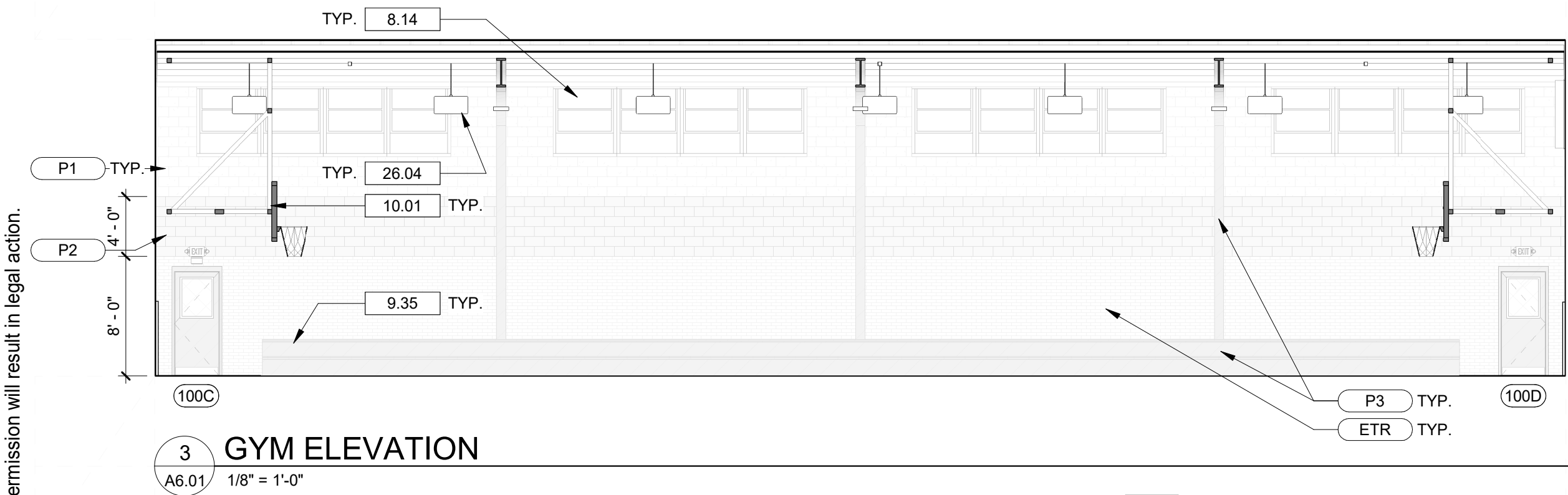
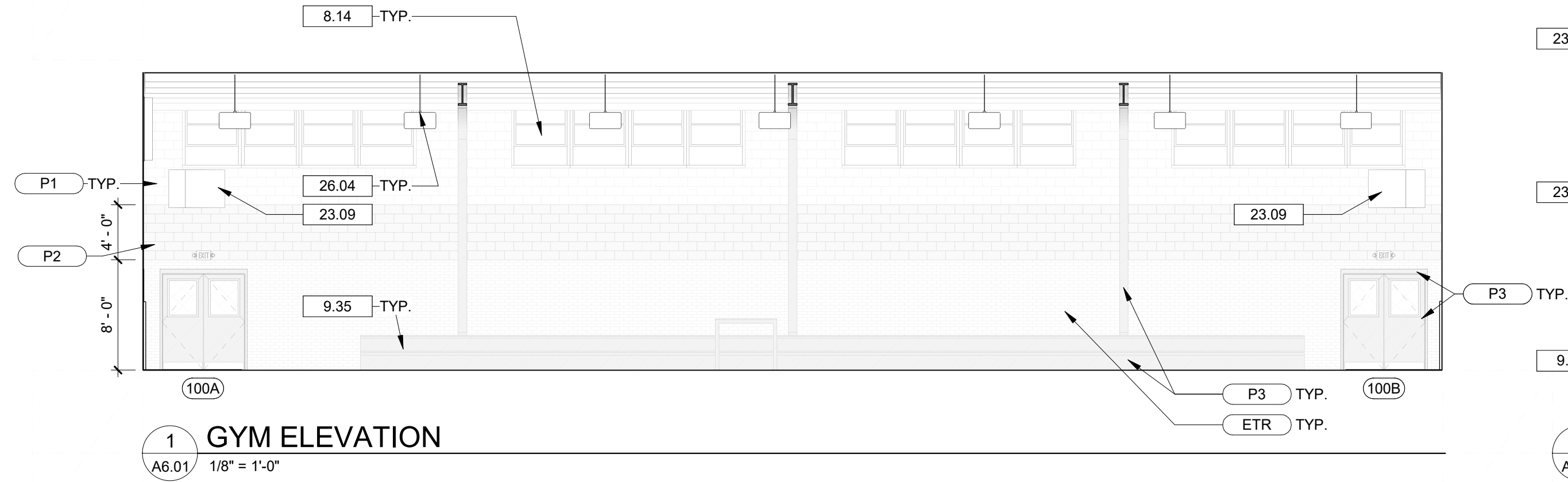
Drawing

**EXTERIOR  
ELEVATIONS**

**A4.01**



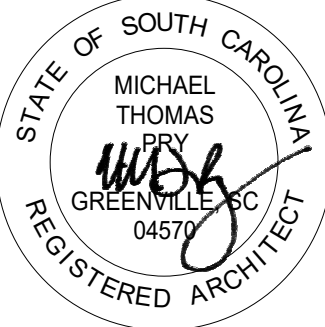
Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



## DRAWING NOTES

- 6.50 EXISTING COUNTER TO REMAIN.
- 8.14 BASE BID ITEM: REPLACE EXISTING DAMAGED WINDOW LITES (ALLOWANCE NO. 4). ALTERNATIVE NO. 4: IN LIEU OF REPLACING EXISTING DAMAGED WINDOW LITES, OMIT ALLOWANCE NO. 4 AND REMOVE AND REPLACE ALL WINDOWS WITH NEW STOREFRONT WINDOW SYSTEM AS SPECIFIED.
- 9.35 BASE BID ITEM: CLEAN AND PAINT EXISTING BLEACHERS. ALTERNATIVE NO. 6: IN LIEU OF PAINTING THE EXISTING BLEACHERS, COMPLETELY SAND, STAIN AND POLY THE EXISTING BLEACHERS.
- 10.01 EXISTING BASKETBALL HOOP, STRUCTURE, AND PULLY SYSTEM TO REMAIN.
- 10.02 EXISTING TACKBOARDS TO REMAIN.
- 10.19 BASE BID ITEM: EXISTING WALL PADS TO REMAIN. CLEAN. ALTERNATIVE NO. 7: REMOVE AND REPLACE EXISTING WALL PADS WITH NEW 5' TALL x 10' WIDE, 2" THICK PVC VINYL WALL PADS AS MANUFACTURED BY AMERICAN FLOOR MATS OR EQUAL. PADS ARE REQUIRED IN TWO (2) PLACES.
- 22.01 NEW WATER HEATER TANK. REFER TO PLUMBING DRAWINGS.
- 22.18 HI-LOW DRINKING FOUNTAIN WITH BOTTLE FILLER. REFER TO PLUMBING DRAWINGS.
- 23.03 NEW LOUVER VENT. REFER TO MECHANICAL DRAWINGS.
- 23.09 NEW GAS UNIT HEATER. REFER TO MECHANICAL DRAWINGS.
- 26.04 NEW HIGH-BAY LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS.
- 26.06 ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

Drawing

INTERIOR  
ELEVATIONS

A6.01



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.

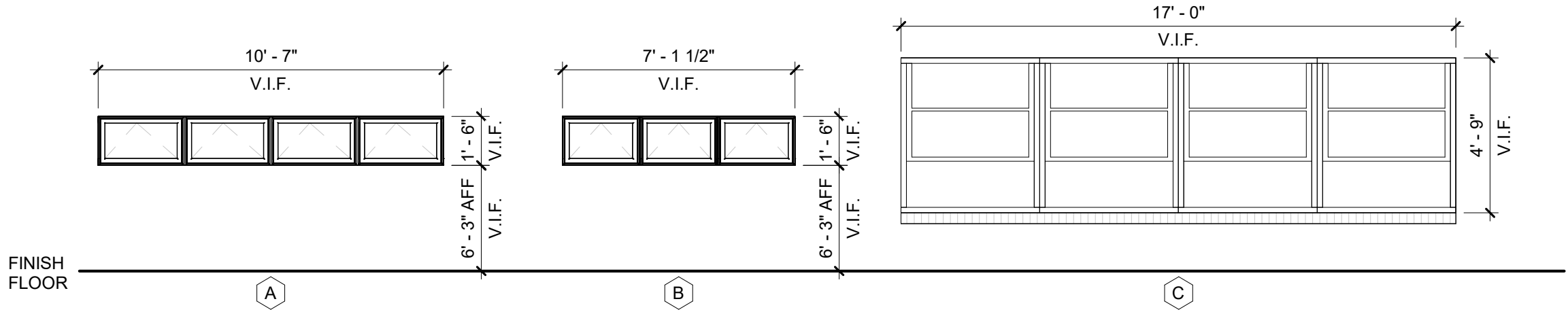
DOOR SCHEDULE

MARK	LOCATION		TYPE	DOOR				HARDWARE SET	FRAME MATERIAL
	FROM	TO		HEIGHT	WIDTH	MATERIAL	RATING		
100A	GYM	EXTERIOR	D2	7'-0"	6'-0"	HM		2	HM
100B	GYM	EXTERIOR	D2	7'-0"	6'-0"	HM		2	HM
100C	GYM	EXTERIOR	D1	7'-0"	3'-0"	HM		1	HM
100D	GYM	EXTERIOR	D1	7'-0"	3'-0"	HM		1	HM
101	GYM	OFFICE	D1	7'-0"	3'-0"	HM		3	ETR
103	HALL	MEN	D4	7'-0"	3'-0"	HM		4	HM
104	HALL	WOMEN	D4	7'-0"	3'-0"	HM		4	HM

HARDWARE SCHEDULE	
QUANTITY	ITEM
HARDWARE SET 1 - EXTERIOR ENTRY - SINGLE	
2	CONTINUOUS HINGE
1	RIM EXIT DEVICE
1	ENTRANCE FUNCTION LOCKSET
1	CLOSER W/ HOLD OPEN
1	KICKPLATE
1	THRESHOLD
1	WEATHERSTRIPPING
HARDWARE SET 2 - EXTERIOR ENTRY - DOUBLE	
1	CONTINUOUS HINGE
2	VERTICAL ROD EXIT DEVICE
2	ENTRANCE FUNCTION LOCKSET
2	CLOSER W/ HOLD OPEN
2	KICKPLATE
1	THRESHOLD
1	WEATHERSTRIPPING
HARDWARE SET 3 - INTERIOR OFFICE - SINGLE	
3	BALL BEARING BUTT HINGES
1	OFFICE FUNCTION LOCKSET
1	CLOSER W/ HOLD OPEN
1	KICKPLATE
1	WALL STOP
3	SILENCERS
HARDWARE SET 4 - INTERIOR RESTROOM - SINGLE	
3	BALL BEARING BUTT HINGES
1	DOOR PULL
1	CLOSER W/ HOLD OPEN
1	KICKPLATE
1	PUSH PLATE
1	WALL STOP
3	SILENCERS

HARDWARE SCHEDULE NOTES	
ITEM	MANUFACTURER
HARDWARE MANUFACTURERS (BASIS OF DESIGN) (FINISH 626)	
BUTTS	VON DUPRIN
LOCKSETS / LATCHSETS	SCHLAGE
EXIT DEVICES	VON DUPRIN
CLOSERS	LCN
KICKPLATE	IVES
MOP PLATE	IVES
DOOR STOPS	IVES
THRESHOLD	ZERO INTERNATIONAL
WEATHERSTRIPPING	ZERO INTERNATIONAL
SILENCERS	IVES

DOOR TYPE LEGEND



WINDOW TYPE LEGEND



GENERAL DOOR AND WINDOW NOTES

- A. PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
- B. ALL INTERIOR GLAZING TO BE 1/4" CLEAR GLAZING
- C. KEYING TO BE DETERMINED BY OWNER.
- D. UNLESS NOTED OTHERWISE, ALL HARDWARE OR TRIM FINISHES TO BE US26D OR GRAY.
- E. STOREFRONT BASIS OF DESIGN: KAWNEER 451UT 2" x 4 1/2" WITH 1" LAMINATED INSULATED GLASS. COLOR: BONE WHITE

Seal



20 DEC 2024



DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By Author  
Checked By Checker  
Date 3 APR 2025

Revisions

Drawing

DOOR SCHEDULE,  
HARDWARE  
SCHEDULE, DOOR  
LEGEND

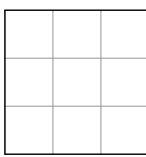
A10.01



INTERIOR FINISH SCHEDULE

ACOUSTIC CEILING TILE

ACT1 MFTG: ARMSTRONG  
PRODUCT: DUNE  
STYLE: SQUARE LAY-IN  
SIZE: 2' X 2'  
COLOR: WHITE  
LOCATION: FIELD  
CONTACT: SYDNEY WIEBE 864-887-2345  
COMMENTS: 15'16" GRID



LUXURY VINYL TILE

LVT1 MFTG: INTERFACE  
COLLECTION: STARGAZING  
PRODUCT: SCORPIO  
SIZE: 50CM X 50CM  
HEIGHT: 4.5MM  
COLOR: A01708 ELECTRIC BLUE  
INSTALLATION: ASHLAR, PREP SUBSTRATE TO MATCH EXISTING GYM FLOOR HEIGHT.  
LOCATION: OFFICE / GYM SURROUND  
CONTACT: BETH BAKER 704.420.4290

PAINT

P1 MFTG: SHERWIN WILLIAMS  
COLOR: SW 7009 GREEK VILLA  
FINISH: SEMIGLOSS FINISH (CMU WALLS AND HOLLOW METAL DOOR FRAMES), EG-SHEL FINISH (GYPSUM BOARD WALLS)  
LOCATION: FIELD PAINT  
WHEN USED ON CMU - WALL IS TO RECEIVE TWO COATS OF BLOCK FILLER BEFORE PAINTING

P2

MFTG: SHERWIN WILLIAMS  
COLOR: SW 6669 YARROW  
FINISH: SEMI GLOSS FINISH (CMU WALLS AND HOLLOW METAL DOOR FRAMES), EG-SHEL FINISH (GYPSUM BOARD WALLS)  
LOCATION: ACCENT  
WHEN USED ON CMU - WALL IS TO RECEIVE TWO COATS OF BLOCK FILLER BEFORE PAINTING

P3

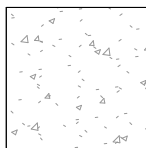
MFTG: SHERWIN WILLIAMS  
COLOR: SW 6804 DIGNITY BLUE  
FINISH: SEMIGLOSS FINISH (CMU WALLS AND HOLLOW METAL DOOR FRAMES), EG-SHEL FINISH (GYPSUM BOARD WALLS)  
LOCATION: ACCENT  
WHEN USED ON CMU - WALL IS TO RECEIVE TWO COATS OF BLOCK FILLER BEFORE PAINTING

PORCELAIN TILE

PT1 MFTG: DAL TILE  
COLLECTION: VOLUME 1.0  
SIZE: 12X24  
COLOR: NAVAL VL67  
FINISH: MATTE  
GROUT: MAPEI FLEXCOLOR CQ  
GROUT COLOR: SAHARA BEIGE 11  
INSTALLATION: MONOLITHIC  
LOCATION: WET WALLS UP TO 4'-0" A.F.F.  
COMMENTS: PRICE: \$2.81/SF + FREIGHT.  
CONTACT: KATIE BERRY 205.616.4405

RUBBER BASE

RB1 MFTG: JOHNSONITE/TARKETT  
PRODUCT: 4" TOELESS  
COLOR: 40 BLACK  
LOCATION: FIELD BASE  
COMMENTS: 120' COILS TO BE USED. 4" STRIPS WILL NOT BE ACCEPTED. ALL CORNERS TO BE FORMED IN FIELD. PREFORMED CORNERS WILL NOT BE ACCEPTED. BASE TO FIT TIGHTLY TO FLOOR AND WALL. SCRIBE AS NEEDED.



SEALED CONCRETE

SC1 MFTG: SHERWIN WILLIAMS  
COLLECTION: ARMORSEAL 8100  
MODEL: HEAVY DUTY FLOOR  
COATING B70708164/B  
PRODUCT: EPOXY  
COLOR: CLEAR  
FINISH: SATIN  
LOCATION: RESTROOMS  
GRIND, SAND, AND CLEAN CONCRETE FLOORS BEFORE APPLYING CLEAR SEALER.

TRANSITION STRIP

TS1 MFTG: JOHNSONITE/TARKETT  
PRODUCT: SLIMLINE TRANSITION  
COLOR: 29 MOON ROCK WG  
LOCATION: TRANSITION FROM LVT1 TO SEALED CONCRETE  
PROFILE: SLT-XX-J (SIZE TO BE CONFIRMED BY INSTALLER BASED ON MANUFACTURER'S RECOMMENDATION CONSIDERING FLOORING MATERIAL(S) THICKNESS AND SITE CONDITIONS)

TRANSITION STRIP

TS2 MFTG: SCHLUTER  
PRODUCT: DILEX - AHKA  
FINISH: SATIN ANODIZED ALUMINUM  
LOCATION: TILE BASE TRANSITION  
NOTE: USED MANUFACTURER RECOMMENDATIONS FOR CORNERS  
NOTE 2: FACE OF TILE TO TRANSITION SEAMLESSLY TO TRANSITION STRIP

TRANSITION STRIP

TS3 MFTG: SCHLUTER  
PRODUCT: JOLLY  
FINISH: SATIN ANODIZED ALUMINUM  
LOCATION: TOP OF TILE TO WALL TRANSITION  
NOTE: FACE OF TILE TO TRANSITION SMOOTHLY TO EDGE OF TRANSITION  
LOCATION: TO BE USED ON OUTSIDE CORNERS/EDGES OF WALL TILE  
NOTE 2: FACE OF TILE TO TRANSITION SEAMLESSLY TO TRANSITION STRIP

EXISTING TO REMAIN

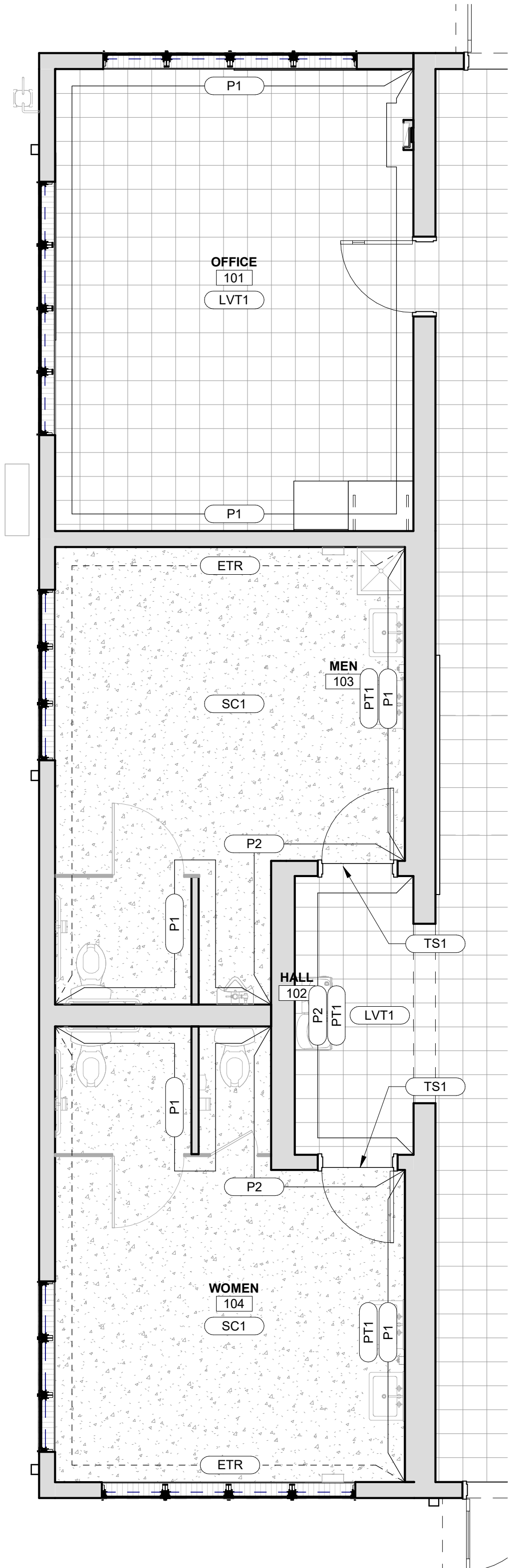
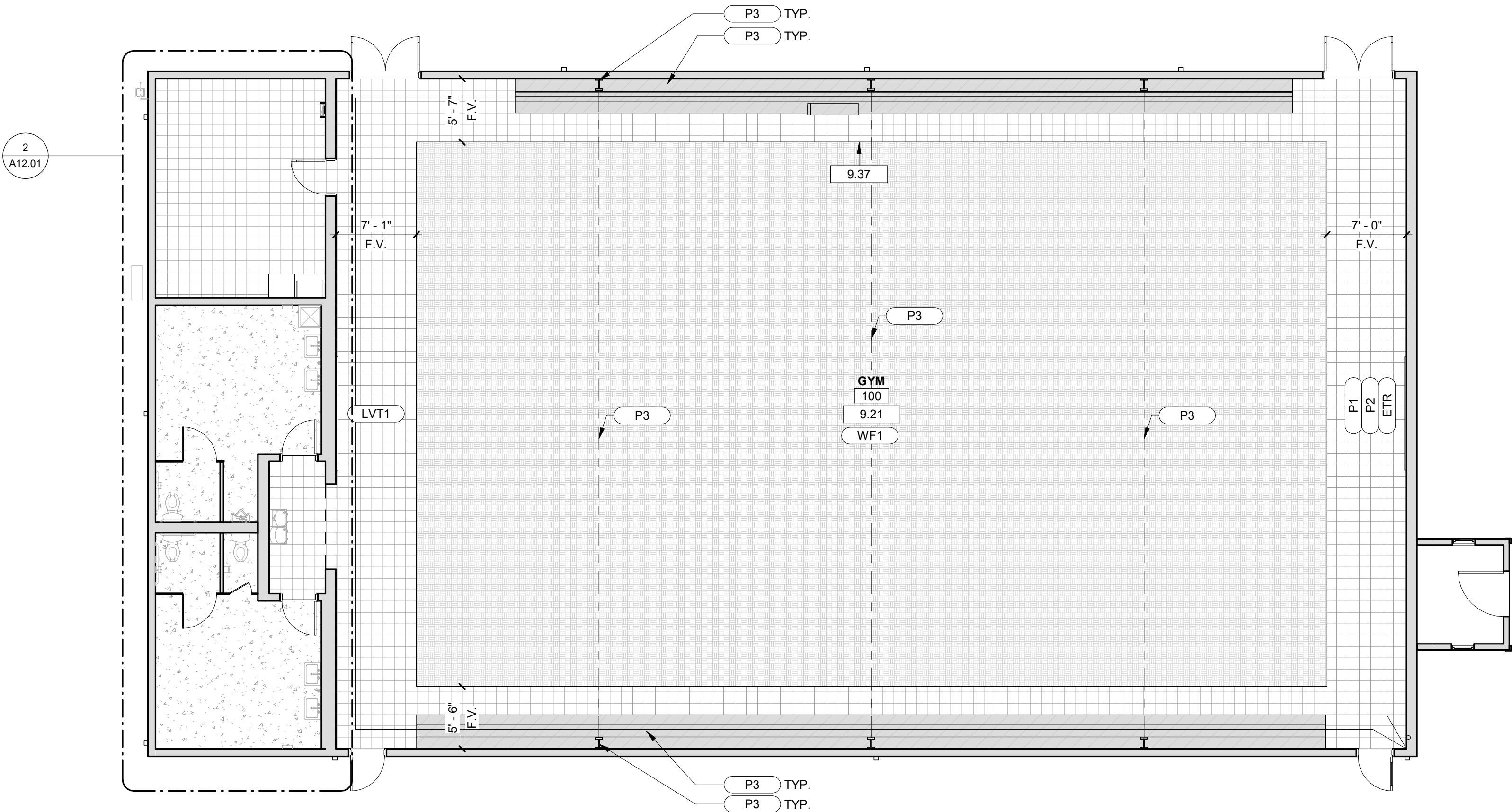
ETR LOCATION: EXPOSED BRICK & CMU  
CLEAN ALL UNPAINTED INTERIOR MASONRY.

ROOM FINISH SCHEDULE

NUMBER	NAME	FLOOR		WALLS				CEILING
		FINISH	BASE	NORTH	EAST	SOUTH	WEST	
100	GYM	WF1 / LVT1	RB1 / PT1	ETR / P1 / P2	ETR / P1 / P2	ETR / P1 / P2	ETR / P1 / P2 /	ETR
101	OFFICE	LVT1	RB1	P1	P1	P1	P1	ACT1
102	HALL	LVT1	RB1	P2	ETR	P2	P2	ACT1
103	MEN	SC1	RB1 / PT1	ETR	P1 / P2	ETR / P1 / P2	ETR	ACT1
104	WOMEN	SC1	RB1 / PT1	ETR / P1 / P2	P1 / P2	ETR	ETR	ACT1

WOOD FLOOR

WF1 LOCATION: GYM FLOOR  
BASE BID: EXISTING COURT FLOORING FINISH TO REMAIN. CLEAN, ALTERNATIVE NO. 5: RE-STRIPE AND REFINISH THE EXISTING GYM FLOOR. SAND EXISTING GYM FLOOR USING COARSE, MEDIUM, AND FINE SAND PAPER. FINAL SANDING WITH A DISC SANDER, CLEAN SURFACE THOROUGHLY. APPLY TWO COATS SEALER, BUFFING AND CLEANING BETWEEN COATS. APPLY TWO COATS OF FINISH AT A RATE OF 500 SQUARE FEET PER GALLON. STRIPE AS EXISTING. CONCRETE SLAB MUST BE LEVEL TO 1/8" IN A 10' RADIUS AND DRY TO 4.5# PER 1,000 SQ. FT. AS TESTED BY CALCIUM CHLORIDE DRY CRYSTAL METHODS, WITH NO SEALER APPLIED.



GENERAL FINISH NOTES

- ALL INTERIOR FINISH SPECIFICATIONS AS REQUIRED OF THE ARCHITECT ARE INCLUDED HEREIN. SHOULD THERE BE DISCREPANCIES OR OMISSIONS, THE ARCHITECT IS TO BE CONSULTED BEFORE PROCEEDING. THE ARCHITECT IS NOT RESPONSIBLE FOR DISCREPANCIES OR OMISSIONS THAT ARISE DUE TO CHANGES BY THE CONTRACTOR, CONSULTANTS, OR OWNERS AFTER DATE OF DRAWINGS UNLESS NOTED AS A REVISION ON DRAWINGS.
- PROVIDE ALL FINISHES AND MATERIALS AS SPECIFIED IN THE FINISH LEGEND. NO SUBSTITUTIONS WILL BE ACCEPTED.
- SHOULD THERE BE ANY DISCONTINUED OR DELAYED MATERIALS, THE ARCHITECT / INTERIOR DESIGNER IS TO BE NOTIFIED IMMEDIATELY AND CONSULTED BEFORE PROCEEDING.
- IF ANY ITEMS ARE IDENTIFIED REQUIRING SELECTION NOT ADDRESSED IN THESE DRAWINGS, NOTIFY THE ARCHITECT / INTERIOR DESIGNER IMMEDIATELY AND PROVIDE SAMPLES OF COLOR/FINISH OPTIONS, CLEARLY IDENTIFYING ANY COST ABOVE BASE BID.
- PROVIDE SAMPLES AND SHOP DRAWINGS/SEAMING DIAGRAMS FOR ALL FINISHES FOR APPROVAL PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH WORK.
- IF ANY DEFECTS ARE DISCOVERED IN MATERIALS (SUCH AS SHADING INCONSISTENCIES, SEAM MISMATCHING, ETC), NOTIFY THE ARCHITECT / INTERIOR DESIGNER IMMEDIATELY. DO NOT PROCEED WITH WORK.
- TEST SUBSTRATES FOR APPROPRIATE MOISTURE LEVELS PRIOR TO INSTALLING MATERIALS.
- INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS/RECOMMENDATIONS AND INDUSTRY STANDARDS.
- PROTECT EXPOSED CONCRETE SLABS FROM MUD AND OIL STAINS. ALL STAINS MUST BE COMPLETELY REMOVED FROM CONCRETE.
- ALL FLOORING TRANSITIONS TO BE COMPLIANT WITH ADA AND LOCAL ACCESSIBILITY REQUIREMENTS. SHOULD REQUIREMENTS BE IN CONFLICT, THE MORE STRINGENT SHALL BE FOLLOWED.
- ALL FLOORING TRANSITIONS BETWEEN ROOMS TO OCCUR UNDER CENTERLINE OF DOOR IN CLOSED POSITION.
- IF SURFACES ARE NOT ACCEPTABLE TO RECEIVE FINISHES, CONTRACTOR SHALL HAVE SURFACES CORRECTED BEFORE BEGINNING FINISH APPLICATION.
- PRIME ALL SURFACES PRIOR TO APPLYING FINAL PAINT FINISHES.
- PAINT ALL VERTICAL AND HORIZONTAL SURFACES OF SOFFITS WITH SPECIFIED FINISH, UNLESS NOTED OTHERWISE.
- PROVIDE COLOR MATCHED CAULK AT CASEWORK. CONTRACTOR TO SUBMIT SAMPLES FOR APPROVAL PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH WORK.
- PAINT 4"x4" AREAS IN SPECIFIED SPACES WITH ADEQUATE LIGHTING, FOR EACH COLOR SPECIFIED FOR APPROVAL BY THE ARCHITECT / INTERIOR DESIGNER PRIOR TO BEGINNING WORK. SAMPLE AREAS SHALL HAVE THE SAME FINISH AND NUMBER OF COATS AS REQUIRED FOR THE ACTUAL WORK.
- ALL SURFACES SHALL RECEIVE A FINISH, WHETHER NOTED OR NOT. ITEMS NOT NOTED WILL BE SELECTED BY THE ARCHITECT DURING CONSTRUCTION.
- ALL COVER PLATES (DATA, LIGHTS, TELEPHONE, ETC.) TO BE STAINLESS STEEL. ALL DEVICES TO BE GREY, UNLESS NOTED OTHERWISE.

ATTIC STOCK

THE CONTRACTOR SHALL DELIVER TO THE OWNER THE SPARE PARTS, EXTRA STOCK AND MAINTENANCE MATERIALS LISTED BELOW. MATERIALS SHALL BE NEATLY PACKAGED AND IDENTIFIED.

ACOUSTICAL CEILING

- (2) FULL CARTONS OF EACH TILE

RESILIENT FLOORING

- 10% EACH MAJOR COLOR OF VCT/LVT
- 8 LINEAR FEET OF EACH COLOR AND TYPE OF BASE

PAINT

- (1) FULL GALLON EACH COLOR AND TYPE OF PAINT OR STAIN

AIR DISTRIBUTION

- (1) FULL CARTON OF EACH FILTER SIZE AND TYPE

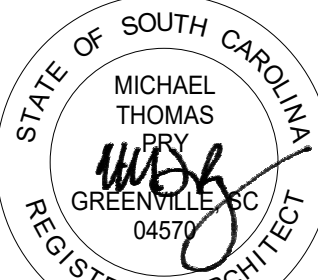
LIGHTING

- (2) EACH TYPE OF LAMP

DRAWING NOTES

- 9.21 BASE BID: EXISTING COURT FLOORING FINISH TO REMAIN. CLEAN, ALTERNATIVE NO. 5: RE-STRIPE AND REFINISH THE EXISTING GYM FLOOR.
- 9.37 EXISTING FLOOR AND NEW FLOOR TO BE FLUSH.

Seal



20 DEC 2024

**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY**  
**WHITMIRE CITY GYM**  
**RENOVATION**

Project Number 23233  
Drawn By JJN  
Checked By MTP  
Date 3 APR 2025

Revisions

Drawing

FINISH PLANS

A12.01

Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.

GENERAL

- A. USE THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND SHOP DRAWINGS.
- B. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONTRACT DOCUMENTS AND LATEST ADDENDA, AS WELL AS SUBMITTING TO ALL SUBCONTRACTORS AND SUPPLIERS PRIOR TO SUBMITTING SHOP DRAWINGS.
- C. DO NOT SCALE DRAWINGS OR AUTO-DIMENSION ELECTRONIC FILES. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES IN WRITING PRIOR TO FABRICATION OR CONSTRUCTION.
- D. COMPARE ALL CONTRACT DRAWINGS AND REPORT ANY DISCREPANCIES BETWEEN DISCIPLINES, AND WITHIN A GIVEN DISCIPLINE, TO THE ARCHITECT AND ENGINEER PRIOR TO FABRICATION AND ERECTION.
- E. IF A CONFLICT EXISTS AMONG THE STRUCTURAL DRAWINGS OR GENERAL NOTES, THE STRICTEST REQUIREMENTS, AS INDICATED BY THE ENGINEER, GOVERNS.
- F. COORDINATE ALL ELEVATIONS AND DIMENSIONS, INCLUDING BUT NOT LIMITED TO, OPENINGS IN WALLS AND IN ROOF AND FLOOR SYSTEMS, WITH THE ARCHITECTURAL, PLUMBING, ELECTRICAL, AND MECHANICAL PLANS.
- G. VERIFY ALL DIMENSIONS, ELEVATIONS, AND ANY OTHER EXISTING CONDITIONS. NOTIFY THE ARCHITECT AND ENGINEER OF DISCREPANCIES BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. DURING THE CONSTRUCTION PROCESS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE AND TO PROTECT FROM DAMAGE ANY PORTIONS THAT REMAIN. THE SHORING AND BRACING SHOWN (IF ANY) IS A PARTIAL AND SCHEMATIC REPRESENTATION. DETERMINE THE ERECTION PROCEDURE TO ENSURE THE STABILITY AND SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION.
- H. THE COMPLETED LATERAL-FORCE RESISTING SYSTEMS (LFRS), INCLUDING THE DIAPHRAGMS, ARE REQUIRED TO RESIST LATERAL LOADS AND PROVIDE STABILITY UNDER GRAVITY LOADS. DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR ALL BRACING DURING CONSTRUCTION TO MAINTAIN THE STABILITY AND SAFETY OF ALL STRUCTURAL ELEMENTS UNTIL THE LATERAL-LOAD RESISTING OR STABILITY-PROVIDING SYSTEM IS COMPLETELY INSTALLED AND THE STRUCTURE IS COMPLETELY TIED TOGETHER.
- I. UNLESS NOTED OTHERWISE, DETAILS SHOWN ARE TYPICAL FOR ALL SIMILAR CONDITIONS.
- J. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS, AS WELL AS SAFETY PRECAUTIONS AND PROGRAMS.
- K. BRITT, PETERS & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, NOR FAILURE TO PERFORM WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- L. PERIODIC SITE OBSERVATION BY BRITT, PETERS & ASSOCIATES, INC. IS FOR DETERMINING IF THE WORK IS PROCEEDING IN ACCORDANCE WITH THE STRUCTURAL CONTRACT DOCUMENTS. STRUCTURAL OBSERVATIONS ARE NOT INTENDED AS QUALITY CONTROL (CONTRACTOR'S RESPONSIBILITY), QUALITY ASSURANCE (SPECIAL INSPECTOR'S RESPONSIBILITY), NOR TO CONFIRM THE QUALITY OR QUANTITY OF THE WORK.
- M. THE BUILDING OWNER IS RESPONSIBLE FOR PERIODIC MAINTENANCE TO ENSURE STRUCTURAL INTEGRITY. MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO, STEEL CONCRETE COATINGS, SEALANTS, CAULKED JOINTS, EXPANSION JOINTS, CONTROL JOINTS, SPALLS, AND CRACKS IN CONCRETE, AND CLEANING OF EXPOSED STRUCTURAL ELEMENTS.

DESIGN CRITERIA

- A. STRUCTURAL DRAWINGS ARE BASED ON THE REQUIREMENTS OF THE 2021 INTERNATIONAL BUILDING CODE, 2021 SOUTH CAROLINA BUILDING CODE AND THE REFERENCED SECTIONS WITHIN.
- B. LIVE LOADS:
  - 1. LIVE LOADS ARE BASED ON THE MORE RESTRICTIVE OF THE UNIFORM LOAD OR THE CONCENTRATED LOAD LISTED ACTING OVER A 6.25 SQUARE FOOT AREA. LIVE LOADS HAVE BEEN REDUCED AS PRESCRIBED IN THE AFOREMENTIONED BUILDING CODE.

LIVE LOADS		
CATEGORY	UNIFORM LOAD (PSF)	CONCENTRATED LOAD (LBS)
	20	
ROOFS: ORDINARY ROOF		

- C. DESIGN SNOW LOADS:
  - 1. GROUND SNOW LOAD: P<sub>g</sub> 10 PSF
- D. DESIGN WIND LOADS:
  - 1. BASIC WIND SPEED: V<sub>ULT</sub> 110 MPH (3-SEC GUST)
  - 2. BASIC WIND SPEED: V<sub>ASD</sub> 85 MPH (3-SEC GUST)
  - WIDTH OF ZONE, a = 4 FT
- E. SEISMIC LOADS:
  - 1. RISK CATEGORY: II
  - 2. SEISMIC IMPORTANCE FACTOR: I<sub>s</sub> 1.0
  - 3. SHORT PERIOD SPECTRAL RESPONSE ACCELERATION: S<sub>s</sub> 0.309 g
  - 4. 1-SEC PERIOD SPECTRAL RESPONSE ACCELERATION: S<sub>1</sub> 0.08 g
  - 5. SITE CLASS: D (ASSUMED)
  - 6. SHORT PERIOD DESIGN SPECTRAL RESPONSE ACCELERATION: S<sub>DS</sub> 0.32 g
  - 7. 1-SEC PERIOD DESIGN SPECTRAL RESPONSE ACCELERATION: S<sub>D1</sub> 0.158 g
  - 8. SEISMIC DESIGN CATEGORY A
  - 9. NO SEISMIC EVALUATION REQUIRED DUE TO LIMITED MODIFICATIONS

DEMOLITION

- A. REMOVE STRUCTURE FROM TOP DOWN. DO NOT ALLOW DEBRIS TO PILE UP OR FALL ON SLABS TO REMAIN. USE PLYWOOD AND/OR OTHER MEANS TO PROTECT SLABS FROM DAMAGE. REPAIR OR REPLACE DAMAGED SLABS, BEAMS, OR OTHER COMPONENTS AS DETECTED BY OWNER.
- B. THESE DRAWINGS ARE INTENDED TO DEFINE LIMITS OF STRUCTURAL ELEMENT REMOVAL, AND PRECAUTIONS FOR PREVENTING DAMAGE TO STRUCTURE TO REMAIN. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.
- C. FOLLOW THESE GUIDELINES FOR STEEL MEMBER REMOVAL:
  - 1. BOLTED CONNECTIONS MAY BE REMOVED BY WITHDRAWING BOLTS AFTER SUPPORTED MEMBERS HAVE BEEN REMOVED.
  - 2. TO PREVENT DAMAGE TO COLUMNS INTENDED TO REMAIN: DO NOT BURN OFF BEAM/GIRDER CONNECTION AT THE FACE OF THE COLUMN. OUTSTANDING LEGS OF CONNECTION ANGLES MAY BE BURNED OFF.
  - 3. SIMILARLY, WHERE BEAMS TO BE REMOVED ARE CONNECTED TO GIRDERS OR OTHER BEAMS WHICH WILL REMAIN, DO NOT BURN OFF CONNECTIONS AT THE FACE OF THE MEMBER TO REMAIN.
- D. FIELD VERIFY ALL EXISTING CONDITIONS. SUBMIT A WRITTEN REPORT IDENTIFYING DEVIATIONS FROM THE EXISTING STRUCTURE INDICATED.
- E. INSTALL TEMPORARY SHORING AND BRACING OF STRUCTURE AS REQUIRED.
- F. CONTACT THE ENGINEER FOR QUESTIONABLE LOCATIONS OR SPECIAL CONDITIONS NOT INDICATED.
- G. SUBMIT DETAILS AND CALCULATIONS OF SHORING, BRACING, AND OTHER CONSTRUCTION REQUIRED, INCLUDING PHASING, STAGING, AND SEQUENCE. SUBMITTAL MUST BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER, RETAINED BY THE CONTRACTOR. PROVIDE SUBMITTAL TO SPECIAL INSPECTION AGENCY FOR REVIEWING THE INSTALLED SHORING/BRACING, PRIOR TO PROCEEDING WITH WORK.

FOUNDATIONS

- A. AN ALLOWABLE BEARING CAPACITY OF 1,500 PSF HAS BEEN ASSUMED AND MUST BE CONFIRMED BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF CONCRETE.
- B. ALL SOILS WORK, INCLUDING BACKFILL OF UTILITY TRENCHES AND THE VERIFICATION OF BEARING CAPACITY MUST BE UNDER THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER. PROXIMITY OF UTILITY TRENCHES TO BUILDING FOUNDATION SYSTEM MUST BE AS APPROVED BY THE GEOTECHNICAL ENGINEER TO ENSURE INTEGRITY OF THE BEARING SOILS.
- C. ALL FOUNDATIONS BEAR ON UNDISTURBED EARTH OR ENGINEERED FILL AT ELEVATIONS SHOWN ON PLANS AND DETAILS. COORDINATE FINAL TOP OF FOOTING ELEVATIONS WITH THE ARCHITECTURAL ELEVATIONS, MEP DRAWINGS, AND CIVIL GRADING PLANS PRIOR TO PLACEMENT. FOUNDATION STEPS INDICATED ARE APPROXIMATE, UNLESS NOTED OTHERWISE, AND MUST BE FIELD COORDINATED. THE BOTTOM OF EXTERIOR FOUNDATION ELEVATIONS MUST BE BELOW THE FROST DEPTH ELEVATION MEASURED FROM EXTERIOR FINISHED GRADE.
- D. BEAR FLOOR SLABS ON 4 INCH MINIMUM DRAINAGE COURSE (COMPACTED STONE) UNLESS NOTED OTHERWISE IN THE GEOTECHNICAL REPORT OR DRAWINGS. PLACE THE VAPOR RETARDER BETWEEN THE DRAINAGE COURSE AND THE SLAB. VAPOR RETARDER IS ASTM E1745, CLASS B, 10 MIL UNLESS NOTED OTHERWISE. PLACE, PROTECT, AND REPAIR PER ASTM E1643 AND MANUFACTURER'S INSTRUCTIONS.
- E. DO NOT INSTALL FOUNDATION CONCRETE UNTIL ALL FOUNDATION WORK HAS BEEN COORDINATED WITH UNDERGROUND UTILITIES. NOTIFY THE ENGINEER OF ALL CONFLICTS BETWEEN FOUNDATIONS AND UTILITIES.
- F. ALL FOUNDATIONS, OR PORTIONS THEREOF BELOW GRADE, MAY BE EARTH FORMED BY NEAT EXCAVATIONS. DO NOT PLACE FOUNDATIONS, SLABS, OR OTHER CONCRETE ON FROZEN SUBGRADE OR IN STANDING WATER.
- G. CENTER ALL FOUNDATIONS ON WALLS AND/OR COLUMNS, UNLESS NOTED OTHERWISE.
- H. RETAINING WALL (LATERAL EARTH PRESSURE) DESIGN VALUES ASSUMED:
  - 1. SOIL UNIT WEIGHT: 110 PCF
  - 2. ACTIVE LATERAL EARTH PRESSURE: (EFPa) 45 PCF
  - 3. PASSIVE LATERAL EARTH PRESSURE: (EFPp) 250 PCF
  - 4. AT-REST LATERAL EARTH PRESSURE: (EFPo) 85 PCF
  - 5. FRICTION COEFFICIENT (SOIL/CONCRETE): 0.40
- I. DETERMINE THE EXTENT OF CONSTRUCTION DEWATERING REQUIRED FOR THE EXCAVATIONS. SUBMIT THE PROPOSED CONSTRUCTION DEWATERING PLAN TO THE GEOTECHNICAL ENGINEER FOR REVIEW PRIOR TO EXCAVATION.
- J. DO NOT PLACE UNBALANCED BACKFILL UNLESS OTHERWISE BRACED OR SUPPORTED AGAINST OVERTURNING.
- K. DO NOT ALLOW HEAVY EQUIPMENT WITHIN A DISTANCE TO EARTH RETAINING WALLS EQUAL TO THE HEIGHT OF RETAINED EARTH PLUS TWO FEET. USE ONLY HAND-OPERATED VIBRATORY COMPACTORS FOR COMPACTING THE BEHIND RETAINING WALLS.

CONCRETE

- A. CONCRETE MUST CONFORM TO THE CONCRETE PROPERTIES SPECIFIED IN THE CONCRETE PROPERTIES TABLE.
- B. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONTRACT DOCUMENTS AND LATEST ADDENDA (SEE ASTM C157).
- C. SLABS TO RECEIVE MOISTURE SENSITIVE FLOOR COVERINGS MUST HAVE MAXIMUM WATER/CEMENTITIOUS MATERIAL RATIO OF 0.45.
- D. CONCRETE CONSTRUCTION MUST CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PRACTICE".
- E. ALL CONCRETE PLACEMENT SHALL ADHERE TO APPLICABLE SECTIONS OF ACI 305 AND ACI 306 FOR HOT WEATHER/COLD WEATHER CONCRETE PLACEMENT.
- F. MASS CONCRETE:
  - 1. MASS CONCRETE IS DEFINED AS ANY ELEMENT WITH A LEAST HORIZONTAL DIMENSION OF 5'-0" OR GREATER. MASS CONCRETE MUST BE CONSTRUCTED BY THE PRINCIPLES AND PRACTICES OF ACI 207.1R AND CONFORM TO THE REQUIREMENTS OF ACI 301, SECTION 8 FOR MASS CONCRETE.
  - 2. MAXIMUM CONCRETE TEMPERATURE DURING CURING MUST NOT EXCEED 180 DEGREES FAHRENHEIT.
  - 3. MAXIMUM DIFFERENTIAL TEMPERATURE BETWEEN CONCRETE CORE AND CONCRETE SURFACE DURING CURING MUST NOT EXCEED 50 DEGREES FAHRENHEIT.
  - 4. CONCRETE SUPPLIER MUST SUBMIT THERMAL MODELING OF MIX DESIGNS USED IN MASS CONCRETE APPLICATIONS SHOWING SPECIFIED TEMPERATURE LIMITS WILL NOT BE EXCEEDED AND PROVIDE A TEMPERATURE CONTROL PLAN FOR CONSTRUCTION.
  - 5. USE TYPE II CEMENT AND/OR FLY ASH UP TO 50% OF THE CEMENTITIOUS MATERIAL CONTENT TO MINIMIZE THE HEAT OF HYDRATION.
  - 6. PLACE CONCRETE IN LAYERS NOT MORE THAN 24" THICK.
- G. CONCRETE MATERIALS MUST CONFORM TO THE FOLLOWING SPECIFICATIONS:
  - 1. PORTLAND CEMENT: ASTM C150, TYPE I OR II
  - 2. AGGREGATE (NORMAL WEIGHT): ASTM C33
- H. ALL REINFORCEMENT MUST CONFORM TO THE FOLLOWING SPECIFICATIONS:
  - 1. ALL REINFORCING, UNO: ASTM A615 GRADE 60
  - 2. DEFORMED BAR ANCHORS (DBA): ASTM A496 (75 KSI)
  - 3. EPOXY-COATED REINFORCING: ASTM A775
  - 4. GALVANIZED REINFORCING: ASTM A787 CLASS II (2.0 OZ. PER SF ZINC)
  - 5. WELDABLE REINFORCING: ASTM A706 GRADE 60
  - 6. WELDED WIRE REINFORCEMENT (WWR):
    - a. SMOOTH WIRE: ASTM A1064 (65 KSI)
    - b. DEFORMED WIRE: ASTM A1064 (70 KSI)
- I. REINFORCEMENT DETAILING:
  - 1. DETAIL AND PLACE REINFORCEMENT IN ACCORDANCE WITH ACI 315.
  - 2. DEVELOPMENT AND SPLICE LENGTHS ARE IN TENSION UNLESS NOTED OTHERWISE. REFER TO THE REINFORCING BAR LAP LENGTH SCHEDULE ON THE TYPICAL DETAIL SHEETS.
  - 3. PLACE WWR 2' CLEAR FROM TOP OF SLAB UNLESS NOTED OTHERWISE. LAP WWR ONE CROSSWIRE SPACING PLUS 2'.
  - 4. INSTALL CORNER BARS AT ALL FOOTINGS AND WALL INTERSECTIONS TO MATCH HORIZONTAL REINFORCING SIZE AND SPACING. AT INTERSECTIONS OF CONTINUOUS SPREAD FOOTINGS, EXTEND ALL BARS TO FAR SIDE OF INTERSECTING FOOTING.
  - 5. INSTALL AND SECURE REINFORCEMENT TO PREVENT DISPLACEMENT DURING CONCRETE PLACEMENT. PROVIDE THE FOLLOWING CONCRETE COVER FOR REINFORCING ACI 318 SECTION 7.7 AND IBC TABLE 720.1, UNLESS SPECIFICALLY NOTED OTHERWISE:
    - a. CAST AGAINST EARTH: #6 THRU #18 3"
    - b. EXPOSED TO EARTH/WEATHER: #5 & SMALLER 2"
    - c. EXPOSED TO EARTH/WEATHER: #5 & SMALLER 1 1/2"
    - d. SLABS, WALLS, JOISTS: #14 & #18 1 1/2"
    - e. SLABS, WALLS, JOISTS: #11 & SMALLER 3/4"
  - 6. INSTALL DOWELS TO MATCH REINFORCEMENT SIZE AND SPACING INDICATED, UNLESS NOTED OTHERWISE.
- J. CAST FOUNDATION WALLS, GRADE BEAMS, AND FOOTINGS IN ALTERNATE PANELS NOT TO EXCEED 60'-0" IN LENGTH. INSTALL SHEAR KEYS AT EACH CONSTRUCTION JOINT AND LOCATED AT 1/3 POINTS OF SPANS.
- K. TEMPORARILY BRACE CONCRETE WALLS AGAINST EARTH PRESSURE AND OTHER FORCES UNTIL FLOOR SLABS AND PERMANENT SUPPORTS ARE IN PLACE AND HAVE ATTAINED REQUIRED STRENGTHS.
- L. DO NOT USE HORIZONTAL CONSTRUCTION JOINTS IN CONCRETE POURS UNLESS SHOWN ON THE DRAWINGS. THE ENGINEER MUST APPROVE ALL DEVIATIONS OR ADDITIONAL JOINTS IN WRITING.
- M. CAST SLABS AND BEAMS/JOISTS MONOLITHICALLY UNLESS NOTED OTHERWISE.
- N. CHAMFER ALL PERMANENTLY EXPOSED CONCRETE EDGES 3/4 INCH, UNLESS NOTED OTHERWISE.
- O. REFERENCE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS OF OPENINGS AND SLEEVES IN CONCRETE WALLS AND SUPPORTED FLOORS. SPREAD REINFORCEMENT AT OPENINGS AND SLEEVES UNLESS OTHERWISE INDICATED. DO NOT CUT REINFORCEMENT.
- P. SLOPE CONCRETE SLABS TO FLOOR DRAINS SHOWN ON MECHANICAL, PLUMBING, CIVIL, AND ARCHITECTURAL DRAWINGS.
- Q. BOND NEW CONCRETE TO HARDENED CONCRETE WITH A STRUCTURAL ADHESIVE BONDING AGENT PER ASTM C1059. INSTALL PER THE MANUFACTURER'S INSTRUCTIONS.
- R. NO HOLES SHALL PENETRATE THROUGH FOUNDATION WALLS AND/OR FOOTINGS WITHOUT ENGINEER'S APPROVAL.
- S. DO NOT EMBED ALUMINUM IN CONCRETE.

CONCRETE PROPERTIES				
USAGE	STRENGTH (PSI)	TYPE	COMMENTS	DURABILITY CLASSIFICATION
ALL CONCRETE NOT OTHERWISE SPECIFIED	4000	NWT		F0, S0, W0, C1
FOUNDATIONS	4000	NWT		F0, S0, W0, C1
FOUNDATION WALLS	4000	NWT		F1, S0, W0, C1

- CONCRETE PROPERTIES TABLE NOTES:
- 1. MINIMUM STRENGTH AND MAXIMUM DENSITY MEASURED AT 28 DAYS.
  - 2. NWT = NORMAL WEIGHT CONCRETE
  - 3. DURABILITY CLASSIFICATION INDICATES CONCRETE REQUIREMENTS BY EXPOSURE CLASS, REFER TO TABLE 19.3.2.1 OF ACI 318.

CONCRETE UNIT MASONRY

- A. MASONRY CONSTRUCTION MUST CONFORM WITH ACI 530.1.
- B. CONCRETE MASONRY UNITS (CMU) ARE LIGHTWEIGHT COMPLYING WITH ASTM C90. UNITS HAVE A MINIMUM AVERAGE NET-AREA COMPRESSIVE STRENGTH OF 2,000 PSL. MINIMUM NET AREA COMPRESSIVE STRENGTH OF MASONRY (FM) IS 2,000 PSI.
- C. MORTAR MUST CONFORM TO ASTM C270, TYPE M OR S.
- D. GROUT MUST CONFORM TO ASTM C476, WITH A 28 DAY COMPRESSIVE STRENGTH EQUAL TO OR GREATER THAN THE SPECIFIED NET AREA COMPRESSIVE STRENGTH OF MASONRY (FM).
- E. REINFORCING BARS ARE ASTM A615, GRADE 60.
- F. VERTICAL AND HORIZONTAL REINFORCING ARE CONTINUOUS AND LAPPED A MINIMUM OF 72 BAR DIAMETERS.
- G. POSITION AND HOLD REINFORCING STRAIGHT AS INDICATED. INSTALL REBAR POSITIONERS AT SPACING NOT TO EXCEED 200 BAR DIAMETERS, AT GROUT LIFT HEIGHTS, OR BAR SPLICE LOCATIONS, WHICHEVER IS LESS, TO HOLD REBAR IN PROPER LOCATION UNTIL GROUT CURES.
- H. INSTALL 9 GAGE LADDER TYPE HORIZONTAL JOINT REINFORCING AT 16" OC MAXIMUM SPACING UNLESS NOTED OTHERWISE. JOINT REINFORCING COMPLIES WITH ASTM A951 AND GALVANIZED PER ASTM A153, CLASS B. LAP JOINT REINFORCEMENT AT LEAST 6 INCHES (MUST CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT WITHIN THE LAP). LAP WITH STANDARD T- AND L-SHAPED PIECES AT INTERSECTIONS AND CORNERS.
- I. INSTALL DOWELS FROM FOUNDATIONS OR SUPPORTING CONCRETE MEMBER BELOW, SAME SIZE AND SPACING AS VERTICAL REINFORCING, UNLESS NOTED OTHERWISE. DOWELS HAVE STANDARD ACI HOOKS.
- J. FULLY GROUT ALL CELLS AND WALLS BELOW GRADE. SLUSH JOINT BETWEEN WYTHES.
- K. LOW-LIFT GROUTING PROCEDURES IN ACCORDANCE WITH ACI 530.1.
- L. IF HIGH-LIFT GROUTING, COMPLY WITH ACI 530.1, INCLUDING CLEANOUTS AT EACH GROUTED CELL.
  - 1. DO NOT EXCEED 5 FEET GROUT POUR LIFT, UNLESS CLEANOUTS ARE PROVIDED IN THE BOTTOM COURSE OF EACH 5 FOOT LIFT.
  - 2. MECHANICALLY VIBRATE ALL LIFTS IN EXCESS OF 1 FOOT.
  - 3. DO NOT STOP GROUT POUR WITHIN 1-1/2 INCHES OF JOINT.
  - 4. TOTAL GROUT POUR MUST NOT EXCEED 24 FEET WHEN GROUTING THE CELLS OF HOLLOW MASONRY.
- M. INSTALL MASONRY IN A RUNNING BOND PATTERN.
- N. SHORE ALL MASONRY LINTELS UNTIL MASONRY AND GROUT HAVE SET FOR A MINIMUM OF 7 DAYS.
- O. MASONRY WALLS HAVE BEEN DESIGNED IN THE FINAL CONSTRUCTED CONFIGURATION ASSUMING FULL BRACING TOP, BOTTOM, AND/OR SIDE OF WALL. DURING CONSTRUCTION, BRACE ALL CMU TO RESIST ERECTION AND LATERAL LOADS THAT MAY BE APPLIED PRIOR TO COMPLETION OF CONSTRUCTION.

STRUCTURAL STEEL

- A. HOT ROLLED STEEL BARS, PLATES, SHAPES, AND SHEET PILING MUST BE NEW STEEL CONFORMING TO ASTM A6. FABRICATE AND INSTALL STEEL IN ACCORDANCE WITH AISC 303 CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- B. STRUCTURAL STEEL IS AS FOLLOWS, UNLESS NOTED OTHERWISE:
  - 1. WIDE FLANGE AND WT-SHAPES: ASTM A992 F<sub>y</sub> = 50 KSI
  - 2. ANGLES: ASTM A36 F<sub>y</sub> = 36 KSI
  - 3. CHANNELS: ASTM A36 F<sub>y</sub> = 36 KSI
  - 4. ALL OTHER STRUCTURAL STEEL: ASTM A36 F<sub>y</sub> = 36 KSI
  - 5. ANCHOR RODS: ASTM F1554, GRADE 36
  - 6. THREADED RODS: ASTM A36
  - 7. HEADED STUDS: ASTM A29 OR A108, GRADES 1010 THROUGH 1020
  - 8. ASTM A572 GRADE 50 IS ACCEPTABLE AS A SUBSTITUTE FOR A992.
- C. CONNECTIONS:
  - STEEL CONNECTIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE REFERENCED DESIGN CRITERIA.
  - BEAR STEEL BEAMS ON MASONRY AND CONCRETE A MINIMUM OF 8 INCHES, UNLESS NOTED OTHERWISE.
  - CUTS INDICATED ON THE DRAWINGS, OR AS REQUIRED FOR OTHER TRADES, MUST BE MADE IN THE SHOP AND SHOWN ON THE SHOP DRAWINGS. FIELD PERFORMED HOLES OR CUTS ARE NOT PERMITTED WITHOUT ENGINEER APPROVAL.
  - INSTALL NONMETALLIC SHRINKAGE-RESISTANT GROUT BELOW BASE PLATES, IN ACCORDANCE WITH ASTM C1107 AND A MINIMUM STRENGTH OF 6,000 PSI.
  - FABRICATE STRUCTURAL STEEL WITH ONE COAT OF SHOP PRIMER EXCEPT THE FOLLOWING MEMBERS: GALVANIZED SURFACES, SLIP-CRITICAL SURFACES, SURFACES TO BE FIELD WELDED, SURFACES TO RECEIVE FIRE PROOFING, OR UNLESS NOTED OTHERWISE. COORDINATE AREAS TO BE FIREPROOFED WITH ARCHITECTURAL DRAWINGS PRIOR TO FABRICATION.
  - GALVANIZED STRUCTURAL STEEL: ASTM A123 OR ASTM A153. GALVANIZE AFTER FABRICATION. GALVANIZE ALL EXTERIOR EXPOSED STEEL, UNLESS NOTED OTHERWISE. REPAIR DAMAGED GALVANIZED COATINGS IN ACCORDANCE WITH ASTM A780.
  - COORDINATE THE EXACT LOCATION AND SIZE OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH THE MECHANICAL CONTRACTOR PRIOR TO FABRICATION.
  - REFERENCE THE ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL STEEL (IF ANY) NOT INDICATED ON THE STRUCTURAL DRAWINGS.

POST-INSTALLED ANCHORS

- A. ONLY USE POST-INSTALLED ANCHORS WHERE SPECIFIED ON THE DRAWINGS.
- B. OBTAIN APPROVAL FROM THE ENGINEER OF RECORD PRIOR TO USING POST-INSTALLED ANCHORS FOR MISSING OR MISPLACED CAST-IN-PLACE ANCHORS.
- C. LOCATE EXISTING REBAR, REINFORCING, AND ANCHORS PRIOR TO DRILLING. DO NOT DAMAGE OR DISTURB EXISTING REBAR, REINFORCING OR ANCHORS.
- D. INSTALL ANCHORS ACCORDING TO MANUFACTURER'S INSTRUCTIONS, INCLUDING, BUT NOT LIMITED TO: EXPIRATION DATE, INSTALLATION TEMPERATURE, DRILLING METHOD, HOLE SIZE, HOLE DEPTH, HOLE CLEANING, MIXING PROCEDURE, ANCHOR INSTALLATION, AND CURING.
- E. FOR PROJECTS MEETING IBC 2012 OR LATER, ACI/CRSI ADHESIVE ANCHORS INSTALLER CERTIFICATION IS REQUIRED FOR ALL INSTALLERS OF ADHESIVE ANCHORS IN HORIZONTAL OR UPWARDLY INCLINED ORIENTATION. PROOF OF CERTIFICATION OR ON-SITE TRAINING FOR ALL ADHESIVE ANCHOR INSTALLERS SHALL BE PROVIDED TO THE EOR PRIOR TO INSTALLATION.
- F. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR MINIMUM EDGE DISTANCES AND SPACING.
- G. UNLESS NOTED OTHERWISE, EMBED ANCHORS IN THE APPROPRIATE SUBSTRATE WITH A MINIMUM EMBEDMENT OF 8 TIMES THE NOMINAL ANCHOR DIAMETER OR THE EMBEDMENT REQUIRED TO SUPPORT THE INTENDED LOAD.
- H. ADHESIVE ANCHOR DESIGN BOND STRENGTH IS BASED ON CRACKED CONCRETE, ACI 355.4 TEMPERATURE CATEGORY B, AND INSTALLATIONS INTO DRY HOLES DRILLED USING A HAMMER DRILL INTO CONCRETE CURED FOR AT LEAST 21 DAYS AND NOT EXPOSED TO WATER FOR THE PRECEDING 14 DAYS. ADHESIVE ANCHORS MUST BE INSTALLED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER PER ACI 318.
- I. INSPECT ANCHOR INSTALLATION PER APPLICABLE BUILDING CODE AND SPECIAL INSPECTION REQUIREMENTS.
- J. SUBMIT SUBSTITUTION REQUESTS TO THE STRUCTURAL ENGINEER, INCLUDING CALCULATIONS PREPARED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER SHOWING THE SUBSTITUTED PRODUCT WILL ACHIEVE AN EQUIVALENT CAPACITY USING THE APPROPRIATE DESIGN PROCEDURE REQUIRED BY THE BUILDING CODE.
- K. ACCEPTABLE PRODUCTS ARE:
  - 1. MASONRY ADHESIVE ANCHORS:
    - a. SOLID-GROUTED CMU
    - b. HOLLOW CMU:
      - HILTI HIT-HY 270
      - HILTI HIT-HY 270 W/SCREEN TUBE
- L. NON-ADHESIVE ANCHORS IN NEW CONCRETE SHALL NOT BE INSTALLED UNTIL CONCRETE HAS CURED A MINIMUM OF 7 DAYS AND SHALL NOT BE LOADED PRIOR TO CONCRETE CURING FOR 28 DAYS (UNLESS OTHERWISE SPECIFIED BY MANUFACTURER).
- M. INSTALL ANCHORS PER THE MANUFACTURER PRINTED INSTALLATION INSTRUCTIONS (MPI), AS INCLUDED IN THE ANCHOR PACKAGING.
- N. THE CONTRACTOR SHALL ARRANGE AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THE ANCHORING PRODUCTS SPECIFIED. THE STRUCTURAL ENGINEER OF RECORD MUST RECEIVE DOCUMENTED CONFIRMATION THAT ALL PERSONNEL WHO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF ANCHOR INSTALLATION.

SPECIAL INSPECTIONS AND TESTING

- A. SPECIAL INSPECTIONS AND TESTING ARE PERFORMED IN ACCORDANCE WITH IBC CHAPTER 17 AND LOCAL JURISDICTION PROVISIONS, BY AN INDEPENDENT INSPECTION AND TESTING AGENCY. THE SPECIAL INSPECTOR MUST OBSERVE AND TEST THE WORK FOR CONFORMANCE TO THE CONTRACT DOCUMENTS.
- B. THE SPECIAL INSPECTOR MUST FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL. THE ENGINEER OR ARCHITECT OF RECORD, AND ALL OTHER DESIGNATED INDIVIDUALS. ALL DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF NOT CORRECTED, TO THE PROPER DESIGN AUTHORITY AND THE BUILDING OFFICIAL.
- C. THE SPECIAL INSPECTOR MUST SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK IS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, SOILS REPORT, AND APPLICABLE WORKMANSHIP OF THE BUILDING CODE.
- D. STATEMENT AND SCHEDULE OF SPECIAL INSPECTIONS IS PART OF THE CONTRACT DOCUMENTS.

SUBMITTALS

- A. CONTRACTOR MUST REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING FOR REVIEW. SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND/OR ENGINEER FOR REVIEW. FABRICATE AND CONSTRUCT FROM THE REVIEWED SUBMITTALS. ALLOW 10 BUSINESS DAYS FOR EACH SUBMITTAL REVIEW UNLESS AN ALTERNATE REVIEW TIME IS AGREED UPON BY ALL PARTIES. IN THE EVENT MULTIPLE SUBMITTALS ARE SUBMITTED AT THE SAME TIME, THE CONTRACTOR MUST INDICATE WHICH SUBMITTALS HAVE PRIORITY.
- B. MAINTAIN A RECORD SET OF APPROVED SHOP DRAWINGS IN THE FIELD.
- C. SUBMIT IN WRITING ANY DEVIATION FROM, ADDITION TO, SUBSTITUTION FOR, OR MODIFICATION TO, THE STRUCTURE OR ANY PART OF THE STRUCTURE DETAILED, TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS SUBMITTED FOR REVIEW DO NOT CONSTITUTE "IN-WRITING" UNLESS IT IS CLEARLY NOTED SPECIFIC CHANGES ARE BEING REQUESTED.
- D. PREPARE A LIST AND SCHEDULE OF ALL STRUCTURAL SUBMITTALS PRIOR TO CONSTRUCTION.
- E. SUBMIT THE FOLLOWING SHOP DRAWINGS FOR THE ENGINEER'S REVIEW:
  - 1. CONCRETE MIX DESIGNS
  - 2. REINFORCING STEEL
  - 3. MISCELLANEOUS STEEL
  - 4. STRUCTURAL STEEL, SHOP, AND ERECTION DRAWINGS (1, 3)
- F. Y A REGISTERED PROFESSIONAL ENGINEER IN THE STATE WHERE THE PROJECT IS LOCATED. SUBMIT ITEMS MARKED (2) FOR OWNER'S RECORD ONLY, AND WILL NOT HAVE THE ENGINEER'S SHOP DRAWING STAMP AFFIXED. SUBMIT ITEMS MARKED (3) WITH DESIGN CALCULATIONS SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE WHERE THE PROJECT IS LOCATED.
  - 1. THE OMISSION FROM THE SHOP DRAWINGS OF ANY MATERIALS REQUIRED BY THE CONTRACT DOCUMENTS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING AND INSTALLING SUCH MATERIALS, REGARDLESS OF WHETHER THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED.
  - G. THE USE OF ELECTRONIC FILES OR REPRODUCTIONS OF CONTRACT DOCUMENTS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATES THEM TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON.



BRITT, PETERS  
AND  
ASSOCIATES  
INC.  
consulting engineers

101 Falls Park Drive  
Suite 601  
Greenville, SC 29601  
(864) 271-8869  
www.brittpeters.com  
BPA Project #: 240369

Seal





DP3  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By MW  
Checked By REG/MCG  
Date 20 DEC 2024

Revisions

Drawing

GENERAL NOTES

\$0.00



CHECK IF REQ'D	VERIFICATION AND INSPECTION	FREQUENCY OF INSPECTION		REFERENCED STANDARD / NOTES	IBC REFERENCE
		CONTINUOUS	PERIODIC		
	STEEL CONSTRUCTION				1705.2
<input checked="" type="checkbox"/>	1. FABRICATOR AND ERECTOR DOCUMENTS	-	-	AISC 360, N3	
<input checked="" type="checkbox"/>	2. MATERIAL VERIFICATION OF STRUCTURAL STEEL				
	A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	X	AISC 360, A3, N5.2	
	B. MANUFACTURER'S CERTIFIED MILL TEST REPORTS	-	X		
<input type="checkbox"/>	3. VERIFY MEMBER LOCATIONS, BRACES, STIFFENERS, AND APPLICATION OF JOINT DETAILS AT EACH CONNECTION COMPLY WITH CONSTRUCTION DOCUMENTS.	-	X	AISC 360, N5.8	
<input checked="" type="checkbox"/>	4. STRUCTURAL STEEL WELDING				
	A. INSPECTION TASKS PRIOR TO WELDING	NOTE a	NOTE a	AISC 360, N5.4-1	
	B. INSPECTION TASKS DURING WELDING			AISC 360, N5.4-2	
	C. INSPECTION TASKS AFTER WELDING			AISC 360, N5.4-3	
<input checked="" type="checkbox"/>	5. STRUCTURAL STEEL BOLTING				
	A. INSPECTION TASKS PRIOR TO BOLTING	NOTE a	NOTE a	AISC 360, N5.6-1	
	B. INSPECTION TASKS DURING BOLTING			AISC 360, N5.6-2	
	C. INSPECTION TASKS AFTER BOLTING			AISC 360, N5.6-3	
<input type="checkbox"/>	6. COMPOSITE CONSTRUCTION			AISC 360, N6	

NOTES:  
a. PROVIDE OBSERVATION OR PERFORMANCE INSPECTION TASKS CONFORMING TO AISC 360 QUALITY ASSURANCE REQUIREMENTS FOR EACH TYPE OF WELDED OR BOLTED MEMBER OR JOINT APPLICABLE.

CHECK IF REQ'D	VERIFICATION AND INSPECTION	FREQUENCY OF INSPECTION		REFERENCED STANDARD / NOTES	IBC REFERENCE
		CONTINUOUS	PERIODIC		
<input checked="" type="checkbox"/>	MASONRY CONSTRUCTION			TMS 402/ACI 530/ASCE 5 AND TMS 602/ACI 530.1/ASCE 6	1705.4
	LEVEL B QUALITY ASSURANCE			TABLE 1.19.2	
	MINIMUM TESTS				
<input checked="" type="checkbox"/>	1. VERIFICATION OF SLUMP FLOW AND VISUAL STABILITY INDEX (VSI) OF SELF-CONSOLIDATING GROUT AS DELIVERED TO THE PROJECT	-	X		
<input checked="" type="checkbox"/>	2. VERIFICATION OF FM AND FAAC PRIOR TO CONSTRUCTION	-	X		
	MINIMUM SPECIAL INSPECTION				
<input checked="" type="checkbox"/>	1. VERIFY COMPLIANCE WITH THE APPROVED SUBMITTALS	-	X		
<input checked="" type="checkbox"/>	2. AS MASONRY CONSTRUCTION BEGINS VERIFY THAT THE FOLLOWING ARE IN COMPLIANCE				
	A. PROPORTIONS OF SITE-MIXED MORTAR	-	X		
	B. CONSTRUCTION OF MORTAR JOINTS	-	X		
	C. GRADE AND SIZE OF PRESTRESSING TENDONS AND ANCHORAGES	-	X		
	D. LOCATION OF REINFORCEMENT, CONNECTORS, AND PRESTRESSING TENDONS AND ANCHORAGES	-	X		
	E. PRESTRESSING TECHNIQUE	-	X		
	F. PROPERTIES OF THIN-BED MORTAR FOR AAC MASONRY	X	-		
<input checked="" type="checkbox"/>	3. PRIOR TO GROUTING, VERIFY THAT THE FOLLOWING ARE IN COMPLIANCE:				
	A. GROUT SPACE	-	X		
	B. GRADE, TYPE, AND SIZE OF REINFORCEMENT AND ANCHOR BOLTS, AND PRESTRESSING TENDONS AND ANCHORAGES	-	X		
	C. PLACEMENT OF REINFORCEMENT, CONNECTORS, AND PRESTRESSING TENDONS AND ANCHORAGES	-	X		
	D. PROPORTIONS OF SITE-PREPARED GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS.	-	X		
	E. CONSTRUCTION OF MORTAR JOINTS	-	X		
<input checked="" type="checkbox"/>	4. VERIFY DURING CONSTRUCTION				
	A. SIZE AND LOCATION OF STRUCTURAL ELEMENTS	-	X		
	B. TYPE, SIZE, AND LOCATION OF ANCHORS, INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES, OR OTHER CONSTRUCTION.	-	X		
	C. WELDING OF REINFORCEMENT	X	-		
	D. PREPARATION, CONSTRUCTION, AND PROTECTION OF MASONRY DURING COLD OR HOT WEATHER.	-	X		
	E. APPLICATION AND MEASUREMENT OF PRESTRESSING FORCE	X	-		
	F. PLACEMENT OF GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS IS IN COMPLIANCE.	X	-		
	G. PLACEMENT OF AAC MASONRY UNITS AND CONSTRUCTION OF THIN-BED MORTAR JOINTS	X	-		
<input checked="" type="checkbox"/>	5. OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS, AND/OR PRISMS	-	X		

- SPECIAL INSPECTIONS AND TESTS (IBC CHAPTER 17)
- A. THE STATEMENT OF SPECIAL INSPECTIONS OUTLINED IN THIS SECTION, AS SPECIFIED BY CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE, REQUIRES THAT THE OWNER OR OWNER'S AUTHORIZED AGENT, OTHER THAN THE CONTRACTOR, EMPLOY ONE OR MORE APPROVED AGENCIES TO PROVIDE SPECIAL INSPECTIONS AND TESTS LISTED IN THE TABLES ON THIS SHEET DURING CONSTRUCTION AND FABRICATION. THESE SPECIAL INSPECTIONS AND TESTS ARE IN ADDITION TO THE INSPECTIONS BY THE BUILDING OFFICIAL THAT ARE IDENTIFIED IN SECTION 110 OF THE IBC.
- a. THE CONTRACTOR IS PERMITTED TO EMPLOY THE APPROVED SPECIAL INSPECTION AGENCY WHERE THE CONTRACTOR IS ALSO THE OWNER.
- B. THE SPECIAL INSPECTION AGENCIES SHALL KEEP RECORDS OF SPECIAL INSPECTIONS AND TESTS. THE AGENCY SHALL SUBMIT REPORTS OF INSPECTIONS AND TESTS PERFORMED TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. REPORTS SHALL INDICATE THAT WORK INSPECTED/TESTED WAS OR WAS NOT COMPLETED IN CONFORMANCE TO THE APPROVED CONSTRUCTION DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF THEY ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE PRIOR TO THE COMPLETION OF THAT PHASE OF WORK.
- a. DISCREPANCIES CORRECTED IN THE FIELD SHALL BE FOLLOWED WITH ANOTHER FIELD REPORT OR AN AMENDMENT TO THE EXISTING FIELD REPORT INDICATING THAT COMPLIANCE OF THE CORRECTED ITEM HAS BEEN OBTAINED.
- C. FIELD REPORTS FOR SPECIAL INSPECTIONS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AT AN INTERVAL NOT EXCEEDING TWO WEEKS, UNLESS ANOTHER INTERVAL IS AGREED UPON BETWEEN THE SPECIAL INSPECTION AGENCY AND THE REGISTERED DESIGN PROFESSION IN RESPONSIBLE CHARGE.
- D. THE SPECIAL INSPECTION AGENCIES SHALL PROVIDE A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS AND TESTS COMPLETED, AND CORRECTION/RE-INSPECTIONS OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS AND TESTS AT THE CONCLUSION OF THE PROJECT AND SUBMIT REPORT TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.
- E. EACH CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF A MAIN WIND FORCE- OR SEISMIC FORCE-RESISTING SYSTEM, DESIGNATED SEISMIC SYSTEM, OR A WIND- OR SEISMIC FORCE-RESISTING COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN SECTION 1704.4 OF THE IBC TO THE BUILDING OFFICIAL, OWNER, OR OWNER'S AUTHORIZED AGENT PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR'S STATEMENT OF RESPONSIBILITY SHALL CONTAIN ACKNOWLEDGEMENT OF AWARENESS OF THE SPECIAL INSPECTION REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS.
- F. ALL STRUCTURAL COMPONENTS AND STRUCTURAL SYSTEMS SHALL BE TESTED AND/OR INSPECTED ACCORDING TO THE APPROPRIATE CODE SPECIFICATIONS LISTED IN THE TABLES ON THIS SHEET.
- G. SPECIAL INSPECTIONS INDICATED AS "CONTINUOUS" SHALL REQUIRE FULL-TIME OBSERVATIONS OF WORK BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS BEING PERFORMED. SPECIAL INSPECTIONS INDICATED AS "PERIODIC" SHALL REQUIRE INTERMITTENT OBSERVATIONS OF WORK BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THAT PORTION OF WORK HAS BEEN COMPLETED.
- H. SUBMITTALS TO THE BUILDING OFFICIAL: IN ADDITION TO THE FIELD REPORTS FOR SPECIAL INSPECTIONS, REPORTS AND CERTIFICATES SHALL BE SUBMITTED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT TO THE BUILDING OFFICIAL FOR EACH OF THE FOLLOWING:
- a. CERTIFICATES OF COMPLIANCE FOR THE FABRICATION OF STRUCTURAL, LOAD-BEARING, OR LATERAL LOAD-RESISTING MEMBERS OR ASSEMBLIES ON THE PREMISES OF AN APPROVED FABRICATOR IN ACCORDANCE WITH SECTION 1704.2.5.1
- b. CERTIFICATES OF COMPLIANCE FOR THE SEISMIC QUALIFICATION OF NONSTRUCTURAL COMPONENTS, SUPPORTS AND ATTACHMENTS IN ACCORDANCE WITH SECTION 1705.14.2
- c. CERTIFICATES OF COMPLIANCE FOR DESIGNATED SEISMIC SYSTEMS IN ACCORDANCE WITH SECTION 1705.14.3
- d. REPORTS OF PRECONSTRUCTION TESTS FOR SHOTCRETE IN ACCORDANCE WITH SECTION 1908.5
- e. CERTIFICATES OF COMPLIANCE FOR OPEN WEB STEEL JOISTS AND JOIST GIRDERS IN ACCORDANCE WITH SECTION 2207.5
- f. REPORTS OF MATERIAL PROPERTIES VERIFYING COMPLIANCE WITH THE REQUIREMENTS OF AWS D1.4 FOR WELDABILITY FOR REINFORCING BARS IN CONCRETE COMPLYING WITH A STANDARD OTHER THAN ASTM A706 THAT ARE TO BE WELDED
- g. REPORTS OF MILL TESTS FOR REINFORCING BARS COMPLYING WITH ASTM A615 THAT ARE USED TO RESIST EARTHQUAKE-INDUCED FLEXURAL OR AXIAL FORCES IN SPECIAL MOMENT FRAMES, SPECIAL STRUCTURAL WALLS, OR COUPLING BEAMS CONNECTING SPECIAL STRUCTURAL WALLS OF SEISMIC FORCE-RESISTING SYSTEMS IN STRUCTURES ASSIGNED TO SEISMIC DESIGN CATEGORY B, C, D, E, OR F.
- I. STRUCTURAL OBSERVATIONS, IF REQUIRED, DURING CONSTRUCTION WILL NOT BE PERFORMED BY THE STRUCTURAL ENGINEER OF RECORD, UNLESS SPECIFICALLY CONTRACTED BY THE CLIENT.



BRITT, PETERS  
AND  
ASSOCIATES  
INC.  
consulting engineers

101 Falls Park Drive  
Suite 601  
Greenville, SC 29601  
(864) 271-8869  
www.brittpeters.com  
BPA Project #: 240369

Seal



DP3  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By MW  
Checked By REG/MCG  
Date 20 DEC 2024

Revisions

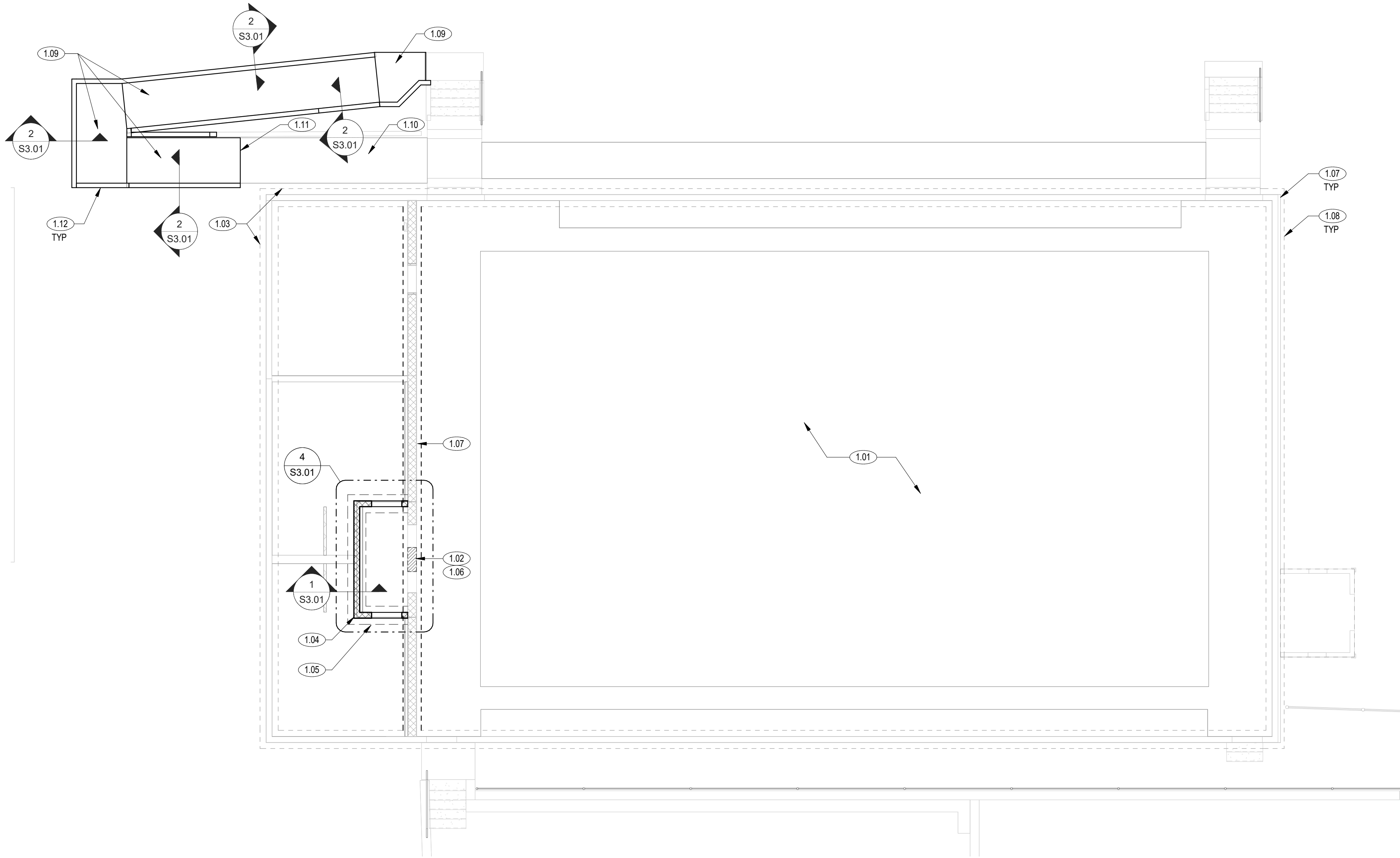
Drawing

SPECIAL  
INSPECTIONS

S0.01



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



1 FOUNDATION PLAN

1/8" = 1'-0"

SHEET NOTE SCHEDULE - FOUNDATION PLAN		#
*REF PLANS AND DETAILS FOR SHEET NOTES REQUIRED, NOT ALL NOTES APPLICABLE TO THIS SHEET*		
MARK	DESCRIPTION	
1.01	(E) SLAB ON GRADE, TO REMAIN	
1.02	WALL IS LOAD BEARING, NEW HEADER STRUCTURE MUST BE INSTALLED PRIOR TO DEMO.	
1.03	DO NOT UNDERMINE EXISTING FOOTING	
1.04	NEW 8" CMU WALL W/ #4 @ 48" OC	
1.05	2'-0" WIDE X 1'-0" THICK WALL FOOTING, REF DETAIL	
1.06	DEMO WALL, REF ARCH	
1.07	(E) MASONRY WALL, TO REMAIN	
1.08	(E) ASSUMED FOOTING, TO REMAIN	
1.09	NEW REINFORCED CONCRETE RAMP, REF DETAILS	
1.10	(E) CONCRETE RAMP, TO REMAIN	
1.11	TIE NEW SLAB INTO EXISTING, REF TYP DETAILS	
1.12	NEW REINFORCED CONCRETE RETAINING WALL, REF DETAILS	



BRITT, PETERS  
AND  
ASSOCIATES  
INC.  
consulting engineers

101 Falls Park Drive  
Suite 601  
Greenville, SC 29601  
(864) 271-8869  
www.brittpeters.com  
BPA Project #: 240369

Seal



DP3  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By MW  
Checked By REG/MCG  
Date 20 DEC 2024

Revisions

Drawing

FOUNDATION PLAN

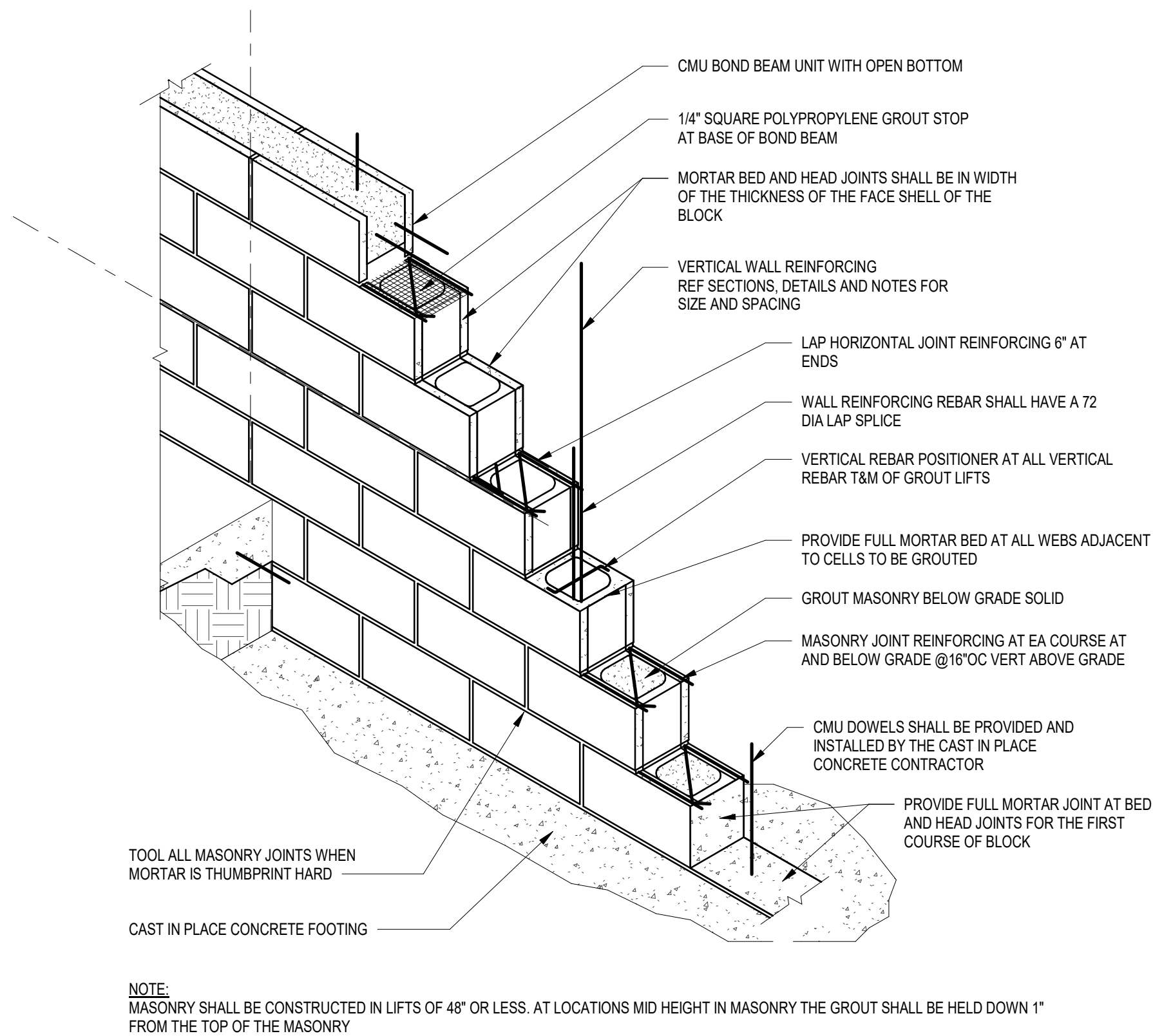
S1.01



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.

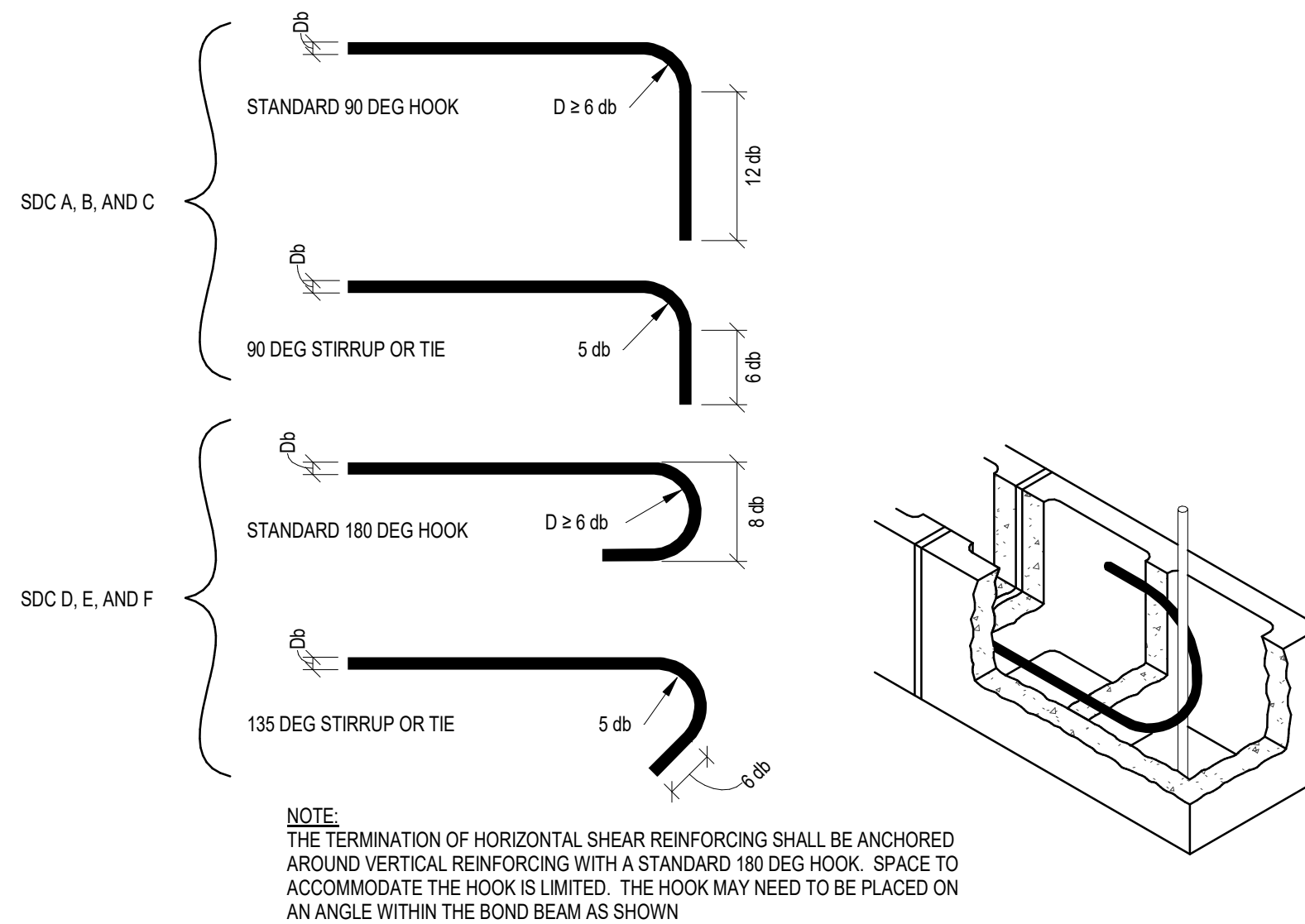
## 1 WALL CONSTRUCTION

3/4" = 1'-0"



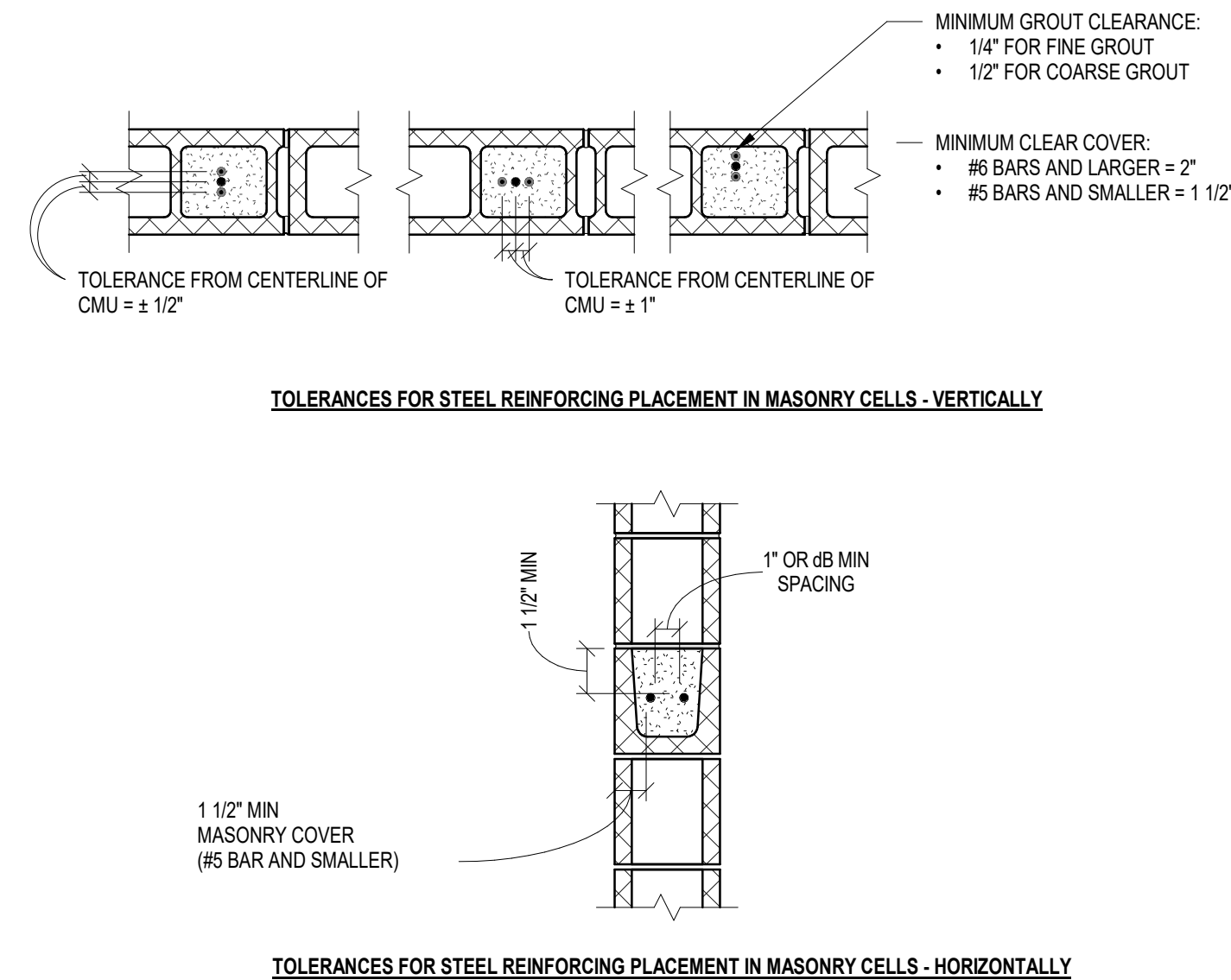
## 2 MASONRY WALL HORIZONTAL REINFORCING - STANDARD HOOKS AND BENDS

1 1/2" = 1'-0"



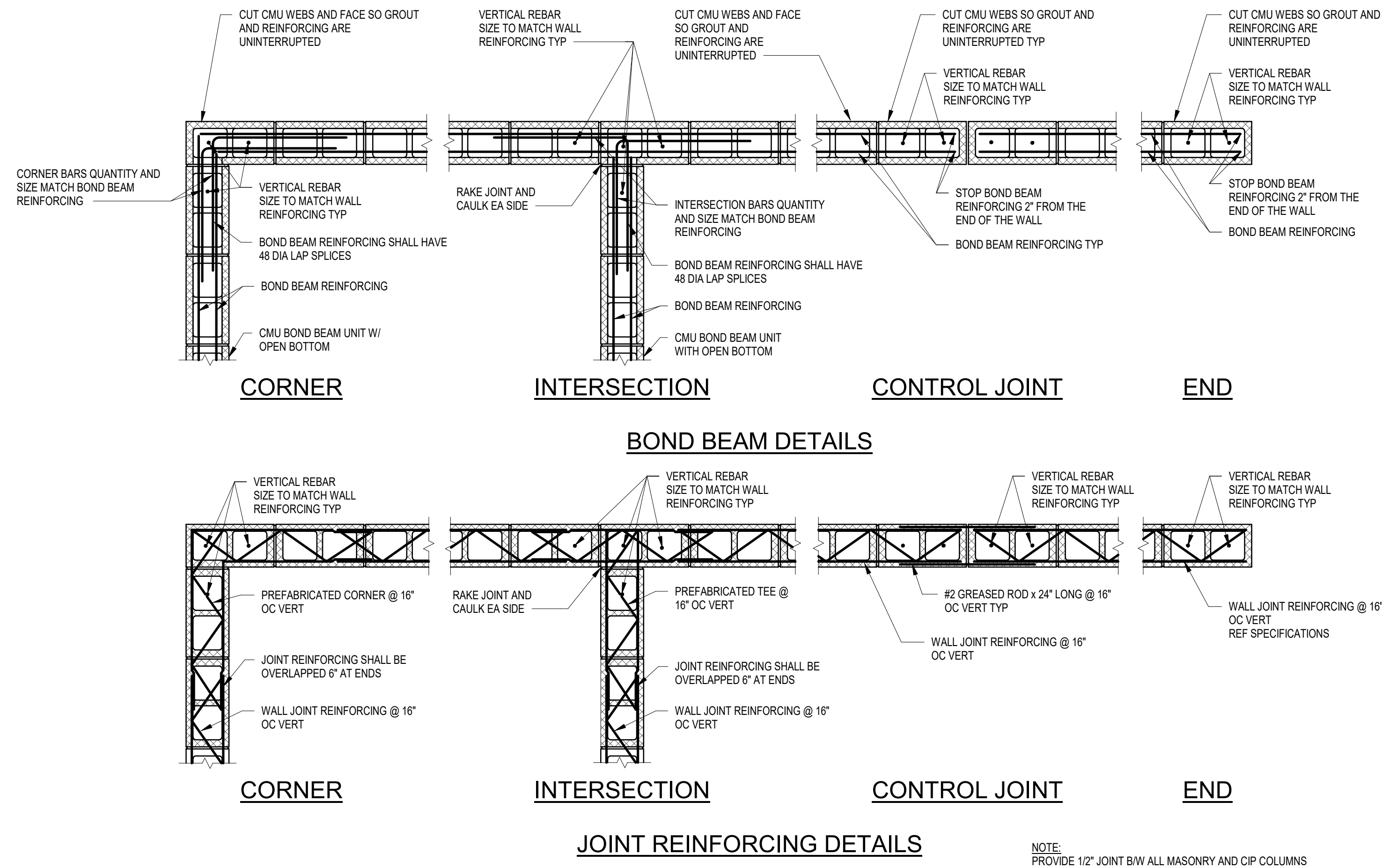
## 3 TOLERANCES FOR STEEL REINFORCEMENT PLACEMENT IN MASONRY CELLS

1" = 1'-0"



## 4 STRUCTURAL MASONRY WALL DETAILS

3/4" = 1'-0"



## 5 CMU LAP SPLICE TABLE

3/4" = 1'-0"

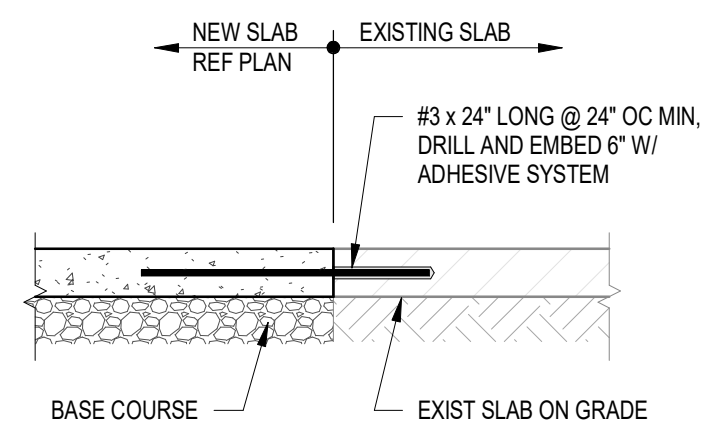
MINIMUM LAP SPLICE FOR REINFORCING BARS CENTERED IN WALL (VERTICAL AND HORIZONTAL)						
BAR SIZE	6" CMU		8" CMU		12" CMU	
	STRAIGHT SPLICE	HOOK SPLICE	STRAIGHT SPLICE	HOOK SPLICE	STRAIGHT SPLICE	HOOK SPLICE
#3	12"	12"	12"	12"	12"	12"
#4	18"	12"	13"	12"	12"	12"
#5	28"	20"	20"	12"	13"	12"
#6	NP	NP	39"	30"	25"	16"
#7	NP	NP	53"	42"	34"	23"
#8	NP	NP	NP	NP	51"	38"
#9	NP	NP	NP	NP	66"	52"

LAP SCHEDULE NOTES:

1. TABLE IS BASED OFF OF COMPRESSIVE STRENGTH OF MASONRY ( $f_m$ ) EQUAL TO 1,900 PSI AND YIELD STRENGTH OF REINFORCING STEEL EQUAL TO 60,000 PSI. DEVELOPMENT LENGTHS INDICATED ARE APPLICABLE FOR MASONRY COMPRESSIVE STRENGTH ( $f_m$ ) EQUAL TO 1900 PSI OR GREATER, AND A YIELD STRENGTH OF REINFORCING STEEL EQUAL TO 60,000 PSI OR LESS (DEVELOPMENT LENGTH REQUIRED IS REDUCED WHEN  $f_m > 1,900 \text{ PSI}$  OR  $F_y < 60,000 \text{ PSI}$ ).
2. "NP" DENOTES NOT PERMITTED.
3. FOR EPOXY-COATED REINFORCING, MULTIPLY NUMBERS IN TABLE ABOVE BY 1.5.
4. REINFORCING SHALL BE PLACED IN THE CENTER OF THE CELL AND WITHIN ALLOWABLE TOLERANCES SET FORTH BY GOVERNING CODE.
5. THE TABLE ABOVE APPLIES TO ONLY ONE VERTICAL BAR PER CELL AND REBARS SPLICED BY CONTACT. NON-CONTACT SPLICES SHALL NOT BE SPACED TRANSVERSELY FURTHER APART THAN ONE-FIFTH THE REQUIRED LAP LENGTH NOR MORE THAN 8".
6. STANDARD HOOKS ARE CONSIDERED TO DEVELOP AN EQUIVALENT EMBEDMENT LENGTH,  $l_e$ , EQUAL TO 13 db MEASURED FROM THE POINT OF THE TANGENCY AT START OF HOOK BEND. IF CONFORMING HOOK DIMENSIONS AND DETAILING ARE PROVIDED, 'STRAIGHT SPLICE' LENGTHS MAY BE REDUCED TO 'HOOK SPLICE' LENGTHS.
7. MECHANICAL SPLICES MAY BE USED AT CONTRACTOR'S OPTION. MECHANICAL SPLICES SHALL DEVELOP, IN TENSION, AT LEAST 125% OF THE SPECIFIED YIELD STRENGTH ( $F_y$ ) OF THE SPLICED BAR. SUBMIT MECHANICAL SPLICE DEVICE TO ENGINEER OF RECORD FOR APPROVAL. WHERE MECHANICAL SPLICES ARE USED STAGGER ADJACENT SPLICES BY 24" ON CENTER.

## 6 EXISTING SLAB TIE IN

3/4" = 1'-0"



Seal



DP3  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By MW  
Checked By REG/MCG  
Date 20 DEC 2024

Revisions

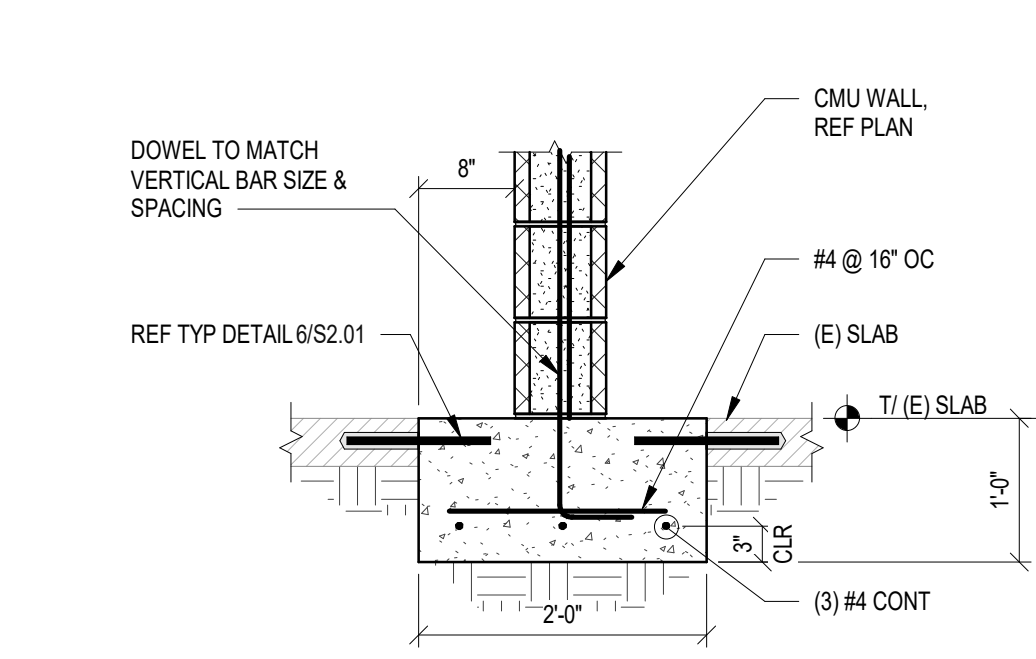
Drawing

TYPICAL DETAILS

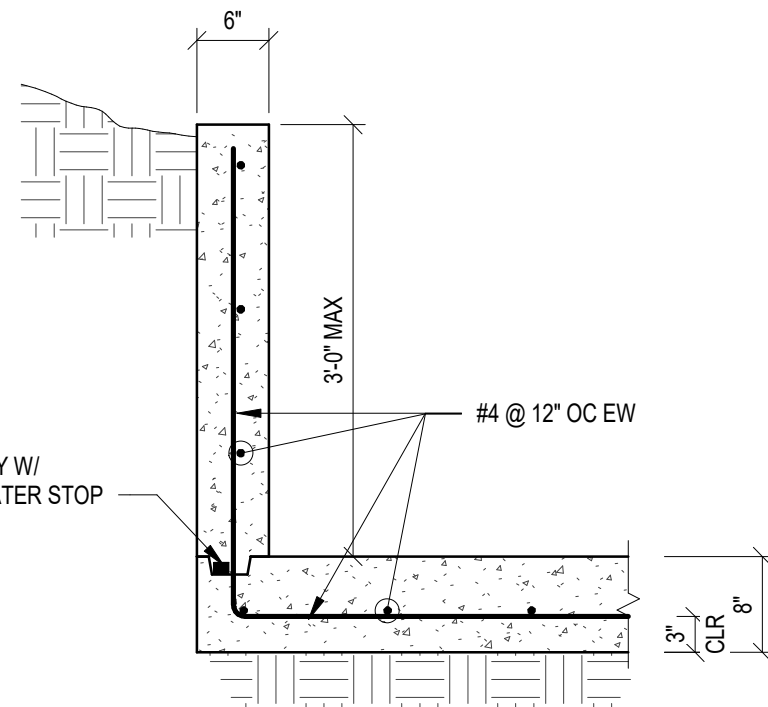
S2.01



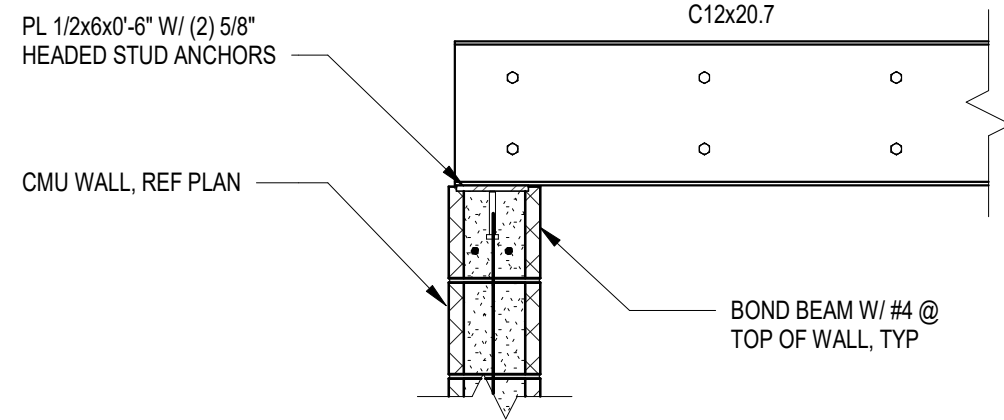
Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



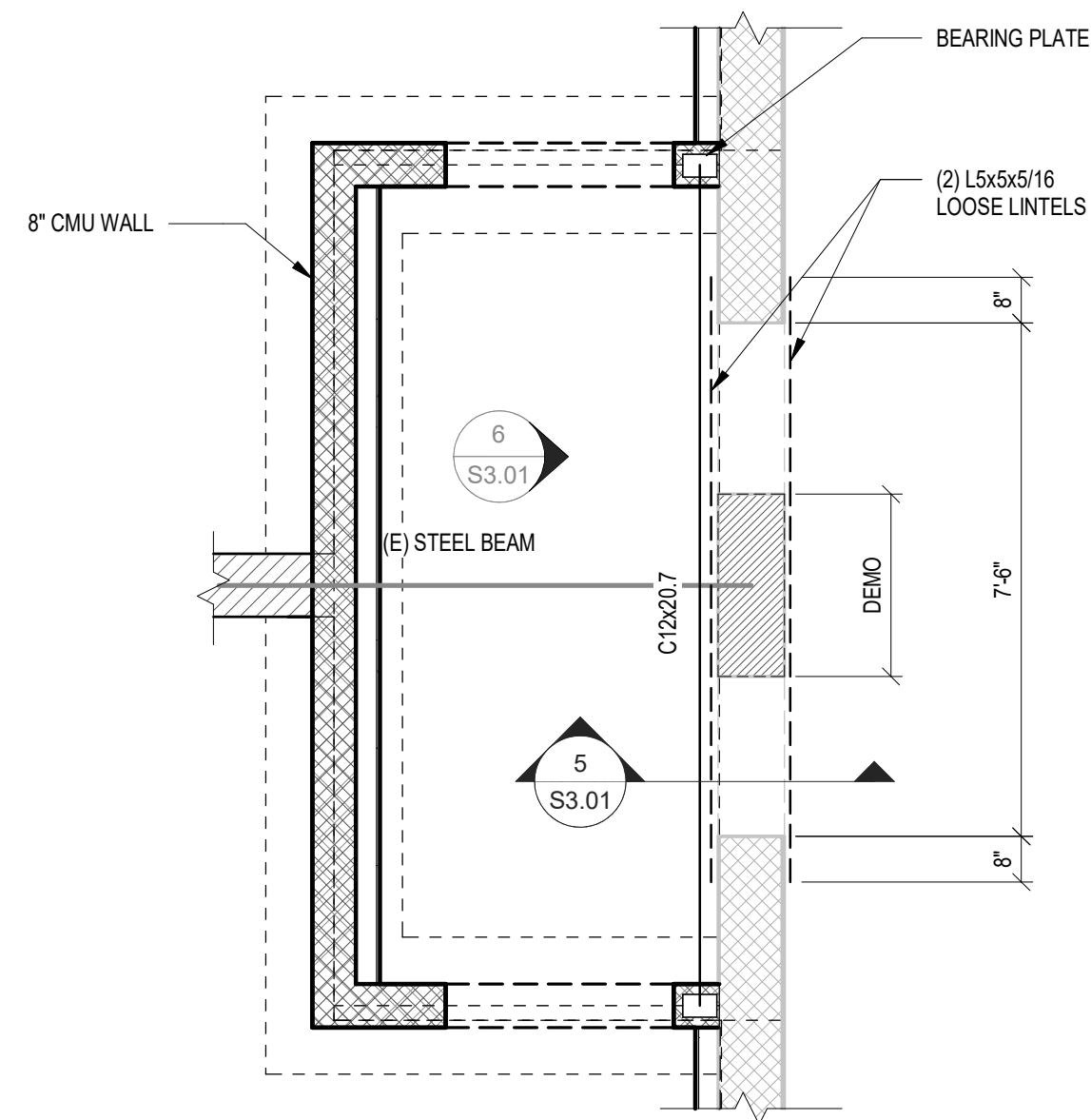
1 SECTION  
3/4" = 1'-0"



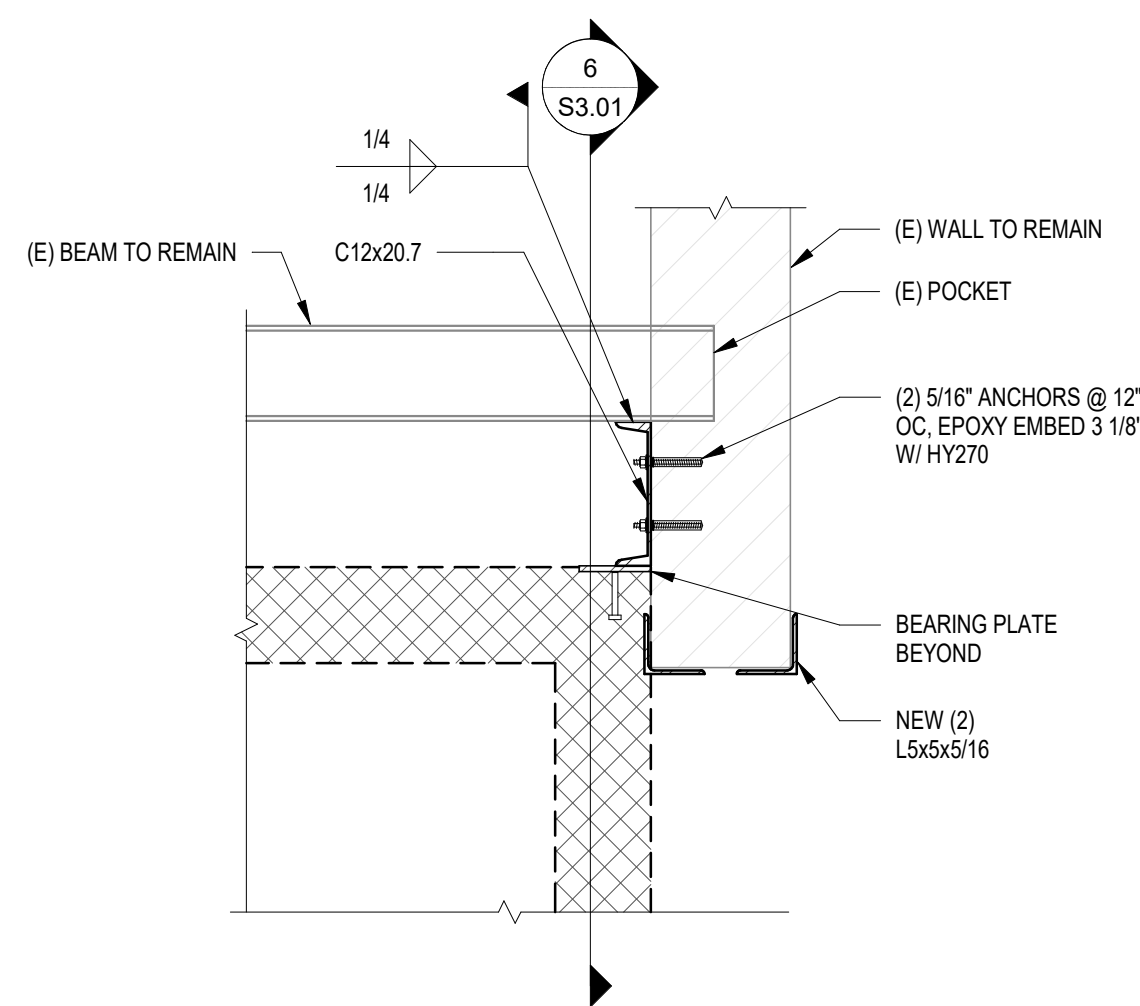
2 SECTION  
3/4" = 1'-0"



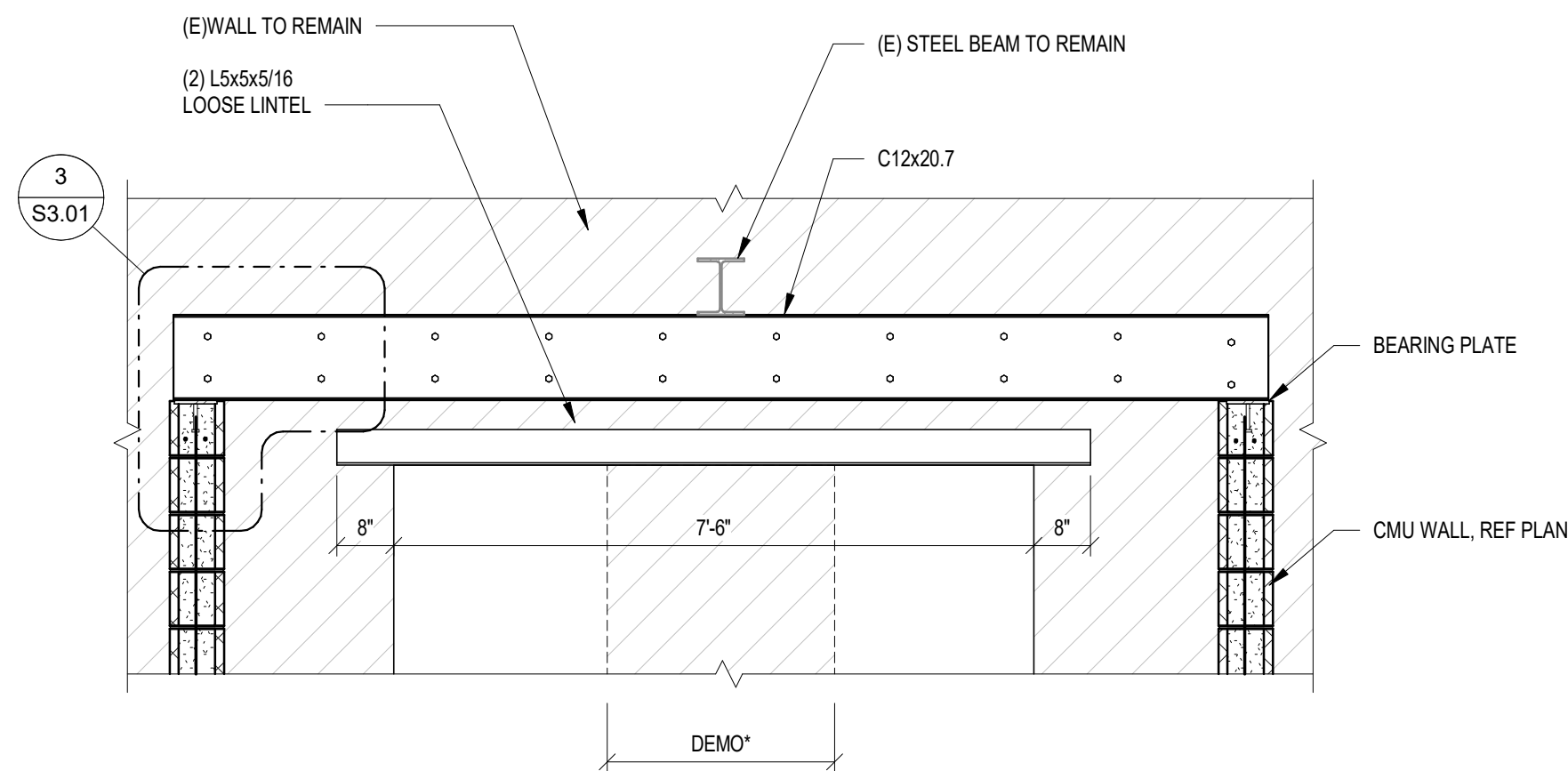
3 SECTION  
3/4" = 1'-0"



4 FRAMING PLAN DETAIL  
3/8" = 1'-0"



5 SECTION  
3/4" = 1'-0"



\* REF ARCH FOR EXTENTS, DEMO FOLLOWING INSTALLATION OF CHANNEL & LINTELS

6 ELEVATION  
1/2" = 1'-0"

#### NOTE REGARDING REINF COVER REQUIREMENTS

ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE MINIMUM COVER REQUIREMENTS PER ACI AS OUTLINED IN THE GENERAL NOTES. SPECIFIC BAR LOCATIONS SHOWN IN SECTIONS AND DETAILS MAY OVERRIDE BUT NOT VIOLATE THE MINIMUM COVER REQUIREMENTS.

#### NOTE REGARDING EXISTING CONSTRUCTION

THE CONTRACTOR SHALL VERIFY THAT ALL STRUCTURAL COMPONENTS SHOWN ON THESE DRAWINGS ARE ACCURATE IN REPRESENTING WHAT IS CURRENTLY BUILT. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF RECORD IF ANY AS-BUILT CONDITION DIFFERS FROM WHAT IS DEPICTED ON THESE DOCUMENTS.

**BRITT, PETERS  
AND  
ASSOCIATES**  
INC.  
consulting engineers  
101 Falls Park Drive  
Suite 601  
Greenville, SC 29601  
(864) 271-8869  
www.brittpeters.com  
BPA Project #: 240369

Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By MW  
Checked By REG/MCG  
Date 20 DEC 2024

Revisions

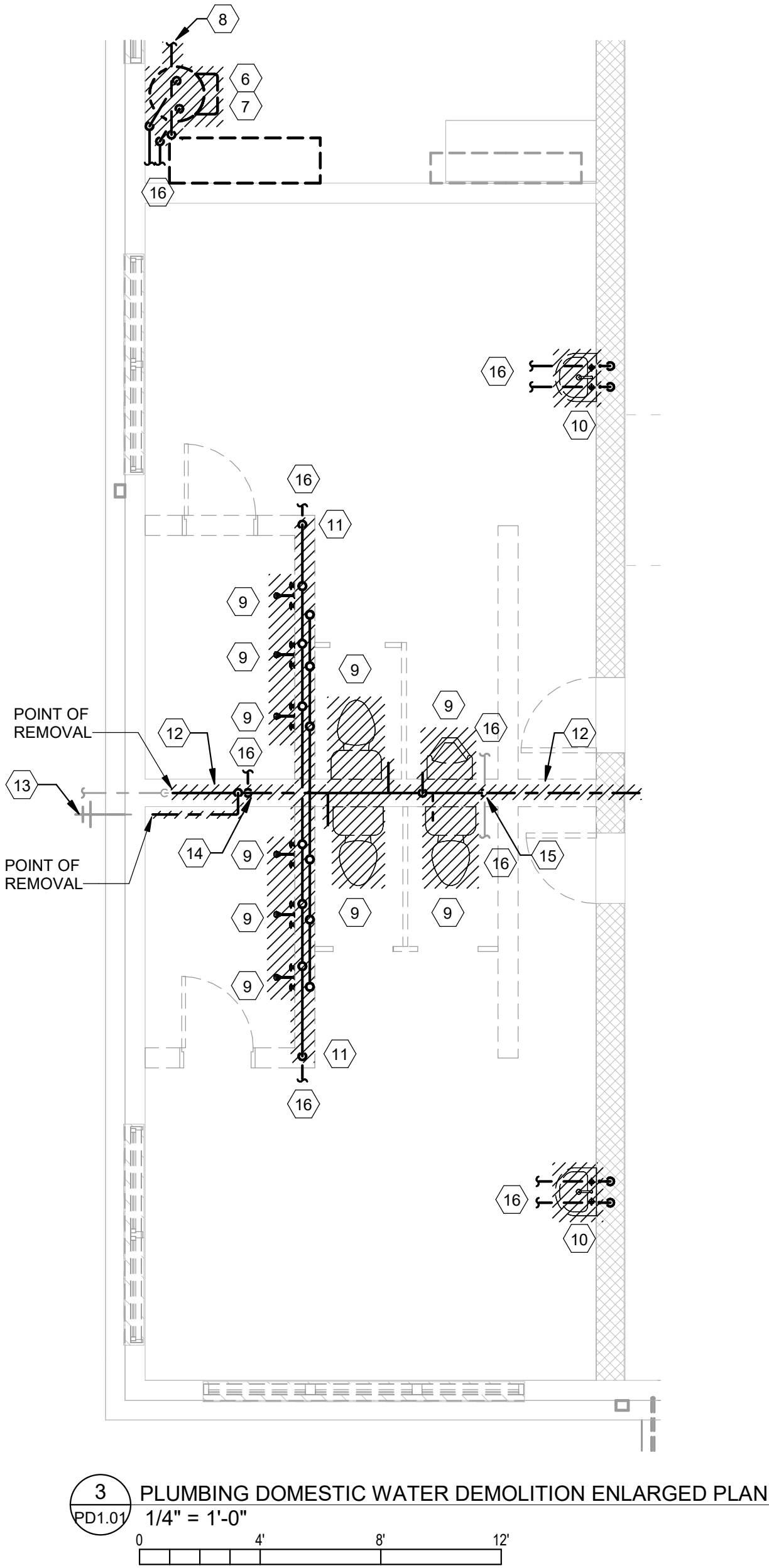
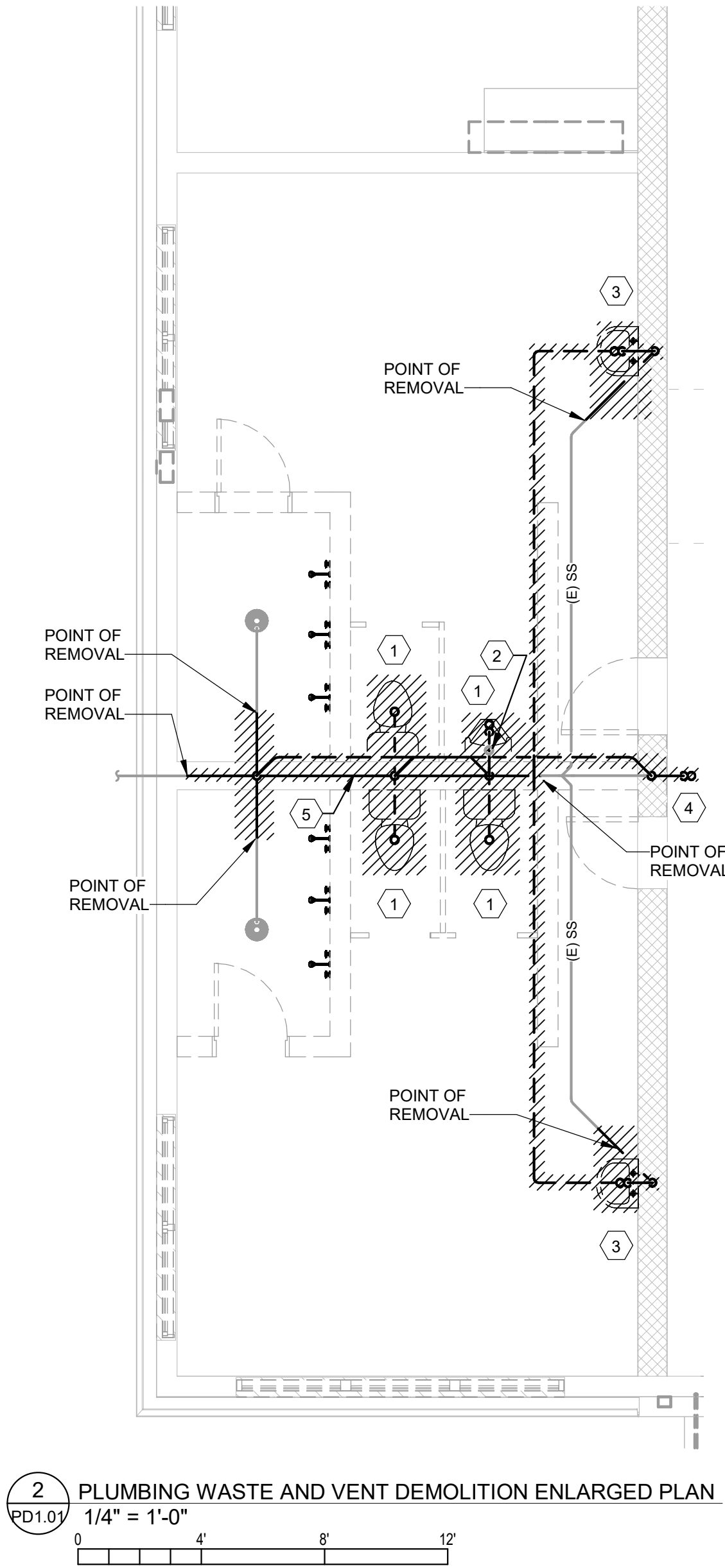
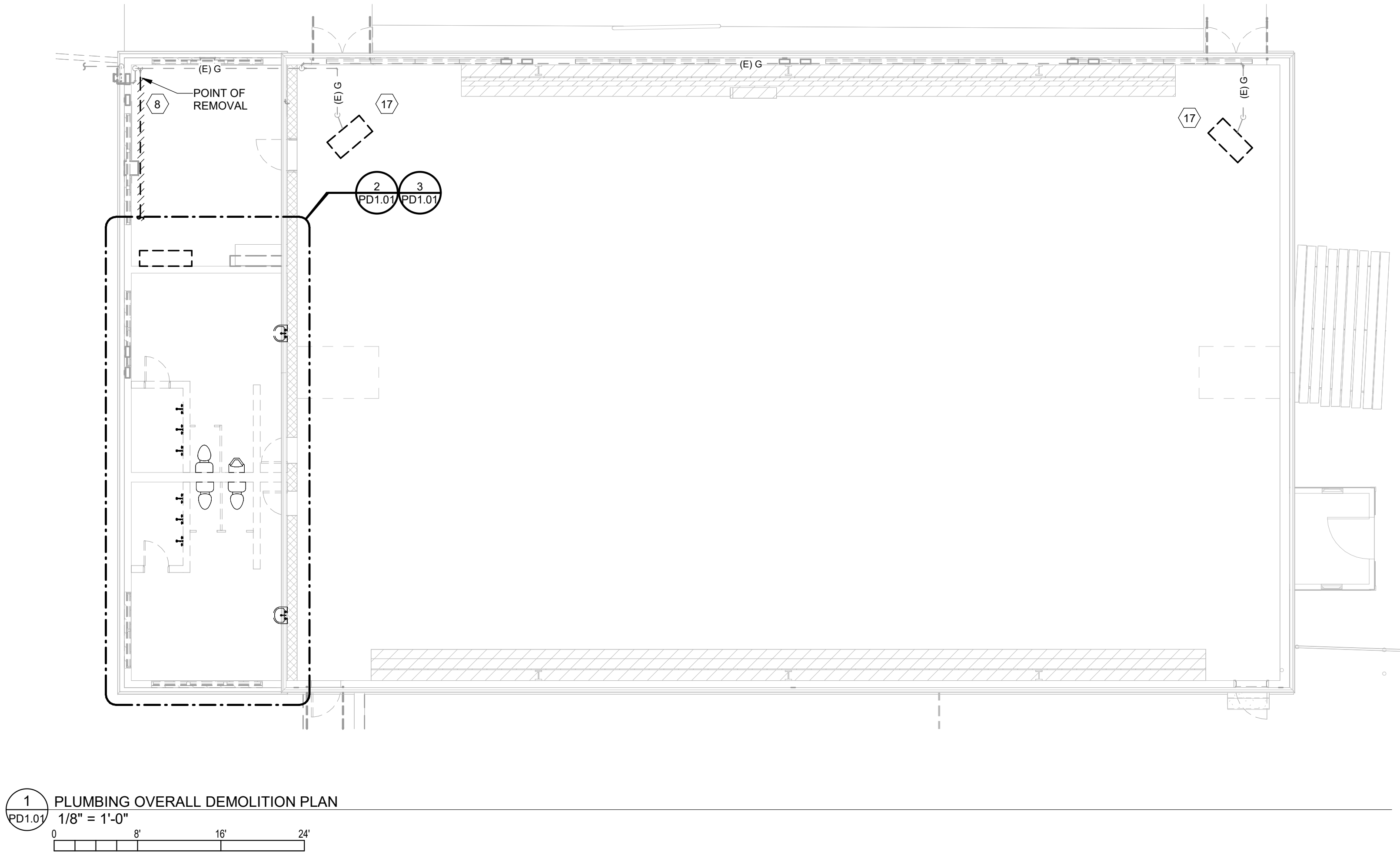
Drawing

DETAIL & SECTIONS

**S3.01**



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



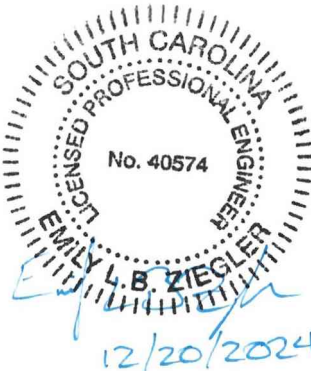
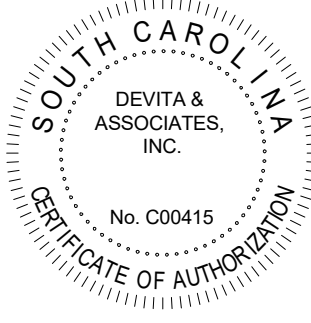
DEMOLITION GENERAL NOTES:

- A. EXISTING CONDITIONS AND PIPING LOCATIONS ARE SHOWN BASED ON NON-INVASIVE FIELD OBSERVATION. FIELD VERIFY EXACT LOCATIONS AND SIZES OF EXISTING PIPING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. PROVIDE ALL SAWCUTTING AND PATCHING REQUIRED TO FACILITATE REMOVAL OF PIPING.
- C. COORDINATE DEMOLITION WORK WITH ALL OTHER TRADES.

DEMOLITION KEYED NOTES: #

1. DEMOLISH EXISTING PLUMBING FIXTURE AND ASSOCIATED WASTE AND VENT PIPING THROUGH FLOOR AND BACK TO BUILDING DRAIN.
2. DEMOLISH ALL VENT PIPING UP TO VTR. EXTEND NEW VENT PIPING AS SHOWN IN NEW WORK PLAN.
3. DEMOLISH EXISTING LAVATORY. DEMOLISH ASSOCIATED VENT AND SANITARY WASTE PIPING TO POINT OF REMOVAL SHOWN. EXTEND NEW WASTE AND VENT PIPING AS SHOWN IN NEW WORK PLAN.
4. DEMOLISH EXISTING WASTE STUB AND ASSOCIATED VENT PIPING. DEMOLISH WASTE PIPING TO 4" B.F.F., CAP, AND ABANDON IN PLACE. PATCH FLOOR TO LIKE NEW CONDITION.
5. DEMOLISH UNDER SLAB WASTE PIPING AS SHOWN TO DESIGNATED POINTS OF REMOVAL. EXTEND NEW WASTE PIPING AS SHOWN IN NEW WORK PLAN.
6. DEMOLISH EXISTING WATER HEATER AND ASSOCIATED PIPING AND APPURTENANCES.
7. DEMOLISH EXISTING HOT AND COLD WATER PIPING SERVING WATER HEATER TO 4" B.F.F., CAP, AND ABANDON IN PLACE.
8. DEMOLISH EXISTING GAS PIPING SERVING FURNACE BACK TO INDICATED POINT OF REMOVAL AND CAP.
9. DEMOLISH EXISTING FIXTURE AND ASSOCIATED WATER PIPING.
10. DEMOLISH EXISTING LAVATORY. DEMOLISH ASSOCIATED WATER PIPING BACK TO BRICK WALL, CAP, AND ABANDON IN PLACE.
11. DEMOLISH HOT WATER PIPING TO 4" B.F.F., CAP, AND ABANDON IN PLACE.
12. DEMOLISH WATER PIPING IN THIS AREA TO POINT OF REMOVAL AS SHOWN.
13. EXISTING HOSE BIBB TO REMAIN
14. DEMOLISH COLD WATER PIPING SERVING WATER HEATER TO 4" B.F.F., CAP, AND ABANDON IN PLACE.
15. DEMOLISH COLD WATER PIPING SERVING LAVATORIES TO 4" B.F.F., CAP, AND ABANDON IN PLACE.
16. ALL UNDERGROUND DOMESTIC WATER PIPING TO BE ABANDONED IN PLACE.
17. DISCONNECT EXISTING GAS PIPING SERVING UNIT HEATER. EXTEND AND RECONNECT TO NEW UNIT HEATERS SHOWN IN NEW WORK PLAN.

Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By ASE  
Checked By EBZ  
Date 20 DEC 2024

Revisions

Drawing

PLUMBING  
DEMOLITION  
PLANS

PD1.01



PLUMBING SYMBOLS LEGEND		
PIPING LEGEND		
	-CW-	DOMESTIC COLD WATER - CW
	-FW-	FILTERED WATER - FW
	-(E)CW-	EXISTING DOMESTIC COLD WATER - (E)CW
	-HW-	DOMESTIC HOT WATER - HW - 110°F
	-HW(140°F)-	DOMESTIC HOT WATER - HW - 140°F
	-(E)HW-	EXISTING DOMESTIC HOT WATER - (E)HW
	-HWR-	DOMESTIC HOT WATER RETURN - HWR
	-HWR(140°F)-	DOMESTIC HOT WATER RETURN - 140°F
	-(E)HWR-	EXISTING HOT WATER RETURN - (E)HWR
	-TW-	TEMPERED WATER - TW
	-TWR-	TEMPERED WATER RETURN - TWR
	-V-	VENT PIPING ABOVE FLOOR - V
	-(E)V-	EXISTING VENT PIPING ABOVE FLOOR - (E)V
	-SS-	SANITARY SEWER PIPING - SS
	-(E)SS-	EXISTING SANITARY SEWER PIPING - (E)SS
	-IW-	INDIRECT WASTE PIPING - IW
	-PD-	PUMPED DISCHARGE PIPING - PD
	-GW-	GREASE WASTE PIPING - GW
	-(E)GW-	EXISTING GREASE WASTE PIPING - (E)GW
	-ST-	STORM DRAIN PIPING - ST
	-(E)ST-	EXISTING STORM DRAIN PIPING - (E)ST
	-OST-	OVERFLOW (EMERGENCY) STORM DRAIN PIPING - OST
	-(E)OST-	EXISTING OVERFLOW (EMERGENCY) STORM DRAIN PIPING - (E)OST
	-CD-	CONDENSATE DISCHARGE PIPING - CD
	-(E)CD-	EXISTING CONDENSATE DISCHARGE - (E)CD
	-F-	FIRE PROTECTION PIPING - F
	-(E)F-	EXISTING FIRE PROTECTION PIPING - (E)F
	-G-	NATURAL GAS PIPING (LOW PRESSURE) - G
	-G(2PSI)-	NATURAL GAS PIPING (2 PSI) - G
	-G(5PSI)-	NATURAL GAS PIPING (5 PSI) - G
	-(E)G-	EXISTING NATURAL GAS PIPING - (E)G
	-CA-	COMPRESSED AIR PIPING - CA
	-CAI-	COMPRESSED AIR INTAKE PIPING - CAI
	-(E)CA-	EXISTING COMPRESSED AIR PIPING - (E)CA
SYMBOL LEGEND		ABBREVIATIONS
	CONNECT TO EXISTING	A AMPS AFF ABOVE FINISHED FLOOR BFF BELOW FINISHED FLOOR BFP BACKFLOW PREVENTER BOP BOTTOM OF PIPE BTU BRITISH THERMAL UNIT CD CONDENSATE DRAIN PIPING CFH CUBIC FEET PER HOUR CO CLEANOUT CTE CONNECT TO EXISTING CW COLD WATER (DOMESTIC) CWFU COLD WATER FIXTURE UNIT DFU DRAINAGE FIXTURE UNIT DN DOWN ECO EXTERIOR CLEANOUT ELEV ELEVATION E/EX EXISTING FCO FLOOR CLEANOUT FD FLOOR DRAIN FLA FULL LOAD AMPS FOG FATS, OIL, AND GREASE FPM FEET PER MINUTE FPS FEET PER SECOND FS FLOOR SINK FT / ' FOOT / FEET FT FLUSH TANK FV FLUSH VALVE G GAS PIPING GAL GALLON(S) GPD GALLONS PER DAY GPH GALLONS PER HOUR GPM GALLONS PER MINUTE GW GREASE WASTE GW&T GREASE WASTE AND TRAP HB HOSE BIBB HD HUB DRAIN HP HORSEPOWER HW HOT WATER (DOMESTIC) HWFU HOT WATER FIXTURE UNIT HWR HOT WATER RETURN (DOMESTIC) Hz HERTZ IN / " INCH / INCHES INV INVERT IW INDIRECT WASTE KW KILOWATT LRA LOCKED ROTOR AMPS MBH THOUSAND BRITISH THERMAL UNITS MAX MAXIMUM MIN MINIMUM NC NORMALLY CLOSED NFWH NON-FREEZE WALL HYDRANT NO NORMALLY OPEN NTS NOT TO SCALE OST OVERFLOW (EMERGENCY) STORM OSY OUTSIDE SCREW AND YOKE PRV PRESSURE REDUCING VALVE RD ROOF DRAIN RPM REVOLUTIONS PER MINUTE RPZ REDUCED PRESSURE ZONE SG SPECIFIC GRAVITY SS SANITARY SEWER ST STORM DRAIN SQFT SQUARE FEET TD TRENCH DRAIN TDH TOTAL DYNAMIC HEAD TMV THERMOSTATIC MIXING VALVE TOP TOP OF PIPE TP TRAP PRIMER V VOLTS VB VACUUM BREAKER VIV VALVE IN VERTICAL VTR VENT THRU ROOF W WASTE W&T WASTE AND TRAP WC WATER COLUMN WCO WALL CLEANOUT WH WALL HYDRANT WHA WATER HAMMER ARRESTER WSFU WATER SUPPLY FIXTURE UNIT

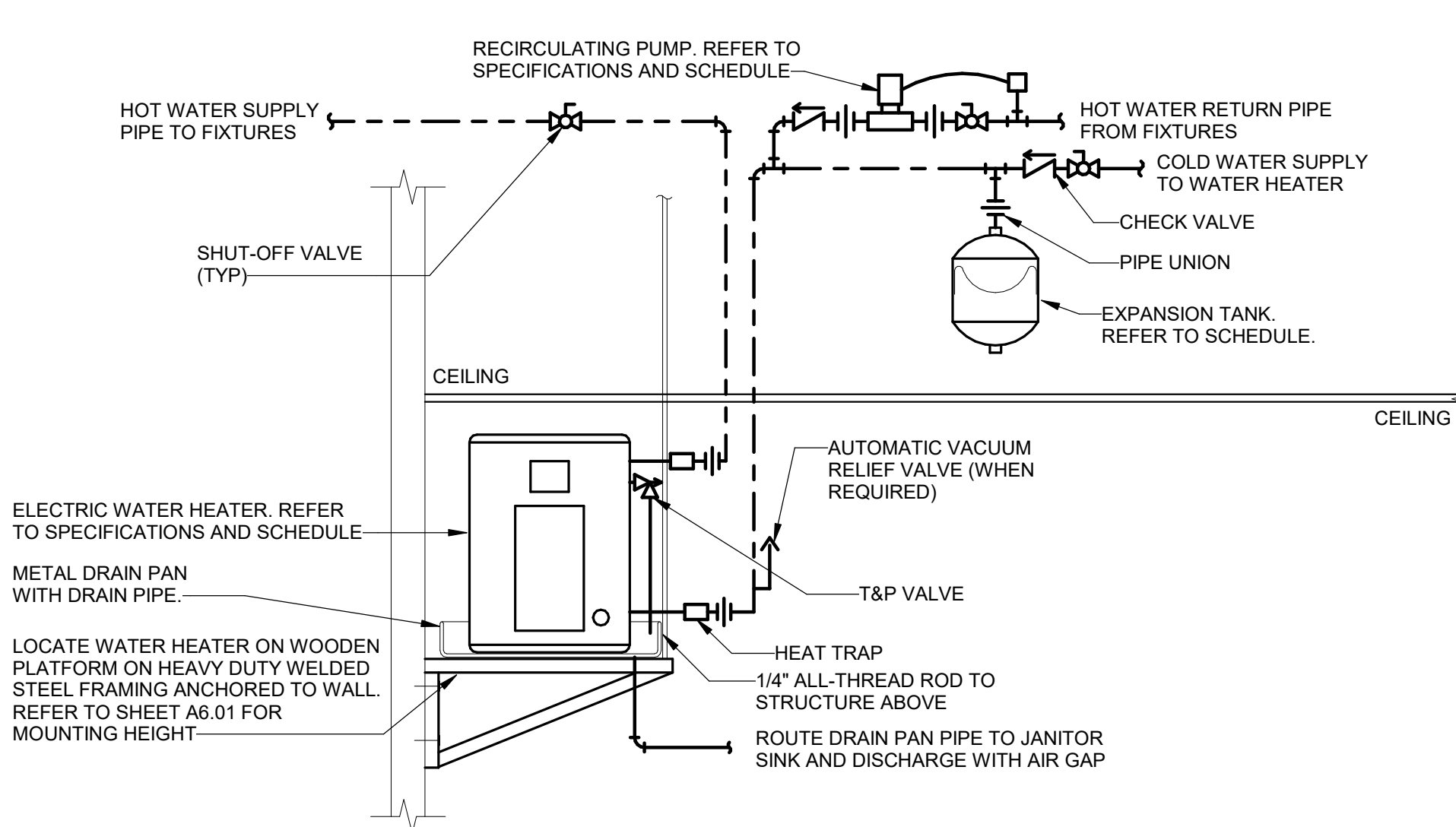
(NOT ALL SYMBOLS ARE USED)

PLUMBING FIXTURE SCHEDULE							
MARK	FIXTURE	MANUFACTURER MODEL	CW	HW	SS	V	DESCRIPTION
<u>WC-1</u>	WATER CLOSET - FLUSH TANK (ADA)	AMERICAN STANDARD 2467.016	1/2"	-	3"	2"	FLOOR MOUNT, VITREOUS CHINA, ELONGATED, ADA COMPLIANT WATER CLOSET; TWO-PIECE CONSTRUCTION WITH PRESSURE ASSISTED FLUSH; 1.6 GPF SEAT; AMERICAN STANDARD 5901.100SS SUPPLY: MCGUIRE MFG LF185LKSS (LOOSE KEY, BRAIDED STANLESS STEEL RISER)
<u>UR-1</u>	URINAL (ADA)	AMERICAN STANDARD 6590.001	3/4"	-	2"	2"	WALL HUNG, VITREOUS CHINA, TOP-SPUD, ADA COMPLIANT URINAL; FLUSHING RIM: 1.0 GPF; INSTALL IN ACCORDANCE WITH ADA REQUIREMENTS FLUSH VALVE: SLOAN REGAL 186-1.0 WALL CARRIER: ZURN Z1222
<u>LAV-1</u>	LAVATORY - WALL HUNG (ADA)	AMERICAN STANDARD 0355.012	1/2"	1/2"	1 1/2"	1 1/2"	WALL HUNG, VITREOUS CHINA, 4" CENTERSET LAVATORY WITH FRONT OVERFLOW; PROVIDE WITH TMV-1 FROM THIS SCHEDULE; INSTALL IN ACCORDANCE WITH ADA REQUIREMENTS FAUCET: DELTA FAUCET 22C051 (SINGLE LEVER, 4" CENTERS, 0.5 GPM VANDAL RESISTANT OUTLET) DRAIN: MCGUIRE MFG. 155A (OPEN GRID DRAIN W/ TAILPIECE) SUPPLIES: MCGUIRE MFG. LF175SS (CHROME PLATED VALVE WITH WHEEL HANDLE, STAINLESS STEEL FLEXIBLE RISERS) TRAP: MCGUIRE MFG. B8902C (CAST BRASS, SLIP NUTS, CLEANOUT PLUG) CARRIER ARMS: ZURN Z1231EZ TRAP AND SUPPLY INSULATORS: TRUEBRO LAVGUARD 2 E-Z
<u>CP-1</u>	RECIRC PUMP	BELL & GOSSETT ECOCIRC 20-18	-	3/4"	-	-	HOT WATER RECIRCULATING PUMP, 115V/1PH/60HZ, 1.9 FT HEAD @ 0.3 GPM. PROVIDE WITH LEAD FREE FLANGES.
<u>EW-C-1</u>	ELECTRIC WATER COOLER	ELKAY EESTL8WSVRLK	1/2"	-	2"	2"	BI-LEVEL, ADA COMPLIANT ELECTRIC WATER COOLER WITH BOTTLE FILLER AND VANDAL RESISTANT BUBBLER; 115V/1PH; CAPABLE OF 8.0 GPH OF 50°F DRINKING WATER AT 80°F AMBIENT TEMP. PROVIDE WITH OPTION MLP200 (WALL CARRIER). TRAP: MCGUIRE MFG 8912CNC (CAST BRASS, SLIP NUTS, NO CLEANOUT)
<u>MS-1</u>	MOP SINK	EL MUSTEE 63M	-	-	-	-	24"x24"x10" MOLDED STRUCTURAL FIBERGLASS MOP BASIN; INTEGRAL MOLDED DRAIN CONNECTION; PROVIDE WITH STAINLESS STEEL BUMPER GUARDS FAUCET: DELTA FAUCET 28C2363 (INTEGRAL CHECKS, BODY MOUNT VB)
<u>TMV-1</u>	THERMOSTATIC MIXING VALVE	LEONARD 170-LF	3/8"	3/8"	-	-	ASSE 1070 COMPLIANT, POINT-OF-USE, THERMOSTATIC MIXING VALVE, LEAD FREE, BRONZE BODY WITH THERMOPLASTIC SHUTTLE. INCLUDE OPTION BRKT (MOUNTING BRACKET).
<u>ET-1</u>	THERMAL EXPANSION TANK	ZURN WILKINS XT-8	3/4"	-	-	-	DIAPHRAGM TYPE THERMAL EXPANSION TANK, 2.1 GALLON TOTAL VOLUME, 1.0 MAX ACCEPTANCE VOLUME, FACTORY PRE-CHARGE: 40 PSI
<u>WCO</u>	WALL CLEANOUT	ZURN Z1446-BP	-	-	SEE DWG	-	DURA COATED CAST IRON CLEANOUT TEE WITH BRONZE PLUG AND STAINLESS STEEL ACCESS COVER.

ELECTRIC WATER HEATER SCHEDULE								
MARK	LOCATION	MANUFACTURER	MODEL	TANK CAPACITY	INPUT (KW)	RECOVERY RATE (100°F RISE)	ELECTRICAL V/PH/Hz	NOTES
<u>WH-1</u>	OFFICE 101	RHEEM	EGSP20	19.9 GALLON	4.5	18 GPH	240/1/60	A THRU G
NOTES: A. EQUIPMENT SHALL MEET ASHRAE 90.1 STANDARDS FOR THERMAL EFFICIENCY AND STANDBY LOSS. B. PROVIDE FACTORY INSTALLED ANODE ROD(S) TO PREVENT ELECTROLYTIC CORROSION OF TANK. C. PROVIDE FACTORY INSTALLED TEMPERATURE AND PRESSURE SAFETY RELIEF VALVE (T&P VALVE). D. PROVIDE HARD COPPER DRAIN LINE FROM T&P VALVE DOWN TO AN APPROVED RECEPTOR WITH AIR GAP. PIPING TO BE FULL SIZE OF T&P VALVE DISCHARGE CONNECTION. E. COORDINATE INSTALLATION WITH ELECTRICAL CONTRACTOR. F. REFER TO WATER HEATER DETAIL FOR ADDITIONAL INSTALLATION INFORMATION.								

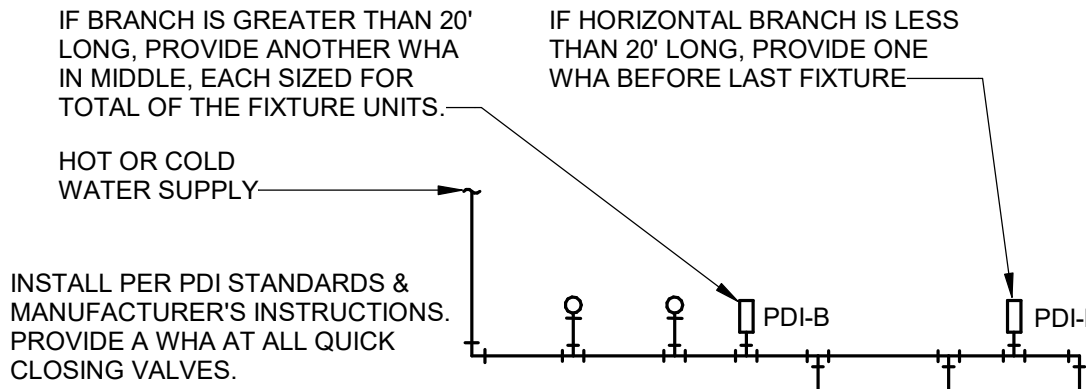
WATER FIXTURE LOAD CALCULATION						
MARK	FIXTURE/EQUIPMENT	QUANTITY	WATER			
			CWFU PER FIXTURE	HWFU PER FIXTURE	TOTAL WSFU PER TYPE	TOTAL WSFU PER FIXTURE
<u>WC-1</u>	WATER CLOSET (TANK)	3	5.0	-	5.0	15.0
<u>UR-1</u>	URINAL	1	5.0	-	5.0	5.0
<u>LAV-1</u>	LAVATORY	4	1.5	1.5	2.0	8.0
<u>MS-1</u>	MOP SINK	1	2.25	2.25	3.0	3.0
<u>EW-C-1</u>	ELECTRIC WATER COOLER	2	0.25	-	0.25	0.5
<u>z</u>	EXISTING HOSE BIBB	1	2.0	-	2.0	2.0
TOTALS						33.5
MAXIMUM WATER DEMAND AT 33.5 WSFU = 24.5 GPM = 1 1/4" WATER MAIN SUPPLY						
FIXTURE UNITS BASED ON 2021 SC PLUMBING CODE (FLUSH TANKS)						

SANITARY SEWER FIXTURE LOAD CALCULATION				
MARK	FIXTURE/EQUIPMENT	QUANTITY	WASTE	
			WASTE DFU PER FIXTURE	TOTAL DFU PER FIXTURE
<u>WC-1</u>	WATER CLOSET	3	4	12
<u>UR-1</u>	URINAL	1	2	2
<u>LAV-1</u>	LAVATORY	4	1	4
<u>MS-1</u>	MOP SINK	1	2	2
<u>EW-C-1</u>	ELECTRIC WATER COOLER	2	0.5	1
<u>z</u>	EX FLOOR DRAIN (EMERGENCY)	2	0	0
TOTALS				21.0
MAXIMUM WASTE DEMAND AT 21.0 DFU = 4" SANITARY SEWER WASTE				
FIXTURE UNITS BASED ON 2021 SC PLUMBING CODE				



REFER TO SPECIFICATIONS, SCHEDULES AND NOTES FOR MORE INFORMATION. PIPING ARRANGEMENT SHOWN IS SCHEMATIC. VERIFY ALL CONNECTION SIZES AND LOCATIONS PER MANUFACTURERS REQUIREMENTS. ADJUST TO SUIT FIELD CONDITIONS. REFER TO FLOOR PLANS FOR PIPE SIZES. PROVIDE SEISMIC STRAP OR BRACING, HEAT TRAPS AND AUTOMATIC VACUUM RELIEF VALVE WHEN REQUIRED BY LOCAL AUTHORITIES.

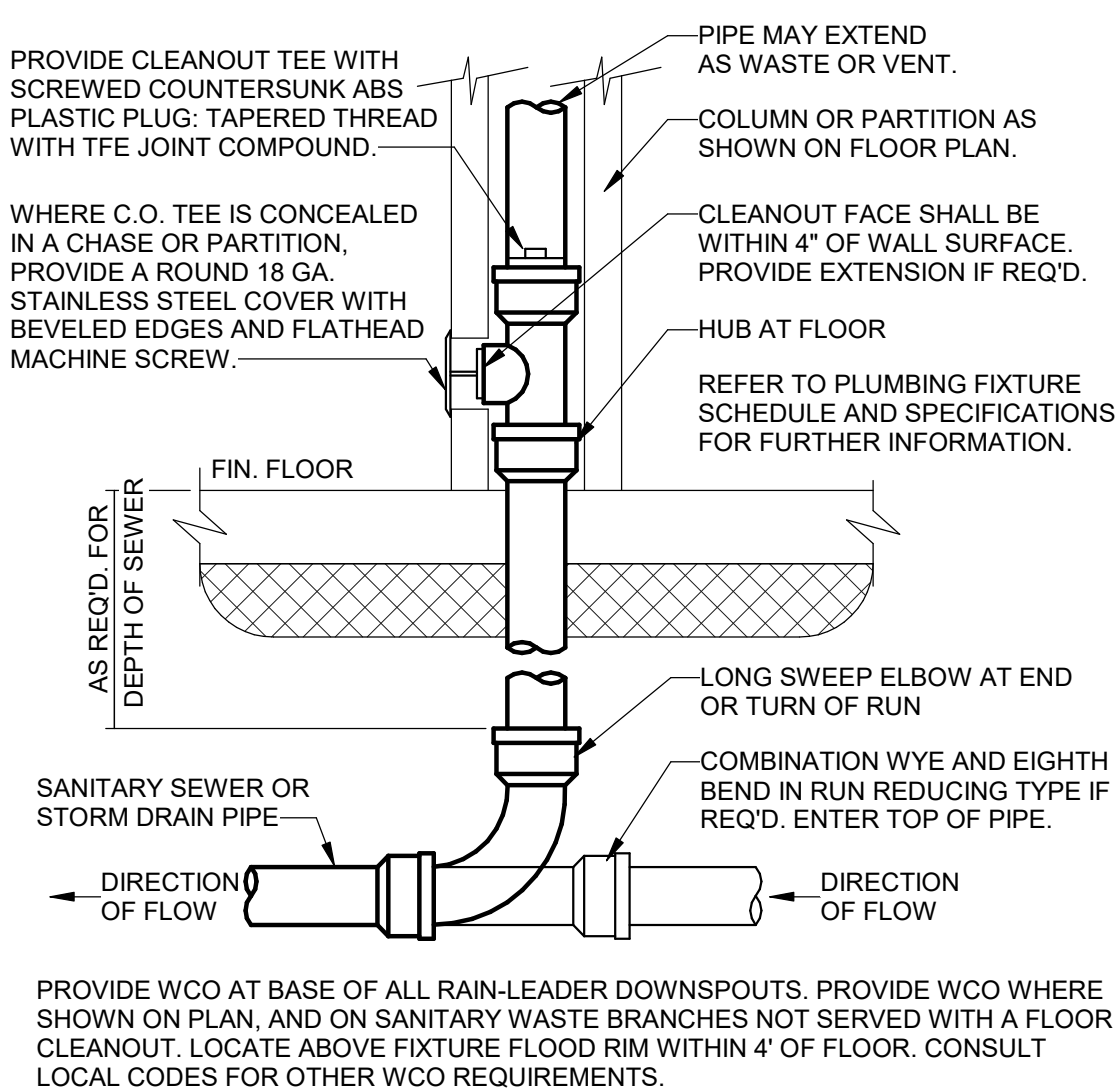
1 ELECTRIC WATER HEATER SHELF MOUNTED WITH HWR  
P0.01 NOT TO SCALE



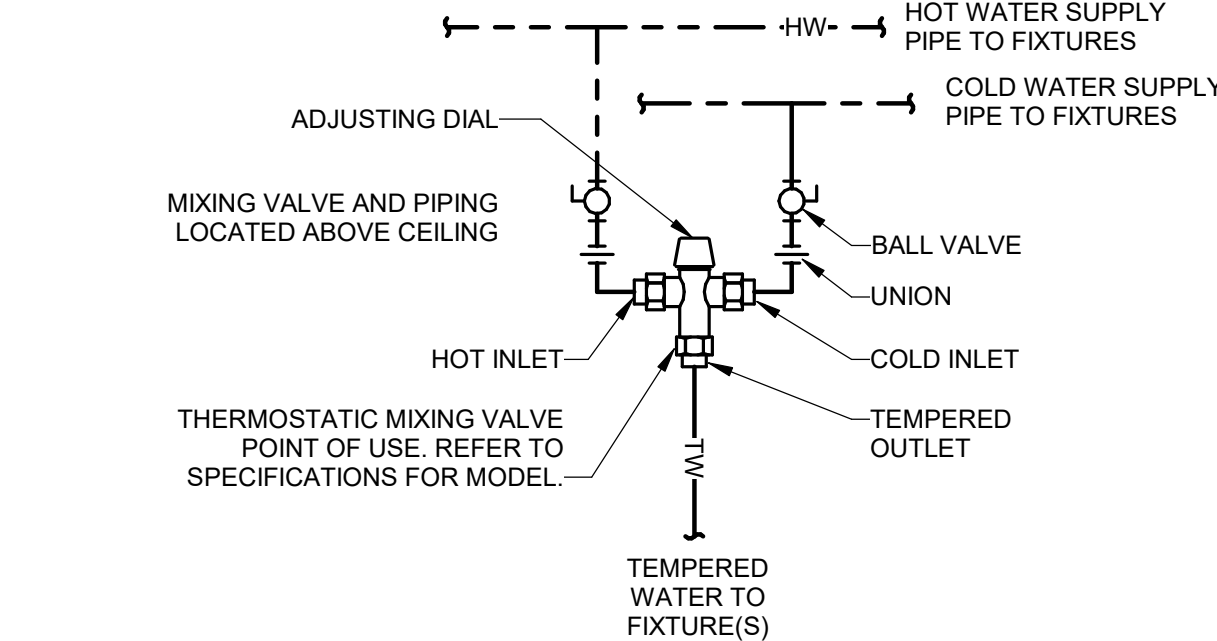
SINGLE/DOUBLE FIXTURE			MULTIPLE FIXTURES		
PDI UNITS	CONN. SIZE	FIXTURE UNIT LOAD	FIXTURE UNIT TABULATION		
			FIXTURE	COLD	HOT
A	1/2"	1-11	VALVE WATER CLOSET	10	--
B	3/4"	12-32	TANK WATER CLOSET	5	--
C	1"	33-60	URINAL	5	--
D	1"	61-113	LAVATORY / SINK	1.5	1.5
E	1"	114-154	JANITOR'S SINK	2.25	2.25
F	1"	155-330	SHOWER/BATHTUB/DF	2	2

- FOR BATTERIES OF FIXTURES, PROVIDE WATER HAMMER ARRESTERS PER SPECIFICATIONS. INSTALL IN VERTICAL POSITION, BUT NEVER UPSIDE DOWN.
- INSTALL IN LINE WITH WATER FLOW DIRECTION IF POSSIBLE. SIZE THE UNITS AS SHOWN ON THE DRAWINGS AND/OR PER THE TABLES SHOWN ABOVE. PROVIDE ACCESSIBILITY TO "WHA" WHERE REQUIRED BY LOCAL CODE.

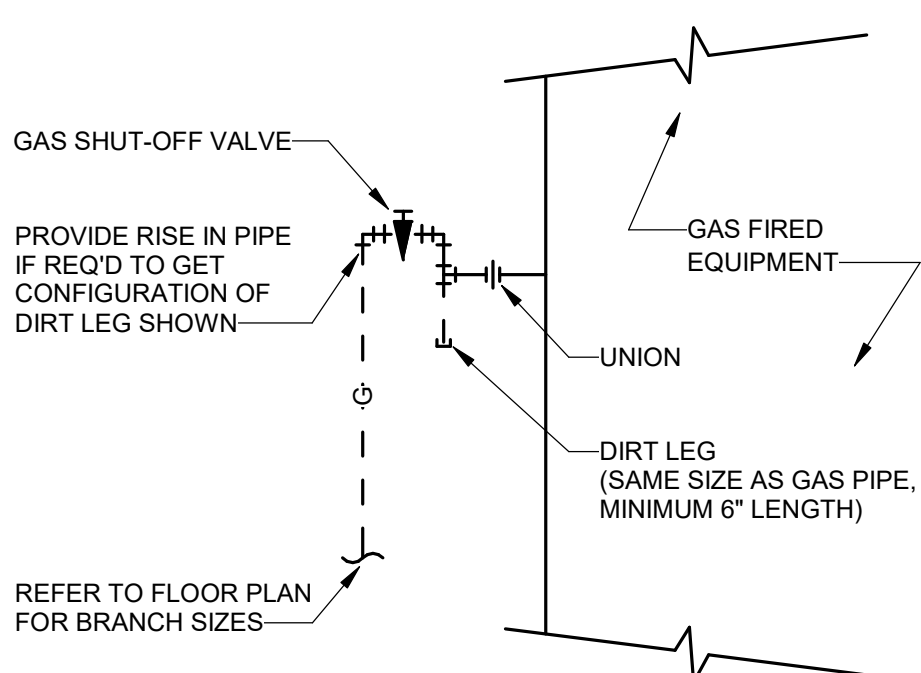
3 WATER HAMMER ARRESTERS - WHA  
P0.01 NOT TO SCALE



5 WALL CLEANOUT SLAB ON GRADE - WCO  
P0.01 NOT TO SCALE

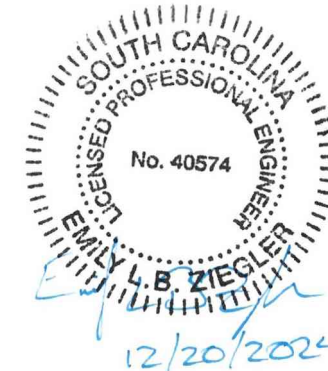


2 THERMOSTATIC MIXING VALVE  
P0.01 NOT TO SCALE



4 GAS CONNECTION DETAIL  
P0.01 NOT TO SCALE

Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By ASE  
Checked By EBZ  
Date 20 DEC 2024

Revisions

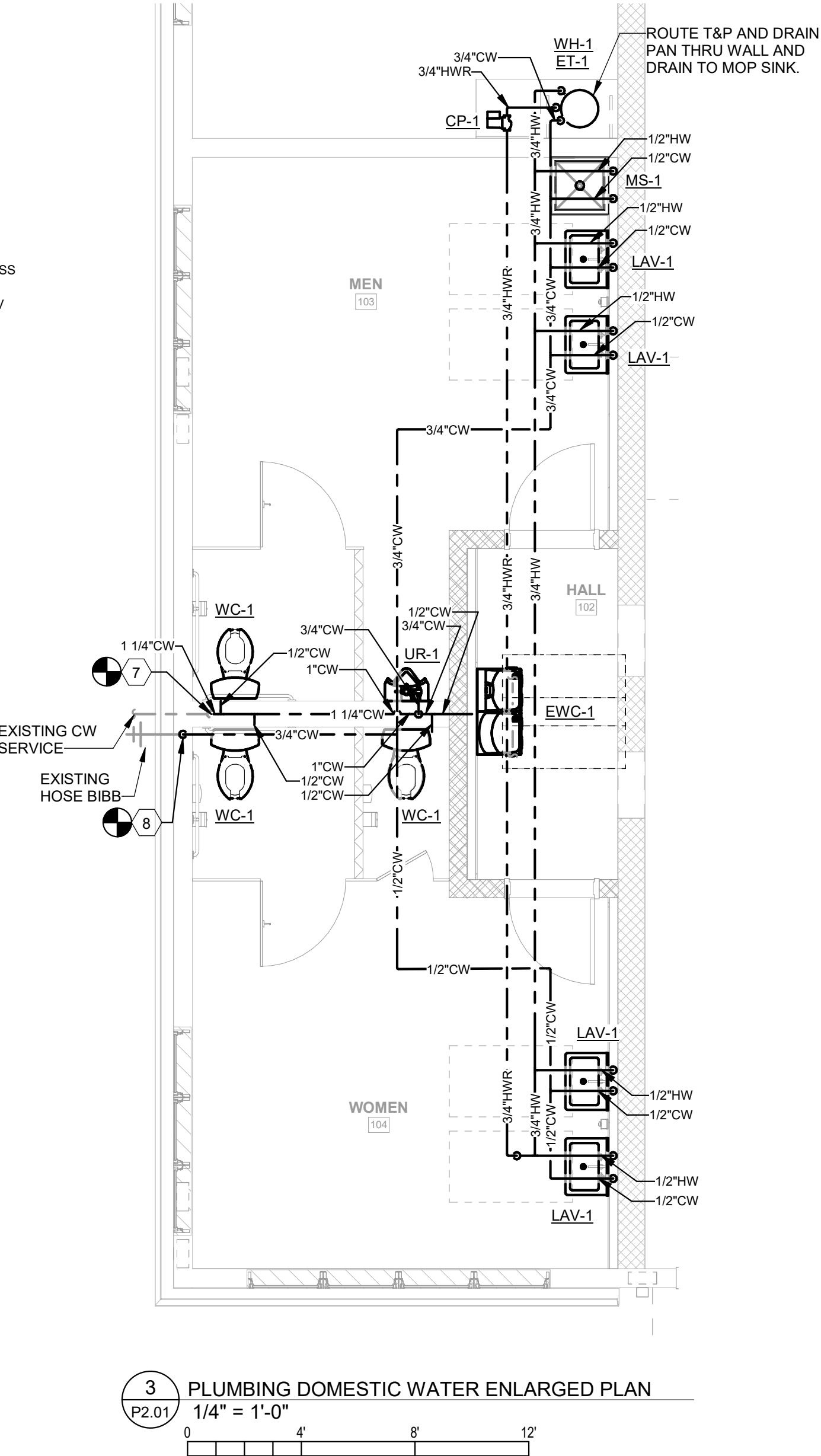
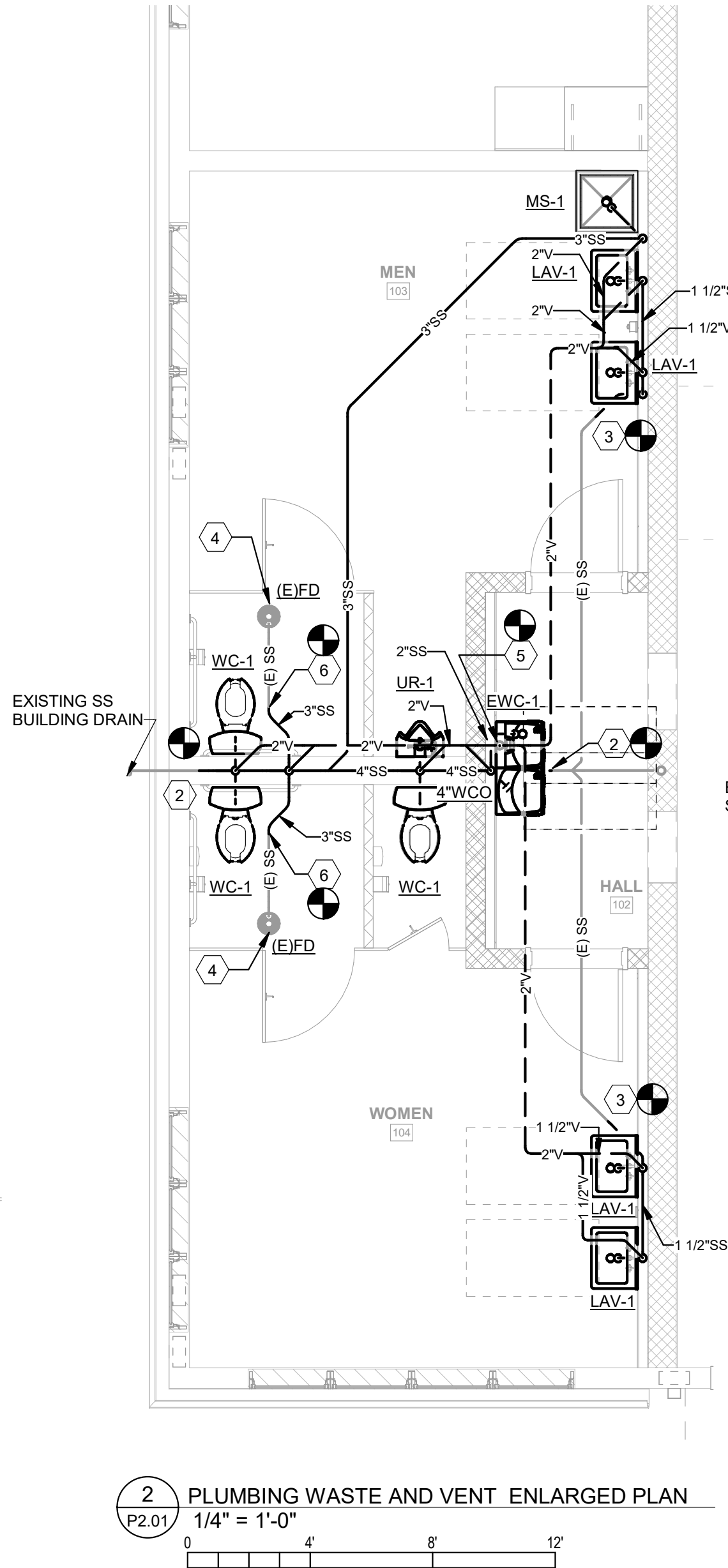
Drawing

**PLUMBING  
LEGEND, DETAILS,  
AND SCHEDULES**

**P0.01**



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



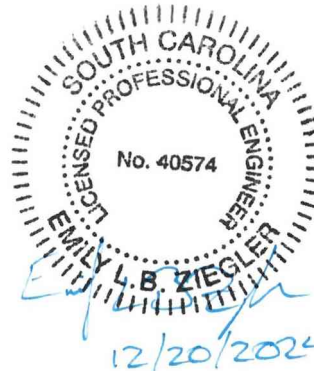
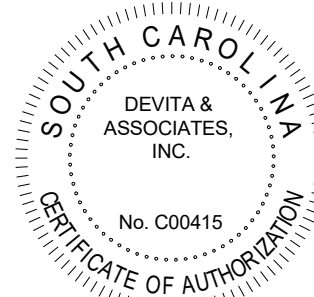
NEW WORK GENERAL NOTES:

- EXISTING CONDITIONS AND PIPING LOCATIONS ARE SHOWN BASED ON NON-INVASIVE FIELD OBSERVATION. FIELD VERIFY EXACT LOCATIONS AND SIZES OF EXISTING PIPING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

NEW WORK KEYED NOTES: #

- CONNECT EXISTING GAS PIPING TO NEW GAS UNIT HEATER.
- EXTEND AND CONNECT NEW 4"SS TO EXISTING SANITARY SEWER PIPING IN THIS AREA.
- EXTEND AND CONNECT NEW 1 1/2"SS TO EXISTING SANITARY SEWER PIPING IN THIS AREA.
- CLEAN FLOOR DRAIN STRAINER TO LIKE NEW CONDITION. PROVIDE ASSE 1072 COMPLIANT BARRIER TYPE TRAP SEAL (ZURN Z1072 OR EQUAL).
- EXTEND NEW 3"V UP AND CONNECT TO EXISTING VENT TERMINAL IN THIS AREA.
- EXTEND NEW 3"SS AND CONNECT TO EXISTING SANITARY SEWER PIPING SERVING FLOOR DRAINS.
- EXTEND NEW 1 1/4"CW AND CONNNECT TO EXISTING COLD WATER PIPING IN THIS AREA.
- EXTEND NEW 3/4"CW AND CONNECT TO EXISTING HOSE BIBB IN THIS AREA.

Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By ASE  
Checked By EBZ  
Date 20 DEC 2024

Revisions

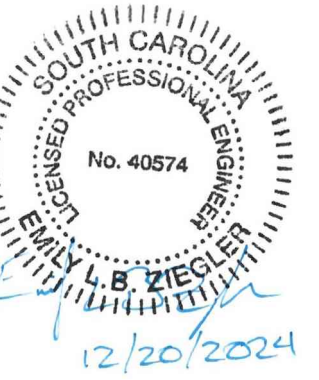
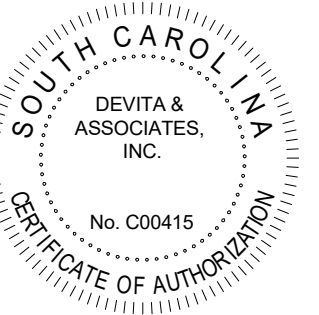
Drawing

**PLUMBING FLOOR  
PLANS**

**P2.01**



Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
[www.DP3architects.com](http://www.DP3architects.com)

Project



# NEWBERRY COUNTY WHITMIRE CITY GYM RENOVATION

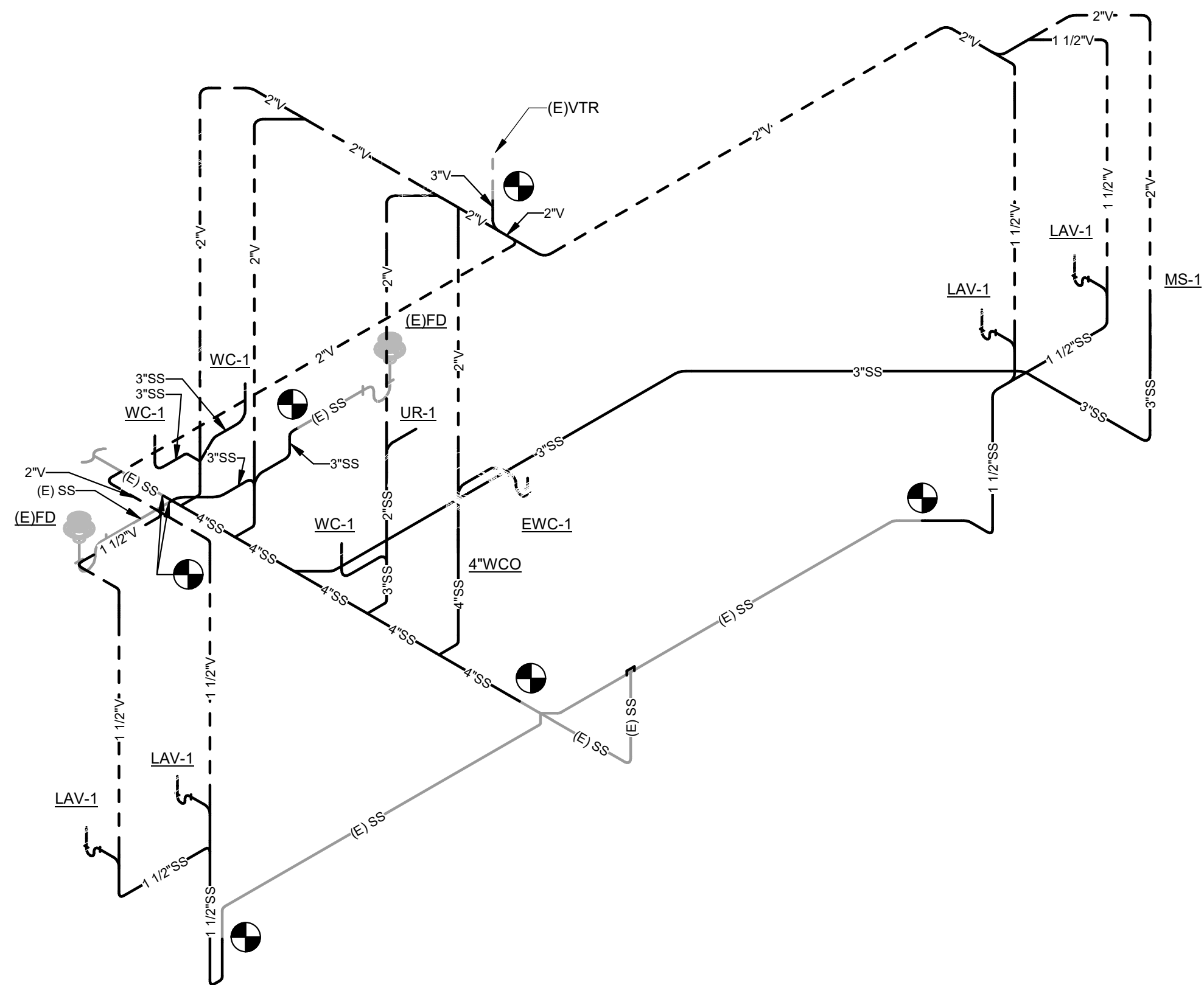
Project Number	23233
Drawn By	ASE
Checked By	EBZ
Date	20 DEC 2024

## Revisions

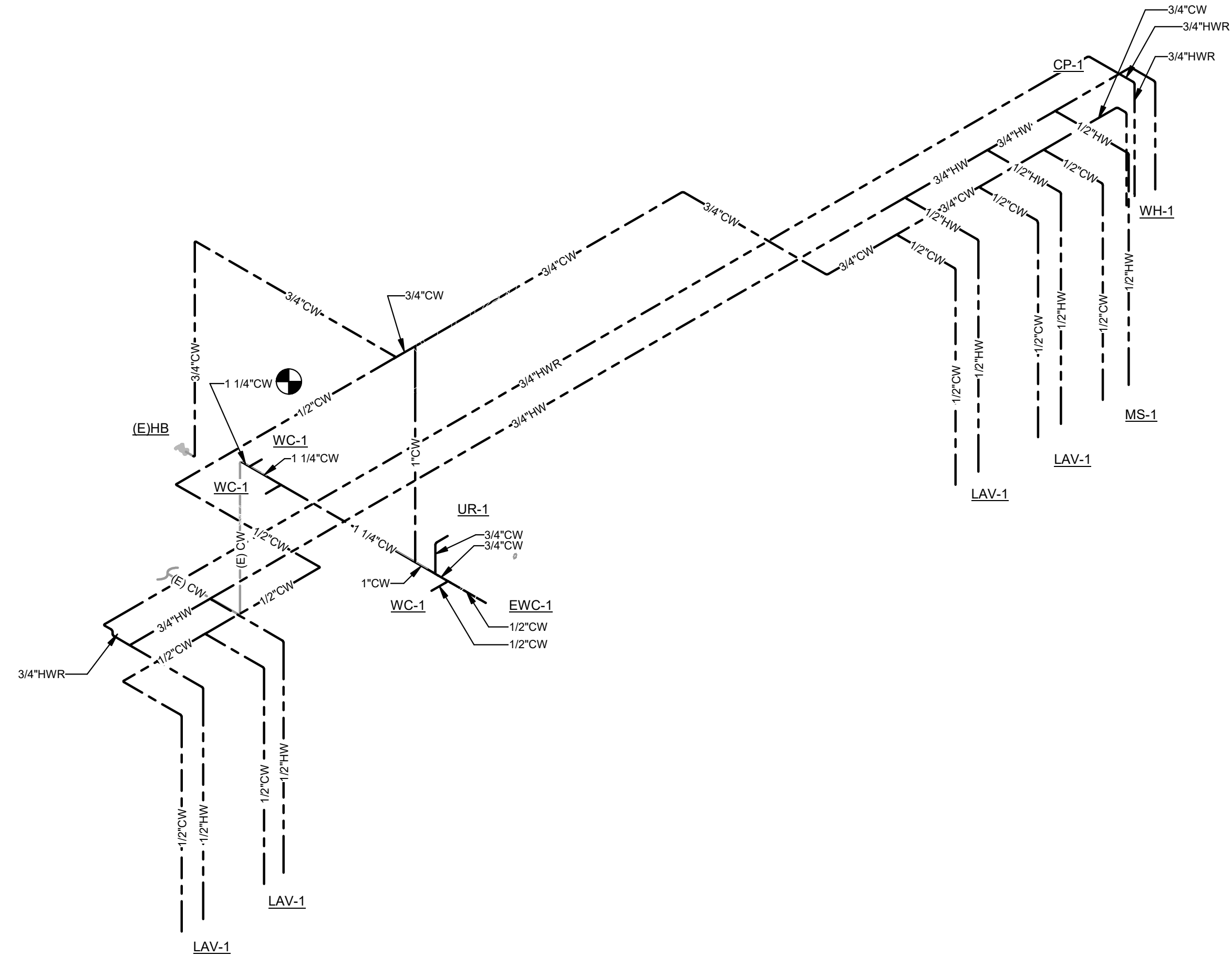
### Drawing

## PLUMBING RISER DIAGRAMS

# P5.01



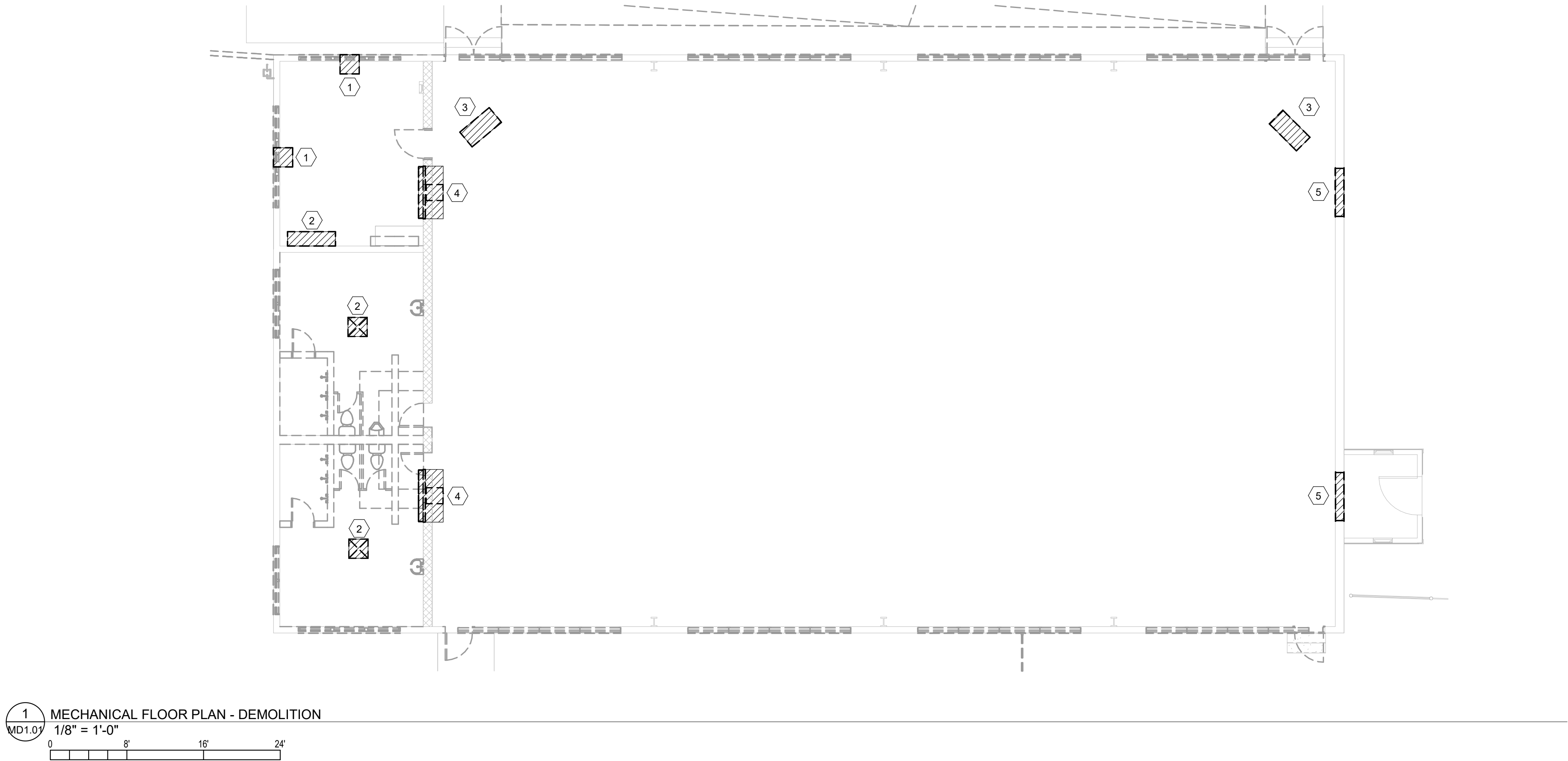
1 SANITARY WASTE & VENT RISER DIAGRAM  
P5.01 NOT TO SCALE



2 DOMESTIC WATER RISER DIAGRAM  
P5.01 NOT TO SCALE



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



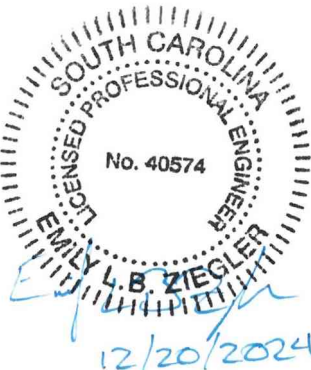
DEMOLITION GENERAL NOTES:

- GYM SHALL BE AN AREA OF MECHANICAL MASS DEMOLITION. ALL MECHANICAL EQUIPMENT, DUCTWORK, PIPING, AND ASSOCIATED COMPONENTS SHALL BE REMOVED IN THEIR ENTIRETY.
- COORDINATE DEMOLITION WORK WITH ALL OTHER TRADES.

DEMOLITION KEYED NOTES: (#)

- REMOVE EXISTING WINDOW MOUNTED AC UNIT IN ITS ENTIRETY, INCLUDING ALL ASSOCIATED COMPONENTS.
- REMOVE EXISTING FURNACE IN ITS ENTIRETY, INCLUDING ALL ASSOCIATED DUCTWORK, DIFFUSERS, ACCESSORIES, PIPING, CONTROLS AND OTHER COMPONENTS. REPAIR EXTERIOR PENETRATIONS TO LIKE NEW CONDINTION.
- REMOVE EXISTING GAS UNIT HEATER IN ITS ENTIRETY, INCLUDING ALL ASSOCIATED COMPONENTS. FLUE VENT PENETRATION AND GAS PIPING TO BE REUSED DURING NEW CONSTRUCTION.
- REMOVE EXISTING EXHAUST FAN IN ITS ENTIRETY, INCLUDING ALL ASSOCIATED COMPONENTS. EXTERIOR PENETRATIONS TO BE REUSED DURING NEW CONSTRUCTION.
- REMOVE EXISTING LOUVER IN ITS ENTIRETY, INCLUDING ALL ASSOCIATED COMPONENTS. EXTERIOR PENETRATIONS TO BE REUSED DURING NEW CONSTRUCTION.

Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By WJS  
Checked By EBZ  
Date 20 DEC 2024

Revisions

Drawing

MECHANICAL  
DEMOLITION PLAN

MD1.01



GENERAL MECHANICAL NOTES	
1.	WORK SHALL CONFORM WITH ALL CURRENT CODES AND AUTHORITY HAVING JURISDICTION.
2.	PROVIDE A WRITTEN GUARANTEE THAT SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER. ANY BREAKDOWN OCCURRING IN THE FIRST YEAR SHALL BE AT NO EXPENSE TO THE OWNER.
3.	DRAWINGS ARE SCHEMATIC, NOT ALL RISES AND DROPS ARE SHOWN. TRADES ARE TO COORDINATE THEIR WORK WITH ALL OTHER TRADES TO AVOID CONFLICTS. GENERALLY, DUCTWORK SHALL BE KEPT AS HIGH AS POSSIBLE.
4.	COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL MECHANICAL EQUIPMENT WITH ELECTRICAL DRAWINGS PRIOR TO ORDERING EQUIPMENT OR SUBMITTING SHOP DRAWINGS AND SHALL FURNISH EQUIPMENT WIRED FOR VOLTAGES SHOWN THEREIN.
5.	COORDINATE THE INSTALLATION OF MECHANICAL EQUIPMENT, DUCTWORK, ETC. TO FIT WITHIN THE SPACE ALLOWED BY THE ARCHITECTURAL AND STRUCTURAL CONDITIONS. CUTTING OR OTHERWISE ALTERING ANY STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE STRUCTURAL ENGINEER OF RECORD.
6.	KEEP A SET OF MARKED UP PRINTS WITH ANY FIELD CHANGES MADE DURING CONSTRUCTION TO CREATE AN "AS-BUILT" SET OF PRINTS TO BE TURNED OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
7.	PROVIDE ACCESS PANELS IN CEILINGS AND WALLS TO ALLOW ACCESS TO VALVES, TRAPS, DAMPERS, CLEANOUTS, CONTROLS, ETC. MINIMUM ACCESS SIZE SHALL BE 12"x12", UNLESS LIMITED BY PHYSICAL CONSTRAINTS.
8.	MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
9.	OUTSIDE AIR INTAKES FOR AIR CONDITIONING UNITS SHALL BE A MINIMUM OF 10 FEET FROM EXHAUST FANS, EXHAUST OPENINGS AND PLUMBING VENTS.
10.	ALL DUCT DIMENSIONS SHOWN ARE INSIDE CLEAR DIMENSIONS.
11.	SUPPORT DUCTWORK FROM BUILDING STRUCTURE IN ACCORDANCE WITH SMACNA STANDARDS.
12.	COORDINATE LOCATIONS OF GRILLES, REGISTERS AND DIFFUSERS WITH ARCHITECTURAL REFLECTED CEILING PLAN. LOCATIONS SHOWN ARE APPROXIMATE, ADJUST LOCATIONS IN THE FIELD AS REQUIRED BY CONSTRUCTION CONSTRAINTS.
13.	PROVIDE EACH SUPPLY AIR OUTLET OR DIFFUSER WITH ITS OWN BALANCING DEVICE. DEVICES CAN BE LOCATED IN DUCTWORK OR SUPPLY AIR DEVICE ITSELF.
14.	ALL CONDENSATE DRAIN PIPING SHALL BE TYPE L HARD DRAWN COPPER, ASTM B-88, WITH TYPE DWV FITTINGS, ASME B16.23, OR SCHEDULE 40 PVC, ASTM D1785, WITH TYPE DWV FITTINGS, ASTM D2872. COPPER DRAIN PIPE AND FITTINGS SHALL BE JOINED USING 95-5 SILVER SOLDER, AND PVC PIPE AND FITTINGS SHALL BE JOINED USING SOLVENT CEMENT. PROVIDE TRAP WITH CLEANOUT AND UNIONS. SLOPE CONDENSATE DRAIN LINES A MINIMUM OF 1/8" PER FOOT AWAY FROM THE MECHANICAL EQUIPMENT.
15.	INSTALL TOP OF THERMOSTATS AT 4'-0" ABOVE FINISHED FLOOR (AFF) UNLESS NOTED OTHERWISE. THERMOSTAT LOCATIONS SHALL BE COORDINATED WITH FINAL LOCATIONS OF WALL-MOUNTED ARCHITECTURAL AND ELECTRICAL EQUIPMENT. FINAL LOCATIONS MUST BE APPROVED BY THE ARCHITECT AND OWNER. THERMOSTATS SHALL NOT BE INSTALLED ON EXTERIOR WALLS IF INTERIOR WALLS ARE AVAILABLE WITHIN SPACE SERVED BY THERMOSTAT. SHOULD THE THERMOSTAT REQUIRE INSTALLATION ON AN EXTERIOR WALL AN INSULATED BACKING PLATE MUST BE PROVIDED TO PREVENT FALSE READINGS BY THE THERMOSTAT.

HVAC SYMBOLS AND CONVENTIONS	
SYMBOL	DESCRIPTION
	TURNING VANES
	VOLUME DAMPER
	FIRE DAMPER
	FIRE/SMOKE DAMPER
	SMOKE DETECTOR (BY EC)
	MOTOR OPERATED DAMPER
	DUCTWORK TEMPERATURE SENSOR
	DUCTWORK HUMIDITY SENSOR
	DUCTWORK STATIC PRESSURE SENSOR
	SUPPLY DUCT
	RETURN DUCT
	EXHAUST DUCT
	FLEX DUCT
	HUMIDISTAT/HUMIDITY SENSOR
	THERMOSTAT
	SPACE TEMPERATURE SENSOR
	CARBON DIOXIDE SENSOR
	UNDERCUT DOOR
	AIRFLOW DIRECTION
	AIRFLOW DIRECTION
	PIPING DIFFERENTIAL PRESSURE SENSOR
	PIPE BRANCH TAKE-OFF FROM BOTTOM
	PIPE BRANCH TAKE-OFF FROM TOP
	PIPE DROP
	PIPE RISE
	FLANGED CONNECTION
	AC CONDENSATE DRAIN PIPING
	DEMO HATCH

EQUIPMENT TAGGING LEGEND	
EQUIPMENT DESIGNATION	TAGGING DESCRIPTION
AIR DEVICES - S,R,E,T	<div>EQUIPMENT DESIGNATION</div> <div>TYPE</div> <div></div> <div>CFM</div>
EQUIPMENT DESIGNATION - AHU, AC, GF, RTU, VAV, EDH, EUH, GUH, PTAC	<div>EQUIPMENT DESIGNATION</div> <div>XXX-X</div> <div>PLAN DESIGNATION</div>
VFD	<div>SERVICING EQUIPMENT MARK</div> <div></div> <div>SPECIFIC COMPONENT DESIGNATION</div>

AIR SYSTEM SPECIFIC ABBREVIATIONS			
AC	AIR CONDITIONING	HV	HEATING AND VENTILATING UNIT
ACC	AIR COOLED CONDENSER	IH	INTAKE HOOD
ACCU	AIR COOLED CONDENSATING UNIT	LAT	LEAVING AIR TEMPERATURE
ACD	AUTOMATIC CONTROL DAMPER	LUV	LOUVER
ACU	AIR CONDITIONING UNIT	LUV	LOUVERED DOOR
AHU	AIR HANDLING UNIT	OA	OUTSIDE AIR
ALD	ACOUSTICALLY LINED DUCT	OAI	OUTSIDE AIR INTAKE
ATD	AIR TERMINAL DEVICE	OBD	OPPOSED BLADE DAMPER
BDD	BACKDRAFT DAMPER	OED	OPENED END DUCT
CC	COOLING COIL	(R)	RELOCATED
CD	CEILING DIFFUSER	RA	RETURN AIR
CFM	CUBIC FEET PER MINUTE	RD	REFRIGERANT DISCHARGE
CG	CEILING GRILLE	RF	RETURN FAN
CG	CEILING GRILLE	RG	RETURN GRILLE
DX	DIRECT EXPANSION	RL	REFRIGERANT LIQUID
(E)	EXISTING	RLF	RELIEF
EDH	ELECTRIC DUCT HEATER	RR	RETURN REGISTER
EF	EXHAUST FAN	RS	REFRIGERANT SUCTION
EG	EXHAUST GRILLE	RTU	ROOFTOP UNIT
ER	EXHAUST REGISTER	SA	SUPPLY AIR
ERHC	ELECTRIC REHEAT COIL	SD	SMOKE DETECTOR
ESP	EXTERNAL STATIC PRESSURE	SD	SMOKE DAMPER
EUH	ELECTRIC UNIT HEATER	SF	SUPPLY FAN
F	FAN	SG	SUPPLY GRILLE
FA	FREE AREA	SGD	SLIDE GATE DAMPER
FC	FORWARD CURVE	SM	SHEET METAL
FCU	FAN COIL UNIT	SP	STATIC PRESSURE
FD	FIRE DAMPER (W/ACCESS DOOR)	SR	SUPPLY REGISTER
FLTR	FILTER	TE	TOILET EXHAUST
FO	FLAT OVAL	TF	TRANSFER FAN
FPI	FINS PER INCH	TG	TRANSFER GRILLE
FSD	FIRE/SMOKE DAMPER	TR	TRANSFER
GDH	GAS DUCT HEATER	TSP	TOTAL STATIC PRESSURE
GE	GENERAL EXHAUST	UCD	UNDERCUT DOOR
GF	GAS FURNACE	VAV	VARIABLE AIR VOLUME
GH	GRAVITY HOOD	VD	VOLUME DAMPER
GUH	GAS UNIT HEATER	WMS	WIRE MESH SCREEN
HC	HEATING COIL		

MINI-SPLIT SYSTEM SCHEDULE																					
OUTSIDE UNIT MARK	MANUFACTURER	CONDENSING UNIT (OUTSIDE)									AIR HANDLING UNIT (INSIDE)									NOTES	
		MODEL	TONS	COOLING			HEATING	ELECTRICAL DATA		WEIGHT	INSIDE UNIT MARK	AREA SERVED	MODEL	TONS	TYPE	SUPPLY AIR CFM	OUTSIDE AIR CFM	WEIGHT	ELECTRICAL DATA		
				TOTAL (BTUH)	SENSIBLE (BTUH)	IEER (SEER2)		VOLTAGE	PHASE										VOLTAGE		PHASE
HP-1	mitsubishi	PUZ-A24NHA7	2	24,000	16,320	(20.1)	28,000	230	1	153	AHU-1	OFFICE AND RESTROOM	PEAD-A24AA9	2	CONCEALED -DUCTED	740	200	67	230	1	1 - 5
NOTES: 1. UNIT SHALL BE U.L. LISTED AND ARI CERTIFIED UNIT. 2. PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT (24V) WITH AUTO HEAT/COOL CHANGEOVER. REFER TO PLAN FOR THERMOSTAT LOCATIONS. 3. HARD-WIRED THERMOSTAT 4. INSTALL 24V MOTORIZED DAMPER IN OUTSIDE AIR DUCTWORK AT UNIT. 5. UNLESS NOTED OTHERWISE, THERMOSTAT AND UNITS SHALL BE SET UP FOR AN OCCUPIED MODE AND AN UNOCCUPIED MODE. IN OCCUPIED MODE, THE COMPRESSOR OR HEAT SHALL OPERATE WHEN NEEDED TO REACH THE THERMOSTAT SET POINT, THE SUPPLY SHALL OPERATE CONTINUOUSLY, AND THE OUTSIDE AIR DAMPER SHALL BE OPEN. IT IS A MECHANICAL CODE REQUIREMENT THAT THE FAN RUN CONTINUOUSLY TO BRING IN OUTSIDE AIR WHEN THE ZONE IS OCCUPIED. IN UNOCCUPIED MODE, THE COMPRESSOR OR HEAT SHALL OPERATE WHEN NEEDED TO REACH THE THERMOSTAT SET POINT, THE FAN SHALL OPERATE WHEN THE COMPRESSOR OR HEAT OPERATE AND THE OUTSIDE AIR DAMPER SHALL BE CLOSED.																					

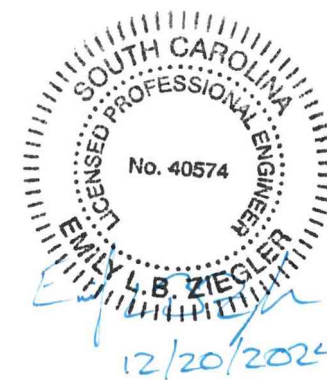
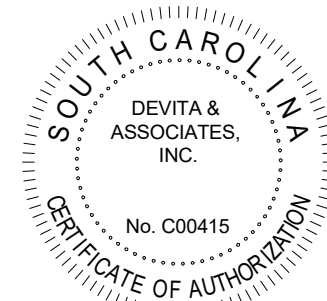
GAS UNIT HEATER SCHEDULE										
MARK	MANUFACTURER MODEL	AREA SERVED	CFM	MOTOR HP	GAS			ELECTRICAL DATA		NOTES
					INPUT (MBH)	OUTPUT (MBH)	VENT DIA (IN)	VOLTAGE	PHASE	
GUH-1	MODINE BTX-250	GYM	2646	1/2	250	205	6	120	1	1 - 8
GUH-2	MODINE BTX-250	GYM	2646	1/2	250	205	6	120	1	1 - 8
NOTES: 1. PROVIDE WALL MOUNTED THERMOSTAT (24V) SET TO 68°F. 2. PROVIDE THERMAL OVERLOAD PROTECTION FOR FAN MOTOR. 3. PROVIDE SUPPORT TO MOUNT UNIT HEATER TO STRUCTURE. 4. DISCONNECT PROVIDED BY ELECTRICAL CONTRACTOR. 5. UNIT HEATER SHALL BE INSTALLED 11'-10" A.F.F. 6. UNITS SHALL BE U.L. LISTED. 7. PROVIDE WITH MANUFACTURER'S CONCENTRIC VENT KIT. 8. ACCEPTABLE EQUALS SHALL BE REZNOR, STERLING, OR TRANE.										

FAN SCHEDULE															
MARK	MANUFACTURER MODEL	AREA SERVED	SERVICE	TYPE	CFM	STATIC PRESSURE (IN WG)	NOMINAL RPM	DRIVE TYPE	ELECTRICAL DATA		MOTOR HP (WATTS)	CONTROL	SONES	WEIGHT (LBS)	NOTES
									VOLTAGE	PHASE					
EF-1	GREENHECK SBE-1H42	GYM	EXHAUST	WALL	9,500	.13	378	BELT	120	1	1/2	THERMOSTAT	13.1	138	1 - 6, 8 - 9
EF-2	GREENHECK SBE-1H42	GYM	EXHAUST	WALL	9,500	.13	378	BELT	120	1	1/2	THERMOSTAT	13.1	138	1 - 6, 8 - 9
EF-3	GREENHECK SP-A110	RESTROOM	EXHAUST	CEILING	100	.13	851	DIRECT	120	1	(13)	OCCUPANCY	0.3	25	1 - 8
EF-4	GREENHECK SP-A110	RESTROOM	EXHAUST	CEILING	100	.13	851	DIRECT	120	1	(13)	OCCUPANCY	0.3	25	1 - 8
NOTES: 1. PROVIDE UNIT WITH GRAVITY BACKDRAFT DAMPER. 2. PROVIDE VIBRATION ISOLATION. 3. UNIT SHALL BE UL LISTED AND AMCA CERTIFIED. 4. DISCONNECT PROVIDED BY ELECTRICAL CONTRACTOR. 5. PROVIDE SPEED CONTROL. 6. PROVIDE MOTOR WITH THERMAL OVERLOAD PROTECTION. 7. PROVIDE INSULATED HOUSING FOR SOUND ATTENUATION. 8. ACCEPTABLE EQUALS SHALL BE ACME, CARNES, COOK, AND PENN. 9. THERMOSTAT (120V) SHALL BE SET SO THAT THE FAN SHALL RUN AT 75°F.															

VENTILATION COMPLIANCE SCHEDULE								
UNIT MARK	AREA SERVED	AREA (FT²)	PEOPLE PER 1000 FT²	NUMBER OF PEOPLE	AIRFLOW PER PERSON	AIRFLOW PER FT²	OUTSIDE AIR REQUIRED (CFM)	OUTSIDE AIR PROVIDED (CFM)
AHU-1	OFFICE	290	5	2	5	0.06	28	200
NOTES: 1. PEOPLE DENSITY, CFM PER PERSON, AND CFM PER SQUARE FOOT ARE BASED ON THE MECHANICAL CODE DEFAULT VALUES UNLESS NOTED OTHERWISE.								

AIR DISTRIBUTION SCHEDULE											
MARK	TYPE	DESCRIPTION				DESIGN BASIS		FACE SIZE	NECK SIZE	MATERIAL	NOTES
						MANUF.	MODEL				
S-1	SUPPLY	SQUARE CONE, FIXED PATTERN, 3-CONE LAY-IN				PRICE	ASCD	12"x12"	6"Ø	ALUMINUM	1 - 4
S-2	SUPPLY	SQUARE CONE, FIXED PATTERN, 3-CONE LAY-IN				PRICE	ASCD	24"x24"	10"Ø	ALUMINUM	1 - 4
R-1	RETURN	PERFORATED FACE, LAY-IN				PRICE	PDDR	24"x24"	12"x12"	ALUMINUM	2, 3, 4
NOTES:											
1. PROVIDE OPPOSED BLADE DAMPERS IN NECK OF DIFFUSER OR REGISTER, WITH ACCESS TO DAMPER THROUGH FACE OF DIFFUSER OR REGISTER.											
2. FINISH SHALL BE COORDINATED WITH ARCHITECTURAL PLANS.											
3. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR MOUNTING TYPE.											
4. ACCEPTABLE EQUALS INCLUDE METALAIR AND TITUS.											

Seal



DP3  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By WJS  
Checked By  
Date 20 DEC 2024

Revisions

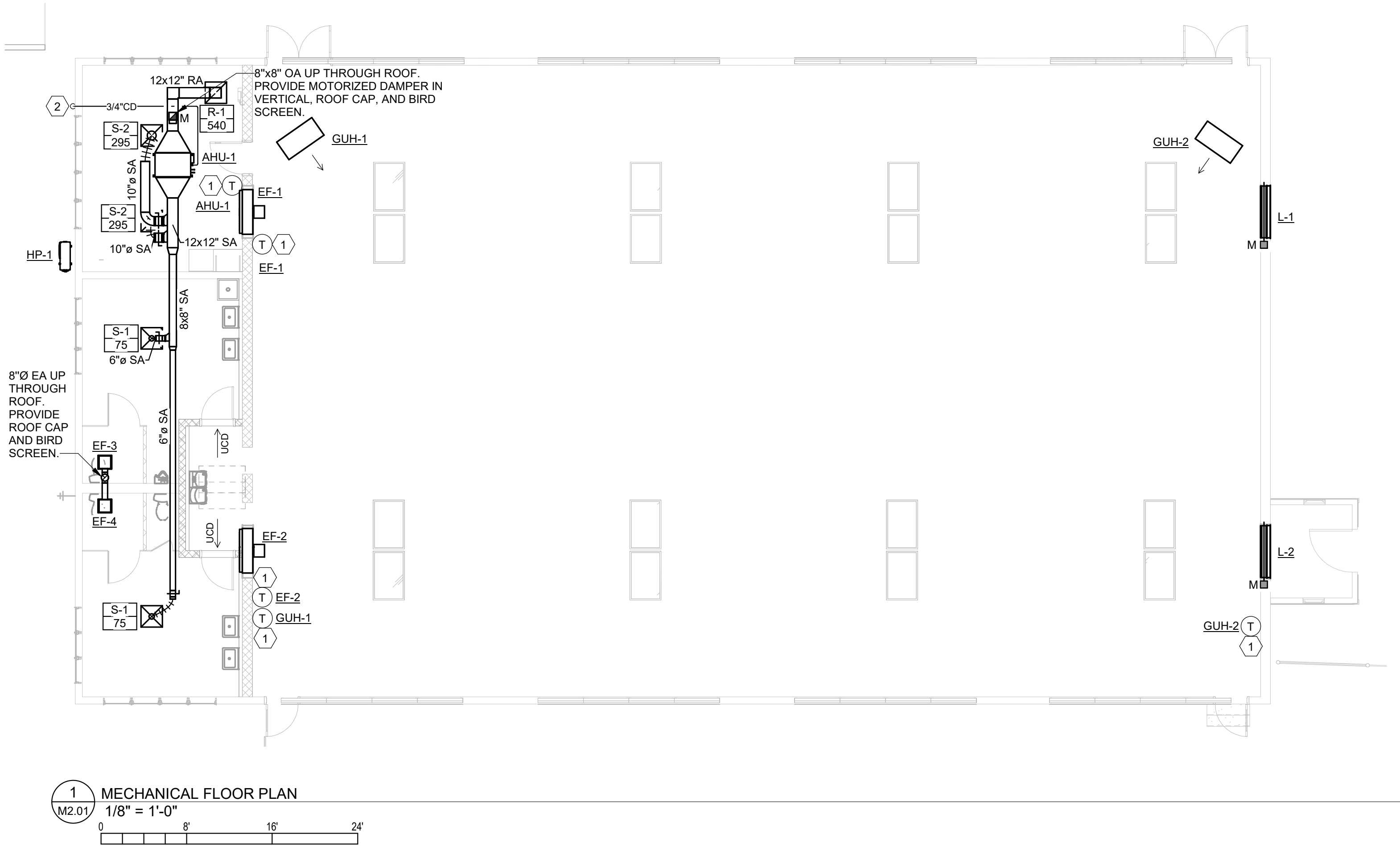
Drawing

MECHANICAL  
LEGEND, NOTES,  
AND SCHEDULES

M0.01



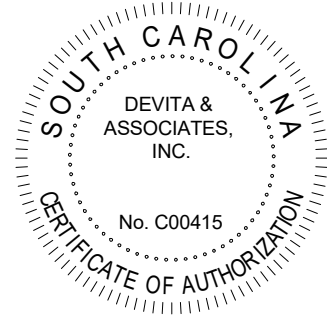
Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



NEW WORK KEY NOTES: (#

1. INSTALL THERMOSTAT TO CONTROL MECHANICAL EQUIPMENT. MOUNT AT 48" AFF. COORDINATE EXACT LOCATION WITH ARCHITECT. SHOULD THERMOSTAT REQUIRE INSTALLATION ON EXTERIOR WALL, PROVIDE INSULATED BACKING PLATE TO PREVENT FALSE READINGS.
2. ROUTE 3/4" CONDENSATE LINE DOWN THROUGH WALL AND DRAIN OUTSIDE AT VEGETATED AREA.

Seal



DP3  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By WJS  
Checked By EBZ  
Date 20 DEC 2024

Revisions

Drawing

MECHANICAL  
FLOOR PLAN

M2.01





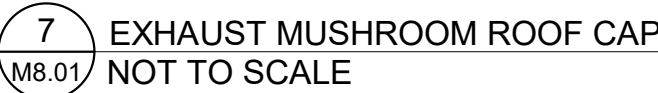
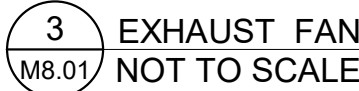
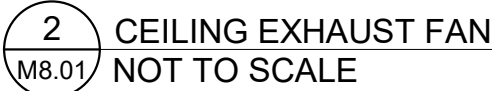
DP3 Architects, Ltd.  
5 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
[www.DP3architects.com](http://www.DP3architects.com)

## Project



Project Number 23233  
Drawn By WJS  
Checked By EBZ  
Date 20 DEC 2024

## Revisions



**NOTES:**  
1. PRIME COAT AND PAINT TO MATCH ROOF COLOR  
2. PROVIDE FLASHING AND COUNTER FLASHING.



10 SUPPLY DIFFUSER INSTALLATION (FLEX DUCT)  
M8.01 NOT TO SCALE



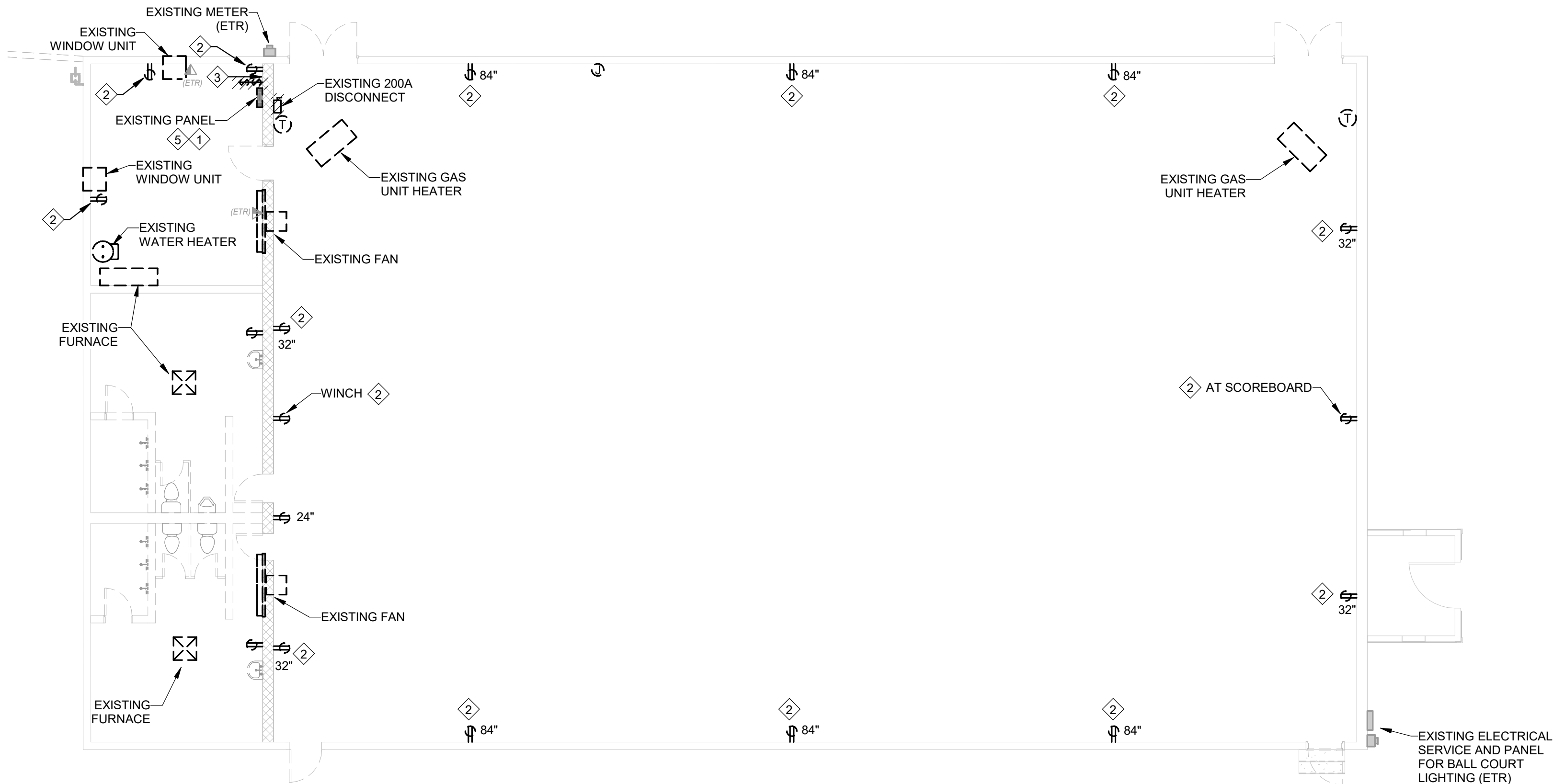
## Drawing

## MECHANICAL DETAILS

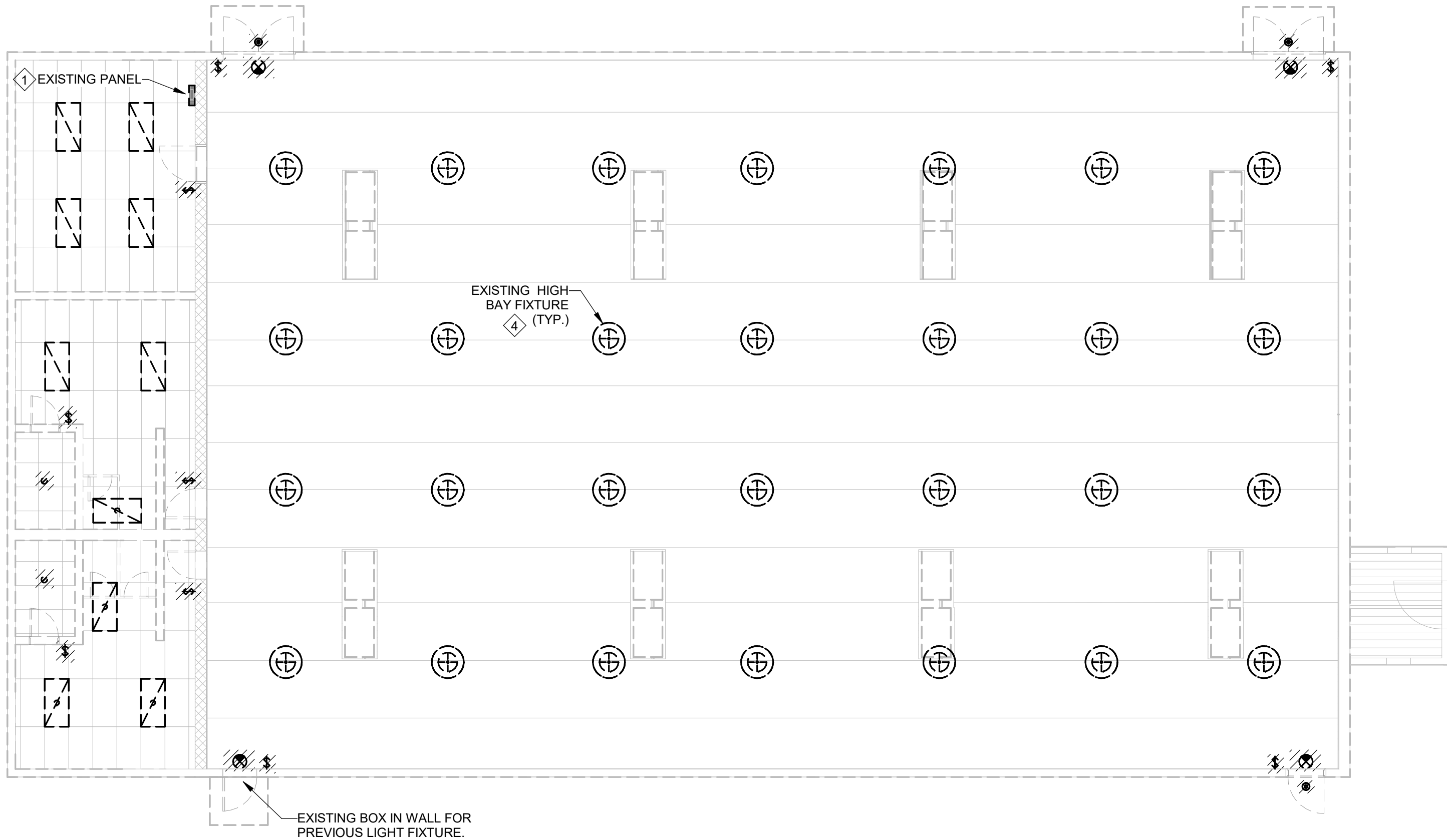
# M8.01



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



1 ELECTRICAL POWER PLAN - DEMOLITION  
1/8" = 1'-0"



2 ELECTRICAL LIGHTING PLAN - DEMOLITION  
1/8" = 1'-0"

#### GENERAL DEMOLITION NOTES:

- FOR ALL EXISTING FIXTURES, DEVICES, ETC. INDICATED TO REMAIN, FIELD VERIFY THE EXISTING CIRCUIT, AND PROVIDE NEW LABEL ON DEVICE PLATE WITH CORRECT PANEL/CIRCUIT PER SPECIFICATIONS.
- FOR DEVICES, FIXTURES, ETC. TO BE REMOVED, THEY AND THEIR RELATED WIRING/CONDUIT SHALL BE REMOVED BACK TO THE SOURCE PANELBOARD, UNLESS OTHERWISE NOTED. ON CIRCUITS WHERE OTHER DEVICES, FIXTURES, ETC. ARE FOUND THAT MUST REMAIN, MAINTAIN CIRCUIT CONTINUITY BY PROVIDING ADDITIONAL WIRING TO FEED THROUGH TO THESE REMAINING ITEMS. RE-CIRCUIT ANY REMAINING DEVICES AS REQUIRED TO AVAILABLE PANELBOARD SPACE. RELOCATE ANY CIRCUITS THAT REMAIN TO AVOID CONFLICT WITH NEW CONSTRUCTION AS REQUIRED. PROPERLY TERMINATE ALL WIRING.
- ITEMS TO BE REMOVED ARE INDICATED BY DASHED LINETYPE AND/OR HATCHING.
- FIELD VERIFY ALL CIRCUITS.
- REMOVE ALL EXISTING ELECTRICAL DEVICES AND EQUIPMENT IN THE RENOVATED AREA UNLESS OTHERWISE NOTED. REROUTING OF EXISTING CONDUCTORS MAY BE REQUIRED AT NEW OPENINGS IN EXISTING CONSTRUCTION OR AROUND NEW WORK.
- FOR DEVICES DENOTED AS FOLLOWS, PROVIDE WORK DESCRIBED:
  - (ETR) DENOTES EXISTING DEVICES, FIXTURES, EQUIPMENT, ETC. ARE EXISTING TO REMAIN. THEY AND THEIR ASSOCIATED CIRCUITING, CABLING, AND RACEWAYS SHALL REMAIN.
  - (RS) REMOVE AND SALVAGE EXISTING DEVICES, FIXTURES, EQUIPMENT, ETC. FOR REINSTALLATION IN RENOVATED AREA. ALL ASSOCIATED CIRCUITING, CABLING, AND RACEWAYS SHALL BE REMOVED BACK TO CONVENIENT LOCATION TO ACCOMMODATE DEMOLITION AND EXTENSION TO NEW LOCATIONS.

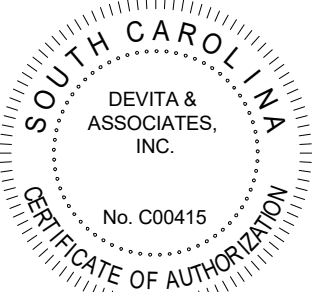
#### KEY NOTES:

- EXISTING PANEL TO BE REPLACED WITH NEW IN SAME LOCATION. REFER TO SINGLE-LINE DIAGRAMS.
- EXISTING DEVICE AND WALL PLATE TO BE REPLACED. EXISTING CIRCUIT MAY REMAIN, U.N.O.
- EXISTING ENCLOSED BREAKERS ADJACENT TO PANEL TO BE REMOVED. FIELD DETERMINE IF EXISTING BREAKERS ARE ACTIVE. RELOCATE CIRCUITS TO NEW PANEL IF ACTIVE AND STILL IN USE.
- EXISTING FIXTURE TO BE REMOVED AND RECIRCUITED PER NEW LIGHTING PLAN.
- INVESTIGATE EXISTING FLEXIBLE CORD EXITING PANEL COVER AND OTHER EXPOSED WIRING IN THIS ROOM. REMOVE BACK TO SOURCE AND PROVIDE PROPER WIRING IN CONDUIT AND REQUIRED DEVICES AT EACH END TO MEET CODE. NO WIRING SHALL BE LEFT EXPOSED IN THIS ROOM, AND FLEXIBLE CORDS SHALL BE USED ONLY AS PERMITTED IN NEC 400.10.

#### TRACING AND LABELING SCOPE

- TRACE ALL EXISTING CIRCUITS IN THE BUILDING TO DETERMINE LOAD AND WHICH CIRCUITS ARE ACTIVE.
- EXTEND AND RECONNECT EXISTING ACTIVE BRANCH CIRCUITS TO NEW PANELBOARDS.
- LABEL ALL DISCONNECTS, WIRING DEVICES, LIGHTING CONTROLS, LV SYSTEM PANELS, AND OTHER EQUIPMENT FED BY AC POWER WITH PANEL/CIRCUIT.
- LABEL ITEMS WHETHER SHOWN OR NOT ON THESE PLANS. FIELD DETERMINE ALL EXISTING ITEMS TO BE LABELED.

Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By SMD  
Checked By SLE  
Date 20 DEC 2024

Revisions

Drawing

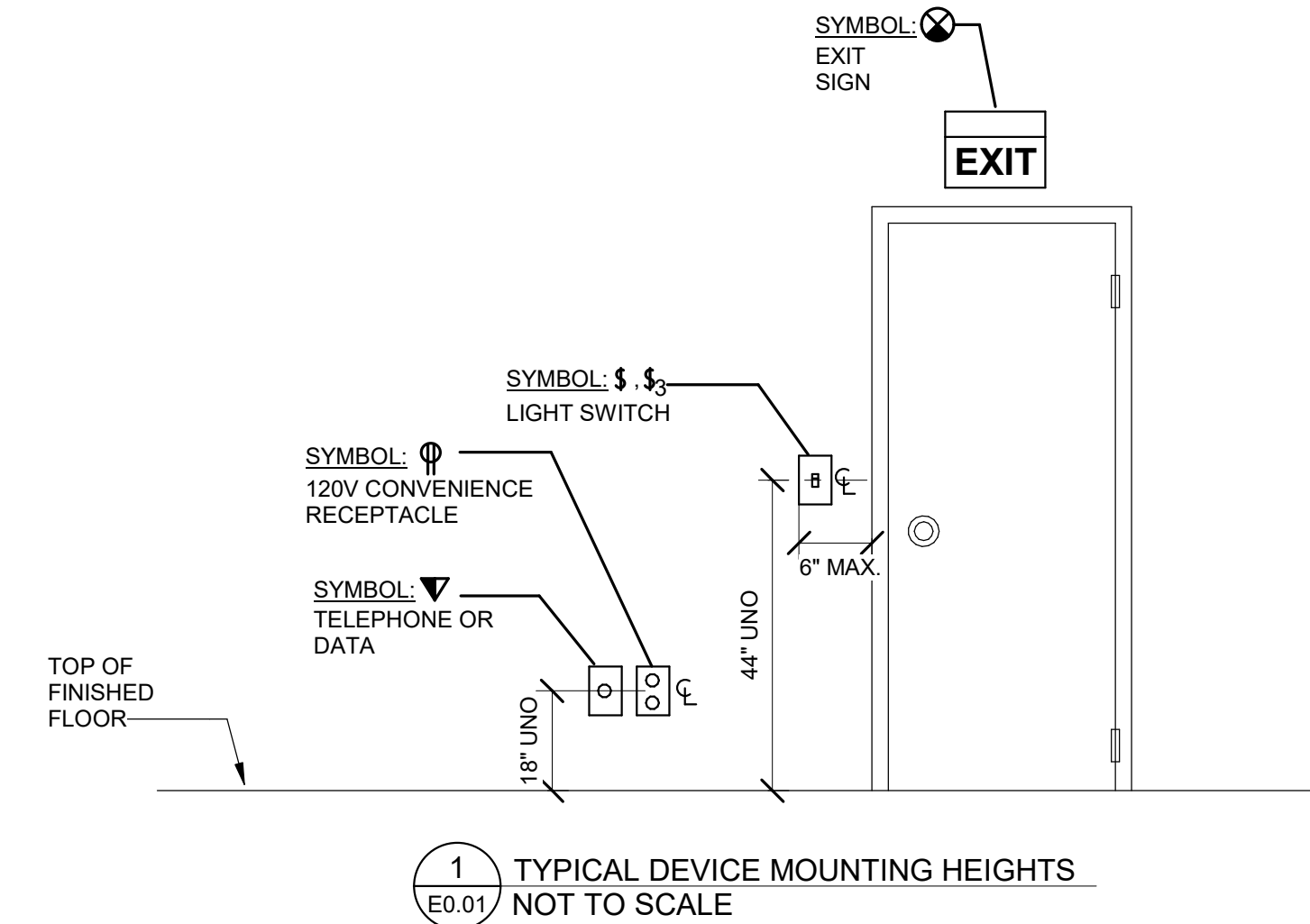
**ELECTRICAL  
DEMOLITION  
PLANS**

**ED1.01**



WIRING DEVICE SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	HOMERUN TO LIGHTING/SERVICE PANEL. HOMERUN INDICATES PANEL NAME AND CIRCUIT NUMBER OR FEEDER TAG. CONDUCTORS SHALL BE #12 AWG IN 3/4" CONDUIT (1" UNDERGROUND) UNLESS NOTED OTHERWISE. HOMERUNS MAY BE COMBINED INTO A COMMON RACEWAY FOR 20A SINGLE PHASE CIRCUITS. PROVIDE DEDICATED NEUTRLS. MAXIMUM OF (6) CURRENT CARRYING CONDUCTORS SHALL BE PROVIDED IN RACEWAY, UNLESS NOTED OTHERWISE. PROVIDE #10 AWG FOR 120V BRANCH CIRCUITS LONGER THAN 100 FEET. PROVIDE #8 AWG FOR 120V BRANCH CIRCUITS LONGER THAN 150 FEET. INCREASE CONDUIT SIZE AS REQUIRED. VERIFY EXACT CIRCUIT LENGTH AND SIZE OF CONDUCTORS TO PROVIDE ACCEPTABLE VOLTAGE DROP PER NEC. COMPLY WITH NEC FOR CONDUCTOR DERATING AND CONDUIT FILL.
	CONDUIT STUB
	CONDUIT TURNED DOWN
	CONDUIT TURNED UP
	CONDUIT INSTALLED BELOW GRADE OR BELOW FINISHED FLOOR
	ELECTRICAL CONNECTION TO EQUIPMENT ITEM "E101" (LETTER DESIGNATION AS APPLICABLE) - SEE CORRESPONDING EQUIPMENT CONNECTION SCHEDULE
	DUPLEX RECEPTACLE AT 18" AFF, UNO. NEMA 5-20R.
	SAME AS ABOVE BUT GENERATOR/ALTERNATE POWER SOURCE.
	QUADRUPLEX RECEPTACLE AT 18" AFF, UNO. NEMA 5-20R.
	SAME AS ABOVE BUT GENERATOR/ALTERNATE POWER SOURCE.
	DUPLEX RECEPTACLE - CEILING MOUNTED. NEMA 5-20R.
	DUPLEX RECEPTACLE - FLOOR MOUNTED. NEMA 5-20R.
	SINGLE RECEPTACLE AT 18" AFF, UNO. NEMA 5-20R.
	FOR RECEPTACLES ABOVE, SUBSCRIPT DEFINITION AS FOLLOWS: AC - MOUNTED 8" ABOVE COUNTER CR - CORD REEL GFI - GROUND FAULT CIRCUIT INTERRUPTER DEVICE IG - ISOLATED GROUND TR - TAMPER RESISTANT USB - DEVICE WITH TYPE 'A' & TYPE 'C' USB PORTS WP - UL LISTED WEATHER-RESISTANT (WR) DEVICE WITH WEATHERPROOF WHILE-IN-USE COVER (xx") - MOUNTING HEIGHT OF RECEPTACLE AFF
	SPECIAL PURPOSE RECEPTACLE - HEIGHT AND TYPE AS NOTED ON DRAWINGS
	SURFACE RACEWAY
	JUNCTION BOX - MOUNTING HEIGHT AND SIZE AS REQUIRED BY CODE OR AS NOTED ON DRAWINGS
	VERTICAL SERVICE POLE
	COMBINATION IN FLOOR POWER / DATA / A/V DEVICE.
	PUSHBUTTON
	MOTOR. SEE DRAWINGS FOR DESCRIPTION
	SAFETY DISCONNECT SWITCH. "30" INDICATES AMP RATING. "3P" INDICATES NUMBER OF POLES. "20" INDICATES FUSE SIZE. "1" INDICATES NEMA ENCLOSURE RATING (1, 3R, 4X, ETC). HEAVY DUTY SAFETY SWITCH UNLESS NOTED OTHERWISE. "NF" INDICATES NON-FUSED.
	COMBINATION MOTOR STARTER
	MOTOR STARTER M = MANUAL MOTOR STARTER
	DOOR BELL

DISTRIBUTION SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	ELECTRICAL PANEL, SURFACE MOUNTED.
	ELECTRICAL PANEL, FLUSH MOUNTED.
	TRANSFORMER
	AUTOMATIC TRANSFER SWITCH



LIGHTING & CONTROL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	20A SWITCH AT 44" CL AFF, UNO
	WALL DIMMER FOR SWITCH OR DIMMER ABOVE, SUBSCRIPT DEFINITION AS FOLLOWS: a,b - SWITCHING SCHEME m - MOTOR RATED WITH LOCKOUT BRACKET P - PILOT LIGHT 3 - 3-WAY SWITCH 4 - 4-WAY SWITCH o - OCCUPANCY SENSOR v - VACANCY SENSOR
	OCCUPANCY SENSOR - CEILING MOUNTED
	PHOTOCELL
	DAYLIGHT SENSOR
	INTERIOR LIGHT FIXTURES AS SPECIFIED ON THE LIGHTING FIXTURE SCHEDULE. REFER ALSO TO LIGHTING CIRCUITING GUIDE.
	EXTERIOR LIGHT FIXTURES AS SPECIFIED ON THE LIGHTING FIXTURE SCHEDULE. REFER ALSO TO LIGHTING CIRCUITING GUIDE.
	EMERGENCY LIGHTING UNIT, WITH BATTERY. REFER TO LIGHTING FIXTURE SCHEDULE
	EXIT SIGN. WHERE USED, ARROW INDICATES CHEVRON DIRECTION.
	CEILING FAN
	LIGHT FIXTURE, HALF SHADING INDICATES INTEGRAL EMERGENCY BATTERY. "NL" INDICATES 24/7 OPERATION (UNSWITCHED).

TECHNOLOGY SYMBOL LEGEND	
UNLESS NOTED OTHERWISE ON DRAWINGS, FOR EACH DEVICE BELOW, PROVIDE 2-GANG JUNCTION BOX WITH 1-GANG MUDRING AND 1" CONDUIT WITH PULL CORD TO ABOVE NEAREST ACCESSIBLE CEILING IN CORRIDOR. PROVIDE NYLON BUSHING ON CONDUIT END.	
SYMBOL	DESCRIPTION
	VOICE / DATA ROUGH-IN BOX, AT 18" AFF UNO.
	VOICE / DATA ROUGH-IN BOX, FLOOR-MOUNTED.
	WIRELESS ACCESS POINT. CEILING MOUNTED UNLESS NOTED OTHERWISE ON PLAN. COORDINATE PROVISIONS AND REQUIREMENTS WITH OWNER.
	TELEVISION OUTLET. SINGLE GANG BOX WITH SINGLE GANG PLASTER RING. PROVIDE WITH ADJACENT DUPLEX RECEPTACLE.
	SECURITY CAMERA. COORDINATE REQUIREMENTS WITH OWNER.

LIGHTING FIXTURE SCHEDULE										
MARK	DESCRIPTION	MANUFACTURER	MODEL #	VOLTS	LAMP* OR DRIVER**				MOUNTING	REMARKS
					QTY*	WATTS	LUMENS**	TYPE		
B44	2'x4 RECESSED LED VOLUMETRIC FIXTURE, RIBBED FROSTED ACRYLIC LENS, STEEL HOUSING, GRID MOUNT	HE WILLIAMS (OR EQUAL BY LITHONIA OR METALUX OR PRE-APPROVED EQUAL)	LT-24-L40-8-35-AF-DIM-UNV	MVOLT	-	33	4000	3500K LED	RECESSED-GRID	1
B44E	SAME AS TYPE 'B24' EXCEPT WITH INTEGRAL 10W EMERGENCY BATTERY UNIT, UL924 LISTED	HE WILLIAMS (OR EQUAL BY LITHONIA OR METALUX OR PRE-APPROVED EQUAL)	LT-24-L40-8-35-AF-DIM-UNV-EM/10W	MVOLT	-	33	3900	3500K LED	RECESSED-GRID	1, 5
HB	16" LED HIGH-BAY, 16" CLEAR PRISMATIC REFLECTOR & CLEAR CONICAL LENS, 80 CRI, UNIVERSAL MOUNT (HOOK & CORD WITH 6' WHIP) AND SAFETY CABLE, 0-10V DIMMING	CREE (OR EQUAL BY LITHONIA, LUMARK, HUBBELL, OR PRE-APPROVED EQUAL)	KBL-C-24L-835-MC-12-UV-10V WITH KBL-ACR-16 AND CL16	MVOLT	-	138	24000	3500K LED	HOOK AND CORD	3, 4
EMH	EMERGENCY HIGH-OUTPUT LED FIXTURE, UL924 LISTED, WIDE ANGLE LENS, UV STABILIZED POLYCARBONATE LENS, STEEL HOUSING WITH ALUMINUM FACEPLATE, WHITE FINISH, INTEGRAL BATTERY UL 924 LISTED	SIGNTEX (OR APPROVED EQUAL BY EMERGLITE, CHLORIDE OR LIGHTALARMS)	MHE-AC-40-S-W-WA-PEN-WA	120/277	-	40	6637	4700K LED	PENDANT	3, 5
WPE	LED WALL PACK, FORWARD THROW DISTRIBUTION, SURFACE MOUNT, INTEGRAL SERVICEABLE SURGE PROTECTION DEVICE, BUTTON PHOTOCELL, DARK BRONZE FINISH, UL LISTED FOR WET LOCATIONS WITH INTEGRAL 10W EMERGENCY BATTERY UNIT, UL924 LISTED, COLD WEATHER PACKAGE	HE WILLIAMS (OR EQUAL BY LITHONIA, LUMARK, OR PRE-APPROVED EQUAL)	VWPH-L30-8-40-TFT-DBZ-SDGL-PC-120-EM/10WC	120	-	27	3000	4000K LED	WALL AT 10'-0" AFG UNLESS NOTED OTHERWISE ON DRAWINGS	3, 5
XC	COMBINATION LED EXIT SIGN & EMERGENCY LIGHTING UNIT, WHITE THERMOPLASTIC HOUSING, NI-CAD BATTERY, TWO HEADS, RED STENCIL LED LETTERS, UL924 LISTED, UNIVERSAL MOUNTING, SINGLE FACE WITH EXTRA FACEPLATE & COLOR PANEL, SELF DIAGNOSTIC, WIRE GUARD	HOLOPHANE (OR EQUAL BY SIGNTEX, EMERGLITE, OR PRE-APPROVED EQUAL)	QM LED R ELA WG3	120/277	2	6	-	TWO 1.5W LED HEADS & RED COLOR LED EXIT	WALL MOUNT AT 7'-6" OR BOTTOM OF FIXTURE 6" ABOVE DOOR FRAME, OR CEILING MOUNT, PER PLANS	2

**LIGHTING FIXTURE GENERAL NOTES:**

- PROVIDE DRIVERS AS REQUIRED FOR FIXTURES IN AREAS WHERE 1% MINIMUM 0-10V DIMMING IS INDICATED.
- PROVIDE WITH PROPER MOUNTING HARDWARE FOR CEILING TYPE INDICATED ON PLANS.
- ALL LED FIXTURES SHALL HAVE INTEGRAL SERVICEABLE SURGE PROTECTION DEVICE.

**REMARKS:**

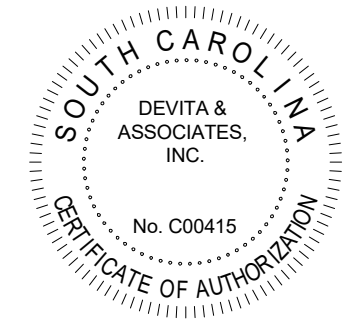
- PROVIDE COMPATIBLE DIMMER FOR FIXTURE WHERE INDICATED ON LIGHTING PLANS.
- FACES, MOUNTING, AND CHEVRONS SHALL BE PER PLANS.
- VERIFY MOUNTING HEIGHT WITH ARCHITECT/OWNER PRIOR TO ROUGH-IN.
- PROVIDE CORD WITH 15A 120V TWIST-LOCK PLUG AND PROVIDE MATCHING TWIST-LOCK RECEPACLE. PROVIDE COMPATIBLE EYE-HANGER FOR HOOK.
- TEST SWITCH AND INDICATOR LIGHT SHALL BE VISIBLE AND ACCESSIBLE WITHOUT ENTERING CEILING CAVITY OR FIXTURE HOUSING/LENS

LIGHTING CIRCUITING GUIDE	
SYMBOL	DESCRIPTION
	LIGHTING TYPE AND CIRCUIT DESIGNATION X: REFER TO PANEL SCHEDULE, PER DRAWING 1: CIRCUIT NUMBER B: LIGHT FIXTURE TYPE, REFER TO LIGHT FIXTURE SCHEDULE
	SWITCHING SCHEME OR ZONE

POWER CIRCUITING GUIDE	
SYMBOL	DESCRIPTION
	POWER CIRCUITING DESIGNATION X: REFER TO PANEL SCHEDULE, PER DRAWING 1: CIRCUIT NUMBER
	DEVICE, JUNCTION BOX, FLOOR BOX, ETC
	EQUIPMENT ABBREVIATION, REFER TO LEGEND AND ABBREVIATION SCHEDULE FOR ADDITIONAL INFORMATION

ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
ACH	ABOVE COUNTER HEIGHT
AL	ALUMINUM
BKR	BREAKER
CU	COPPER
CKT	CIRCUIT
DWG	DRAWING
EC	EMPTY CONDUIT
EF	EXHAUST FAN
EWC	ELECTRIC WATER COOLER
FLA	FULL LOAD AMPS
FU	FUSE
FWE	FURNISHED WITH EQUIPMENT
GC	GENERAL CONTRACTOR
GFI/GFCI	GROUND FAULT INTERRUPTER DEVICE
HPS	HIGH PRESSURE SODIUM
IG	ISOLATED GROUND
LRA	LOCKED ROTOR AMPS
LTG	LIGHTING(L)
MCA	MINIMUM CIRCUIT AMPACITY
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MDP	MAIN DISTRIBUTION PANEL
MFR	MANUFACTURER
MH	METAL HALIDE
MLO	MAIN LUG ONLY
MOCP	MAXIMUM OVERCURRENT CIRCUIT PROTECTION
MSB	MAIN SWITCHBOARD
NL	NIGHT LIGHT
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PH	PHASE
PNL	PANEL
RCPT	RECEPTACLE
REQD	REQUIRED
RTU	ROOFTOP UNIT
SP	SURGE PROTECTED DEVICE
SW	SWITCH
UGND	UNDERGROUND
UH	UNIT HEATER
UNO	UNLESS NOTED OTHERWISE
W/	WATER HEATER
WH	WEATHER PROOF
WP	WEATHER PROOF
XFMR	TRANSFORMER

Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By SMD  
Checked By SLE  
Date 20 DEC 2024

Revisions

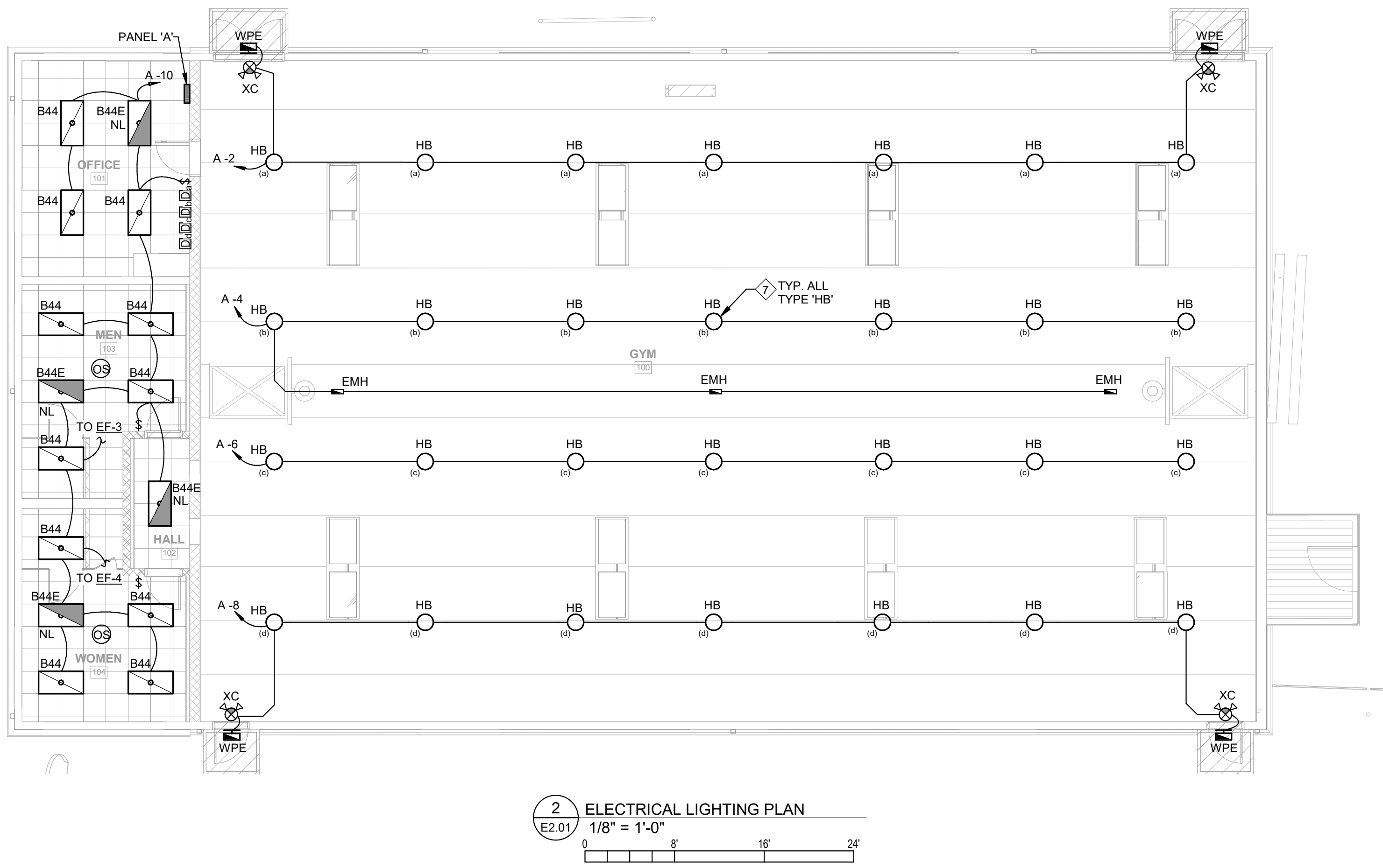
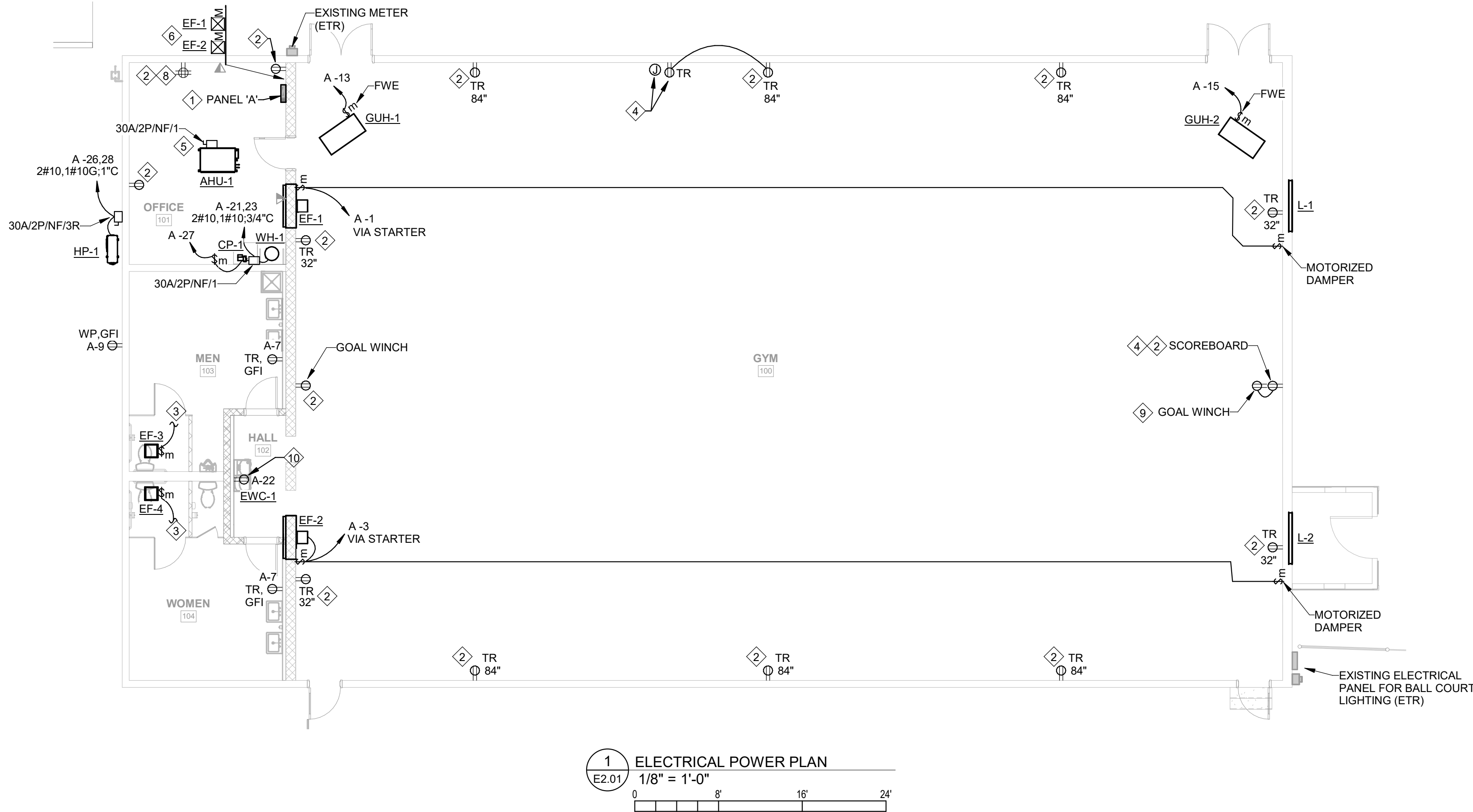
Drawing

**ELECTRICAL  
LEGEND AND  
SCHEDULES**

**E0.01**



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.



#### TRACING AND LABELING SCOPE

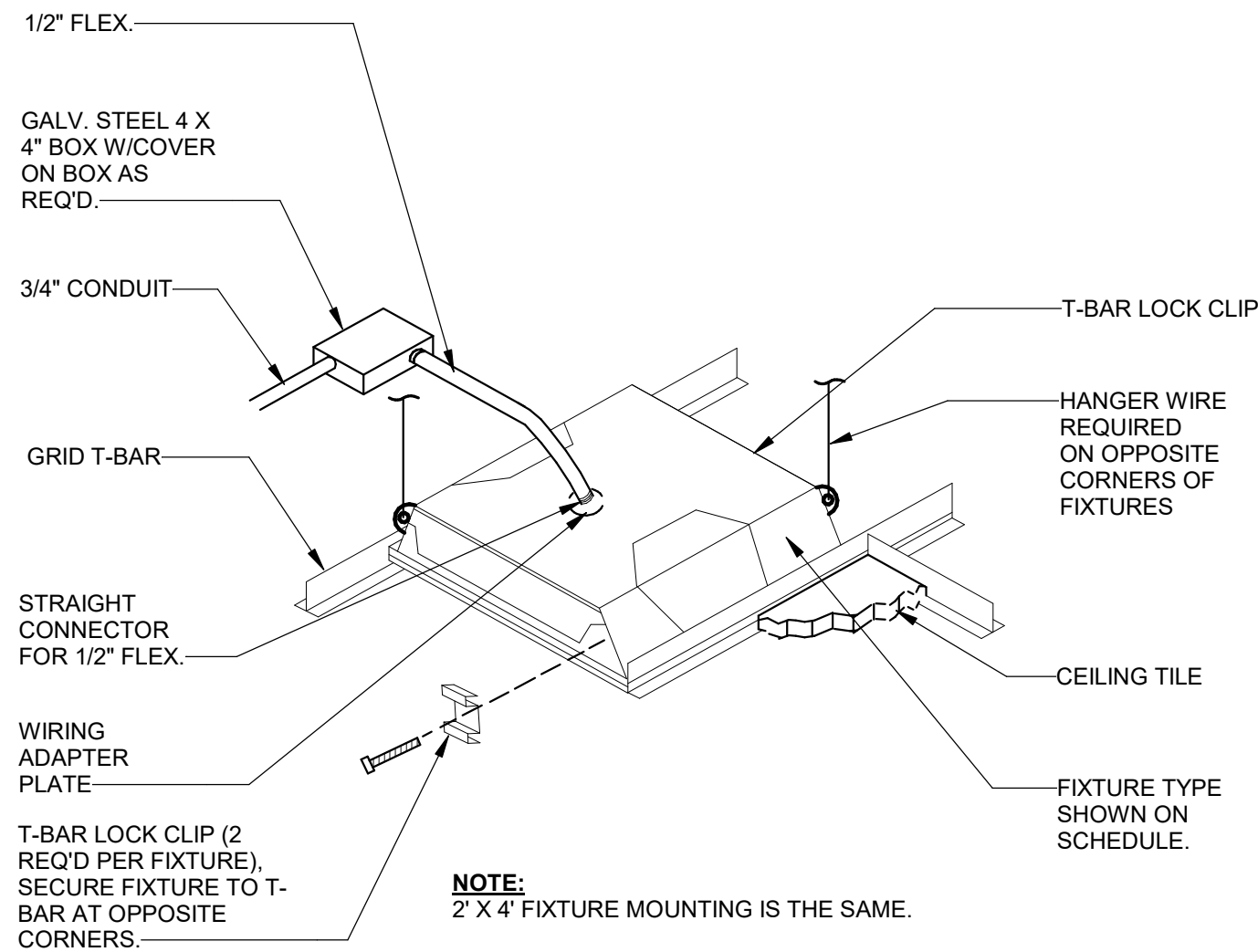
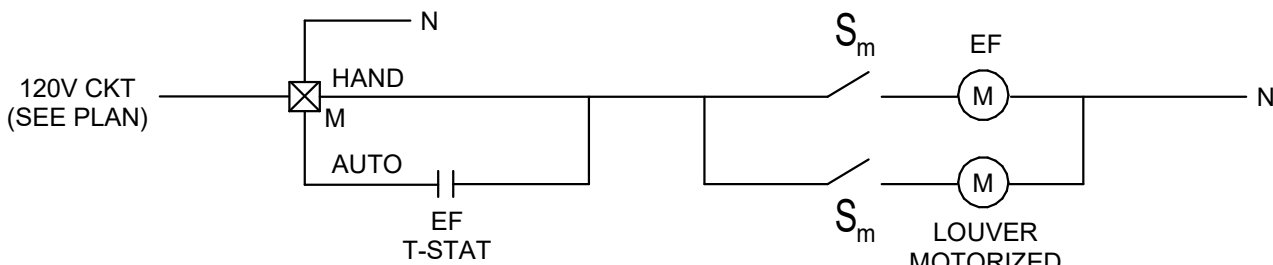
- TRACE ALL EXISTING CIRCUITS IN THE BUILDING TO DETERMINE LOAD AND WHICH CIRCUITS ARE ACTIVE.
- EXTEND AND RECONNECT EXISTING ACTIVE BRANCH CIRCUITS TO NEW PANELBOARDS.
- LABEL ALL DISCONNECTS, WIRING DEVICES, LIGHTING CONTROLS, LV SYSTEM PANELS, AND OTHER EQUIPMENT FED BY AC POWER WITH PANEL/CIRCUIT.
- LABEL ITEMS WHETHER SHOWN OR NOT ON THESE PLANS. FIELD DETERMINE ALL EXISTING ITEMS TO BE LABELED.

#### GENERAL NOTES:

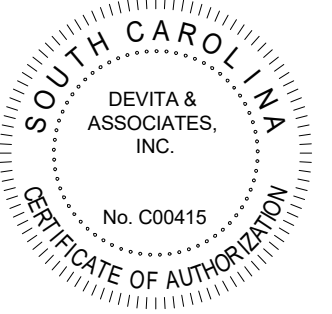
- EMERGENCY LIGHT/EXIT SIGN BATTERIES SHALL BE CONNECTED TO UNSWITCHED HOT CONDUCTOR OF CIRCUIT INDICATED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND HEIGHTS OF ALL FIXTURES.
- REFER TO SHEET E0.01 FOR LIGHTING FIXTURE SCHEDULE.
- DIMMED LIGHTING CIRCUITS SHALL HAVE A DEDICATED NEUTRAL. SHARING OF NEUTRALS IS NOT ALLOWED ON DIMMED CIRCUITS.
- PROVIDE WORKING CLEARANCE AT ALL ELECTRICAL PANELS PER NEC.

#### KEY NOTES:

- MOUNT NEW REPLACEMENT PANEL IN EXISTING LOCATION. RECONNECT ALL EXISTING ACTIVE BRANCH CIRCUITS TO NEW PANEL. CONNECT TO SAME SIZE CIRCUIT AND ON SAME PHASE WHERE PRACTICAL. REFER ALSO TO SINGLE-LINE DIAGRAMS AND PANEL SCHEDULES.
- REPLACE EXISTING RECEPTACLE WITH NEW DEVICE PER SPECIFICATIONS. RECONNECT TO EXISTING CIRCUIT. PROVIDE NEW WALL PLATE SIZED TO COVER HOLE ENTIRELY.
- CIRCUIT EXHAUST FANS WITH LIGHTS.
- PROVIDE RECEPTACLE AT LOCATION OF SCOREBOARD CONTROLLER. INSTALL EXISTING SCOREBOARD CONTROL CABLE IN 1-1/4" CONDUIT FROM SCOREBOARD TO CONTROL LOCATION AND PROVIDE PROPER OUTLET FOR CONTROL CABLE. COORDINATE EXACT REQUIREMENTS AND LOCATION WITH OWNER PRIOR TO ROUGH-IN.
- AHU-1 IS POWERED BY HP-1. PROVIDE DISCONNECT CLEARANCE AS REQUIRED PER NEC 110.26. ALSO, PROVIDE POWER TO CONDENSATE PUMP PER MANUFACTURER'S INSTALLATION.
- MANUAL MOTOR STARTERS FOR EXHAUST FANS. COORDINATE EXACT MOUNTING HEIGHT AND LOCATION WITH OWNER.
- PROVIDE MATCHING TWIST-LOCK RECEPTACLE FOR FIXTURE PLUG.
- PROVIDE NEW BOX TO CONVERT THIS DEVICE TO QUAD RECEPTACLE.
- PROVIDE RECEPTACLE AT LOCATION OF WINCH AND CONNECT TO EXISTING CIRCUIT.
- FEED FROM GFCI BREAKER.



Seal



**DP3**  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



**NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION**

Project Number 23233  
Drawn By SMD  
Checked By SLE  
Date 20 DEC 2024

Revisions

Drawing

**ELECTRICAL  
FLOOR PLANS**

**E2.01**



Copyright : These Drawings are the property of DP3 Architects, Ltd., and reuse on any other project without written permission will result in legal action.

Panel: A										Remarks:	
(EXISTING)										EXISTING PANEL TO BE REPLACED	
Voltage: 120/240 Single										Min SCCR: 10K	
Phases: 1										Mounting: SURFACE	
Wires: 3										Feeder Rating: 200 A	
Enclosure: TYPE 1										Panel Rating: 200 A      Type: MCB	
BRKR	Notes	Circuit Description	CKT	A (VA)		B (VA)		CKT	Circuit Description	Notes	BRKR
20 A	2	DEMO EXHAUST FAN	1	0	0			2	THIRD ROW LIGHTS	DEMO	1 20 A
			3			0	0	4	THIRD ROW LIGHTS	DEMO	1 20 A
20 A	2	DEMO EXHAUST FAN	5	0	0			6	THIRD ROW LIGHTS	DEMO	1 20 A
			7			0	0	8	SECOND ROW LIGHTS	DEMO	1 20 A
20 A	1	DEMO FIRST ROW LIGHTS	9	0	0			10	SECOND ROW LIGHTS	DEMO	1 20 A
20 A	1	DEMO FIRST ROW LIGHTS	11			0	0	12	SECOND ROW LIGHTS	DEMO	1 20 A
20 A	1	DEMO FIRST ROW LIGHTS	13	0	0			14	FOURTH ROW LIGHTS	DEMO	1 20 A
20 A	1	DEMO FURNACE (REAR HEAT)	15			0	0	16	FOURTH ROW LIGHTS	DEMO	1 20 A
20 A	1	RELO SCOREBOARD AND GOAL	17	0	0			18	FOURTH ROW LIGHTS	DEMO	1 20 A
20 A	1	RELO SOUTH WALL RECEPTACLE	19			0	0	20	NORTH WALL RECEPTACLE	RELO	1 20 A
30 A	2	DEMO WATER HEATER	21	0	0			22	WATER COOLER	DEMO	1 20 A
			23			0	0	24	FURNACE & EAST WALL RECEPT.	RELO	1 20 A
20 A	1	RELO,V VERIFY LOAD (LEAVE ON)	25	0	0			26	OVERHEAD LIGHTS IN SHOWER RM	DEMO	1 20 A
--	1	SPACE	27			--	0	28	FURNACE (OFFICE HEAT)	DEMO	1 20 A
--	1	SPACE	29	--	0			30	WEST WALL RECEPTACLE	RELO	1 20 A
--	1	SPACE	31			--	--	32	SPACE		1 --
--	1	SPACE	33	--	--			34	SPACE		1 --
--	1	SPACE	35			--	--	36	SPACE		1 --
--	1	SPACE	37	--	--			38	SPACE		1 --
--	1	SPACE	39			--	--	40	SPACE		1 --
				0 VA		0 VA					
Connected Load		Lighting	HVAC	Motors	Receptacle	Refrig	Kitchen	Misc	PANEL TOTALS:		
Demand Factor					NEC			0 VA	Total Conn. Load: 0 VA		
Demand Load								0 VA	Total Est. Demand: 0 VA		
									Total Conn. Current: 0 A		
									Total Est. Demand... 0 A		

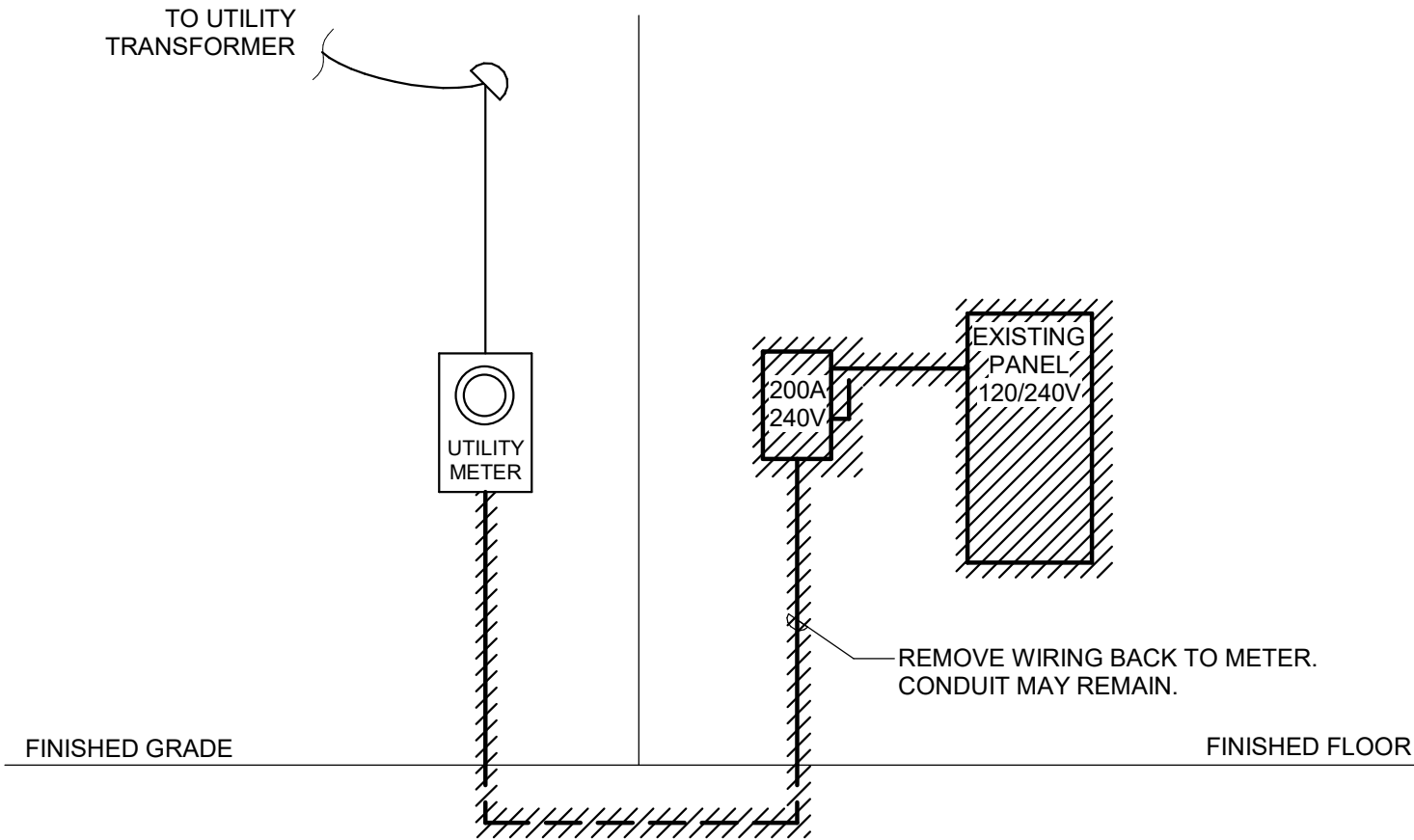
Panel: A										Remarks:			
Voltage: 120/240 Single										Min SCCR: 10K		SERVICE ENTRANCE RATED REPLACEMENT PANEL	
Phases: 1										Mounting: SURFACE			
Wires: 3										Feeder Rating: 200 A			
Enclosure: TYPE 1										Panel Rating: 200 A			
										Type: MCB			
BRKR	Notes	Circuit Description	CKT	A (VA)		B (VA)		CKT	Circuit Description	Notes	BRKR		
20 A	1	EF-1 & L-1	1	1176	1114			2	FIRST ROW LIGHTS		1 20 A		
20 A	1	EF-2 & L-2	3			1176	1070	4	SECOND ROW LIGHTS		1 20 A		
20 A	1	OFFICE RECEPTACLES	5	720	1060			6	THIRD ROW LIGHTS		1 20 A		
20 A	1	RESTROOM RECEPTACLES	7			360	1114	8	FOURTH ROW LIGHTS		1 20 A		
20 A	1	EXTERIOR RECEPTACLE	9	180	798			10	OFFICE AND RR'S LIGHTS		1 20 A		
20 A	1	SPARE	11			0	0	12	SPARE		1 20 A		
20 A	1	GAS UNIT HEATER (GUH-1)	13	1176	0			14	SPARE		1 20 A		
20 A	1	GAS UNIT HEATER (GUH-2)	15			1176	0	16	SPARE		1 20 A		
20 A	1	RECON SCOREBOARD & GOAL	17	540	0			18	SPARE		1 20 A		
20 A	1	RECON SOUTH WALL RECEPTACLE	19			360	360	20	NORTH WALL RECEPTACLE	RECON	1 20 A		
25 A	2	WATER HEATER	21	2250	400			22	WATER COOLER	G	1 20 A		
20 A	1	RECON V VERIFY LOAD	23			2250	720	24	EAST WALL RECEPTACLES	RECON	1 20 A		
20 A	1	CIRCULATION PUMP (CP-1)	25	0	2976			26	HP-1 / AHU-1		2 30 A		
20 A	1	SPARE	27			70	2976	28					
20 A	1	SPARE	29	0	540			30	WEST WALL RECEPTACLES	RECON	1 20 A		
20 A	1	SPARE	31			0	0	32	SPARE		1 20 A		
20 A	1	SPARE	33	0	0			34	SPARE		1 20 A		
--	1	SPACE	35			--	0	36	SPARE		1 20 A		
--	1	SPACE	37	--	0			38	SPARE		1 20 A		
--	1	SPACE	39	--	--	--	--	40	SPACE		1 --		
--	1	SPACE	41	--	--			42	SPACE		1 --		
				12930 VA		11632 VA							
PANEL TOTALS:													
Connected Load		Lighting	HVAC	Motors	Receptacle	Refrig	Kitchen	Misc					
		5108 VA	10704 VA	70 VA	4180 VA			4500 VA					
Demand Factor		125.00%	100.00%	100.00%	NEC			100.00%	Total Conn. Load: 24562 VA				
Demand Load		6385 VA	10704 VA	70 VA	4180 VA			4500 VA	Total Est. Demand: 25839 VA				
									Total Conn. Current: 102 A				
									Total Est. Demand... 108 A				

PANEL NOTES:

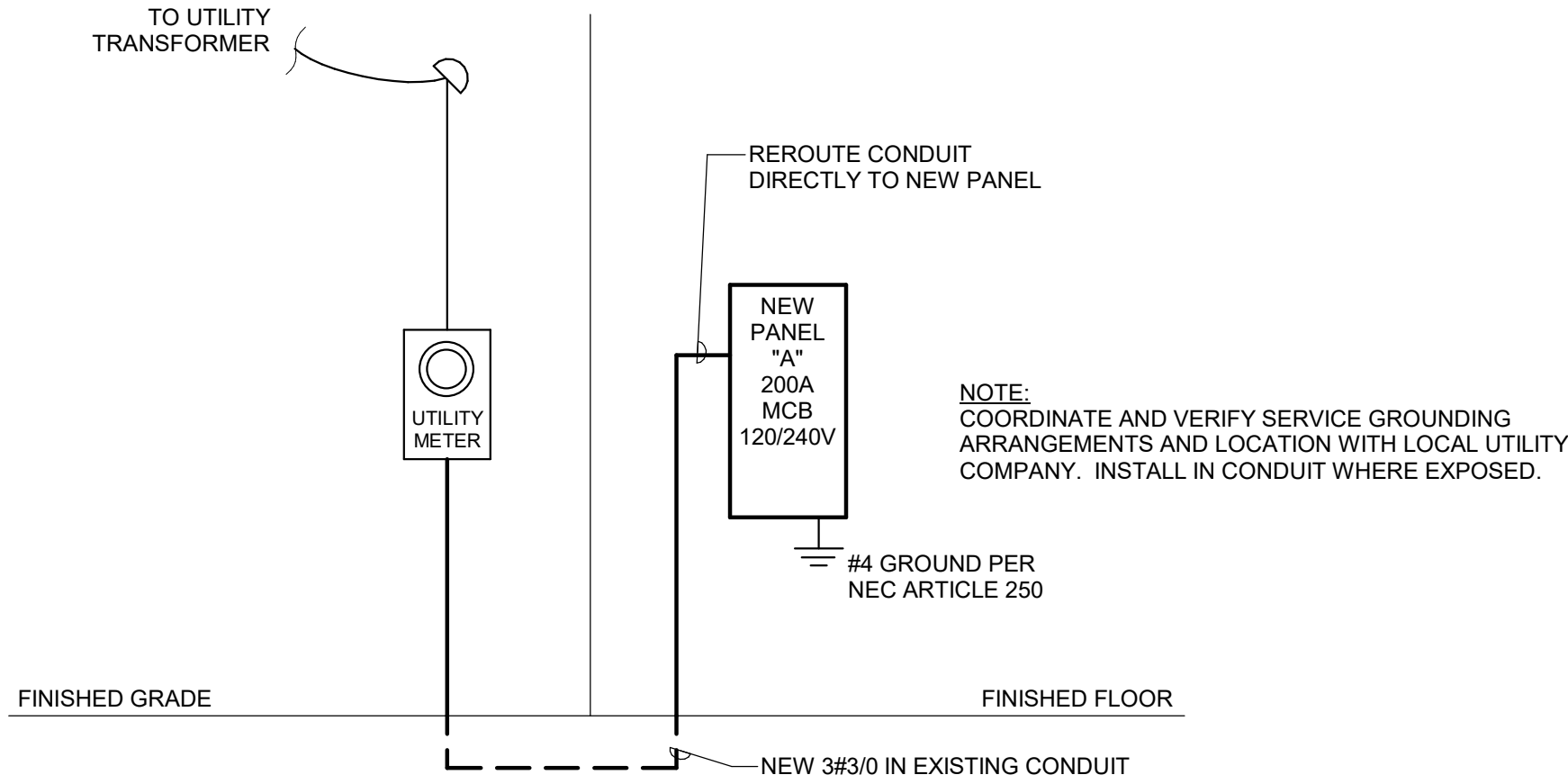
- DEMO - EXISTING CIRCUIT TO BE DEMOLISHED
- RECON - RECONNECT EXISTING CIRCUIT TO THIS LOCATION
- RELO - RELOCATE THIS EXISTING CIRCUIT TO NEW SOURCE
- G - GFCI BREAKER
- V - FIELD VERIFY LOAD CONNECTED AND PROVIDE UNIQUE DESCRIPTION IN CIRCUIT DIRECTORY

HANDLE-TIE NOTES:

- A. WHERE MULTI-WIRE BRANCH CIRCUITS (SINGLE-PHASE HOMERUNS WITH A COMMON NEUTRAL) ARE INSTALLED, THESE CIRCUITS SHALL BE SERVED BY ADJACENT BREAKERS VIA HANDLE TIE. REFER TO NEC 210.4.
- B. EXISTING MULTI-WIRE HOMERUNS THAT ARE RE-FED, RELOCATED, RE-USED OR PARTIALLY RE-USED SHALL BE MODIFIED AS REQUIRED TO MEET THIS CODE REQUIREMENT. RE-LABEL ANY EXISTING DEVICES, CONDUIT, JUNCTION BOXES, ETC. AS REQUIRED TO REFLECT CIRCUIT NUMBER CHANGES.
- C. FOR NEW CIRCUITS, MULTI-WIRE BRANCH CIRCUITS ARE NOT PERMITTED.
- D. CONTRACTOR SHALL FIELD VERIFY ALL ACTUAL CIRCUIT CONDITIONS PRIOR TO ORDERING HANDLE-TIES, AND PROVIDE HANDLE-TIES REQUIRED TO COMPLY WITH THE NEC. FOR BID PURPOSES, INCLUDE (15) HANDLE TIES.
- E. HANDLE-TIES SHALL BE CONSTRUCTED TO FORCE ALL TIED BREAKERS TO SHUT OFF TOGETHER WHEN THE HANDLE OF ANY ONE BREAKER IS MANUALLY MOVED TO THE OFF POSITION, BUT THE HANDLE-TIE SHALL NOT CAUSE COMMON TRIPPING OF ALL BREAKERS WHEN ONE EXPERIENCES AN OVERCURRENT CONDITION.



EXISTING RISER DIAGRAM



PROPOSED RISER DIAGRAM

1 RISER DETAIL  
E5.01 NOT TO SCALE

Seal



DP3  
ARCHITECTS

DP3 Architects, Ltd.  
15 South Main Street, Suite 400  
Greenville, SC 29601  
864.232.8200  
www.DP3architects.com

Project



NEWBERRY COUNTY  
WHITMIRE CITY GYM  
RENOVATION

Project Number 23233  
Drawn By SMD  
Checked By SLE  
Date 20 DEC 2024

Revisions

Drawing

ELECTRICAL RISER  
DIAGRAMS AND  
PANEL SCHEDULES

E5.01