

C

NEWBERRY COUNTY
PO BOX 156 NEWBERRY, SC 29108

POMARIA SCHOOL BUILDING CLASSROOM AND
BREEZEWAY RENOVATIONS

138 FOLK STREET, POMARIA, SC 29126

JL

Since 1980

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PO BOX 156 NEWBERRY, SC 29108

NAME:
POMARIA SCHOOL BUILDING
CLASSROOM AND BREEZEWAY
RENOVATIONS

LOCATION:
138 FOLK STREET, POMARIA, SC 29126

GENERAL NOTES:

THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS SHALL BE REQUIRED TO VISIT THE PREMISES TO INSPECT EXISTING CONDITIONS, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE DRAWINGS.

ALL WORK PERFORMED SHALL BE IN STRICT COMPLIANCE WITH COUNTY REGULATIONS AND CODES, O.S.H.A. STANDARDS, THE CODE STANDARDS LISTED, EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS, AND CONFORM TO SPECIFIC REGULATIONS AS MANDATED BY THE OWNER AND THE ARCHITECT.

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THE

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THE PROCUREMENT OF ALL REQUIRED AND NECESSARY PERMITS. ALL CONTRACTORS SHALL OBTAIN NECESSARY AND APPLICABLE, CITY/COUNTY PERMITS, INSPECTIONS AND APPROVAL PRIOR TO THE COMMENCEMENT OF ANY WORK AND CERTIFICATE OF OCCUPANCY UPON COMPLETION OF PROJECT. CONTRACTOR SHALL FURNISH COPIES OF PERMITS, INSPECTIONS AND CERTIFICATES TO OWNER UPON REQUEST.

CONTRACTOR SHALL BE REQUIRED TO COORDINATE WORK SCHEDULE TO MINIMIZE DISRUPTION OF NORMAL ACTIVITIES AND TO AVOID INTERFERENCE WITH ADJACENT OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS TO PROTECT SURROUNDINGS, MATERIALS AND EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION AREAS AND OCCUPIED OR PUBLIC AREAS TO BE MAINTAINED BY CONTRACTOR. DAMAGE TO EXISTING-TO-REMAIN CONSTRUCTION,

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TRASH AND DEBRIS FROM JOB SITE ON A DAILY BASIS. FINAL CLEAN UP WITHIN SCOPE OF WORK.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL RELATED TRADES AND VENDORS NECESSARY TO THE COMPLETION OF THE JOB ON A

DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT TO ARCHITECT ANY

ALL WORK SHALL BE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE, GENERAL

CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION OF NATIONAL ELECTRIC CODE, INTERNATIONAL PLUMBING, AND MECHANICAL CODE, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURERS

THE DESIGN PROFESSIONAL DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT

THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN HEREON ARE

THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN HEREON ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND ACTUAL LOCATION OF SUCH, WHETHER SHOWN HEREON OR NOT, PRIOR TO ANY EXCAVATION. ANY DAMAGES SHALL BE REPAIRED AT THE EXPENSE OF THE

THE FLOOR ON BOTH SIDES OF A DOOR SHALL BE LEVEL AND SHALL HAVE THE SAME

ELEVATION ON BOTH SIDES OF THE DOOR, FOR A DISTANCE ON EACH SIDE EQUAL TO THE WIDTH OF THE WIDEST SINGLE DOOR.

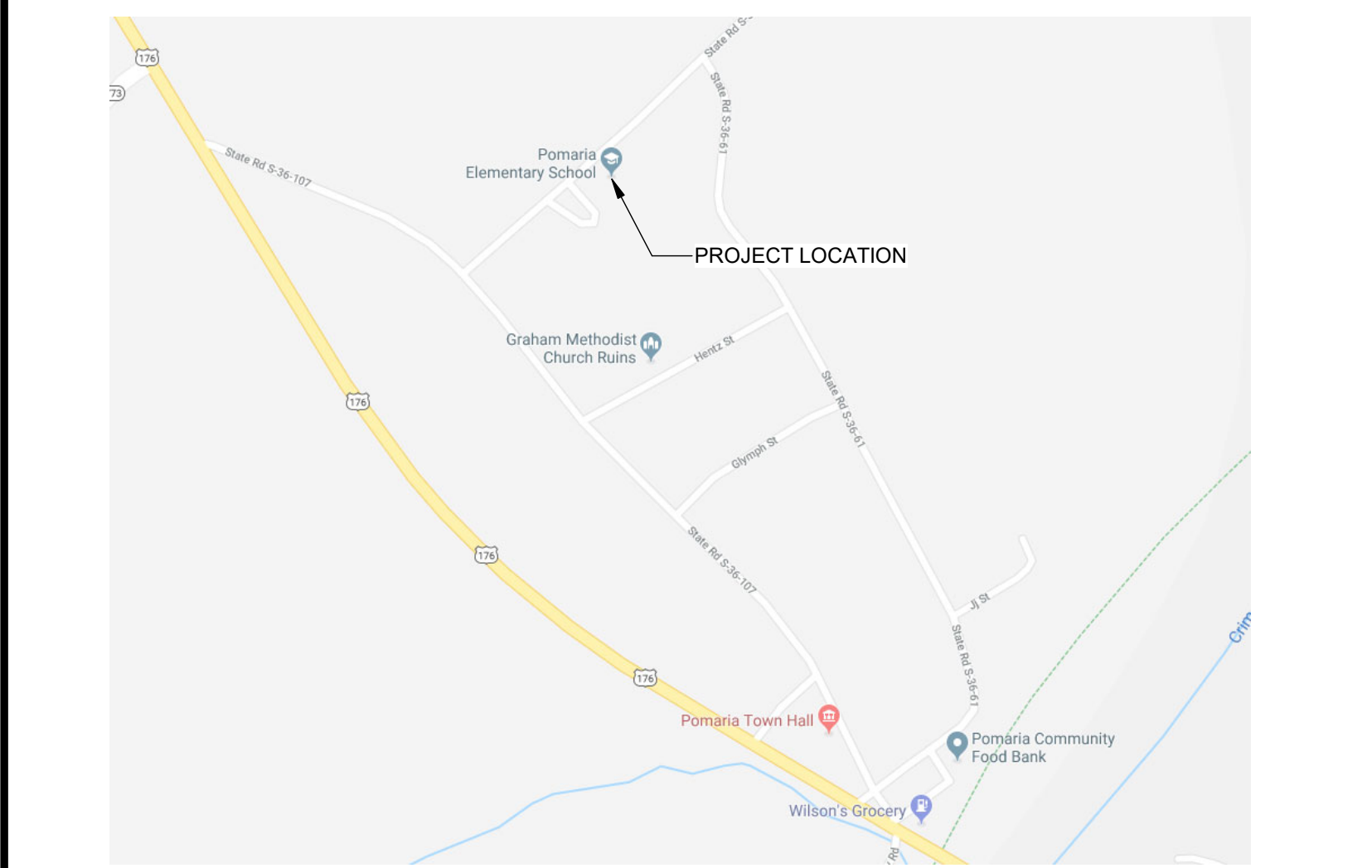
FIRE EXTINGUISHERS SHALL BE LOCATED PER THE REQUIREMENTS OF NFPA 10. THE SIZE SHALL BE A MINIMUM OF 2 A 10 BC 1 AND SHALL BE INSTALLED AT A MAXIMUM OF 48" A.F.F. TO THE TOP OF THE HANDLE.

PROVIDE CONT. SOLID BLOCKING, AS REQUIRED, IN WALLS TO RECEIVE ACCESSORY ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

A HANDRAILS
TOILET ROOM ACCESSORIES
GRAB BARS
FIRE EXTINGUISHER CABINETS & BRACKETS

CLEAN WALLS, DOORS, DOOR FRAMES, HANDRAILS, GUARDRAILS, ETC. PER

PROJECT LOCATION MAP



PROJECT TEAM	
--------------	--

OWNER

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EMAIL: pomariasc@gmail.com

OWNER'S REP

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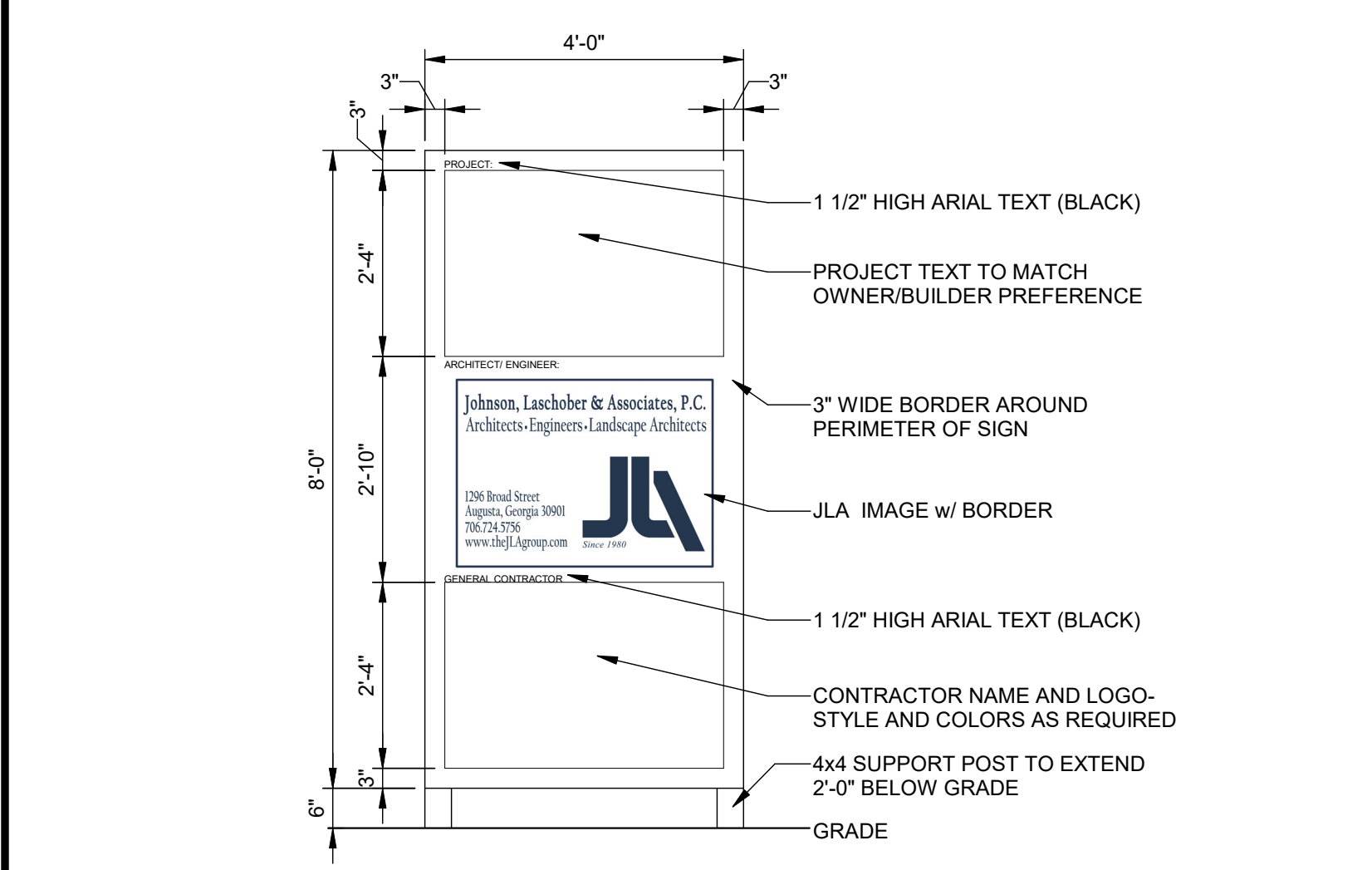
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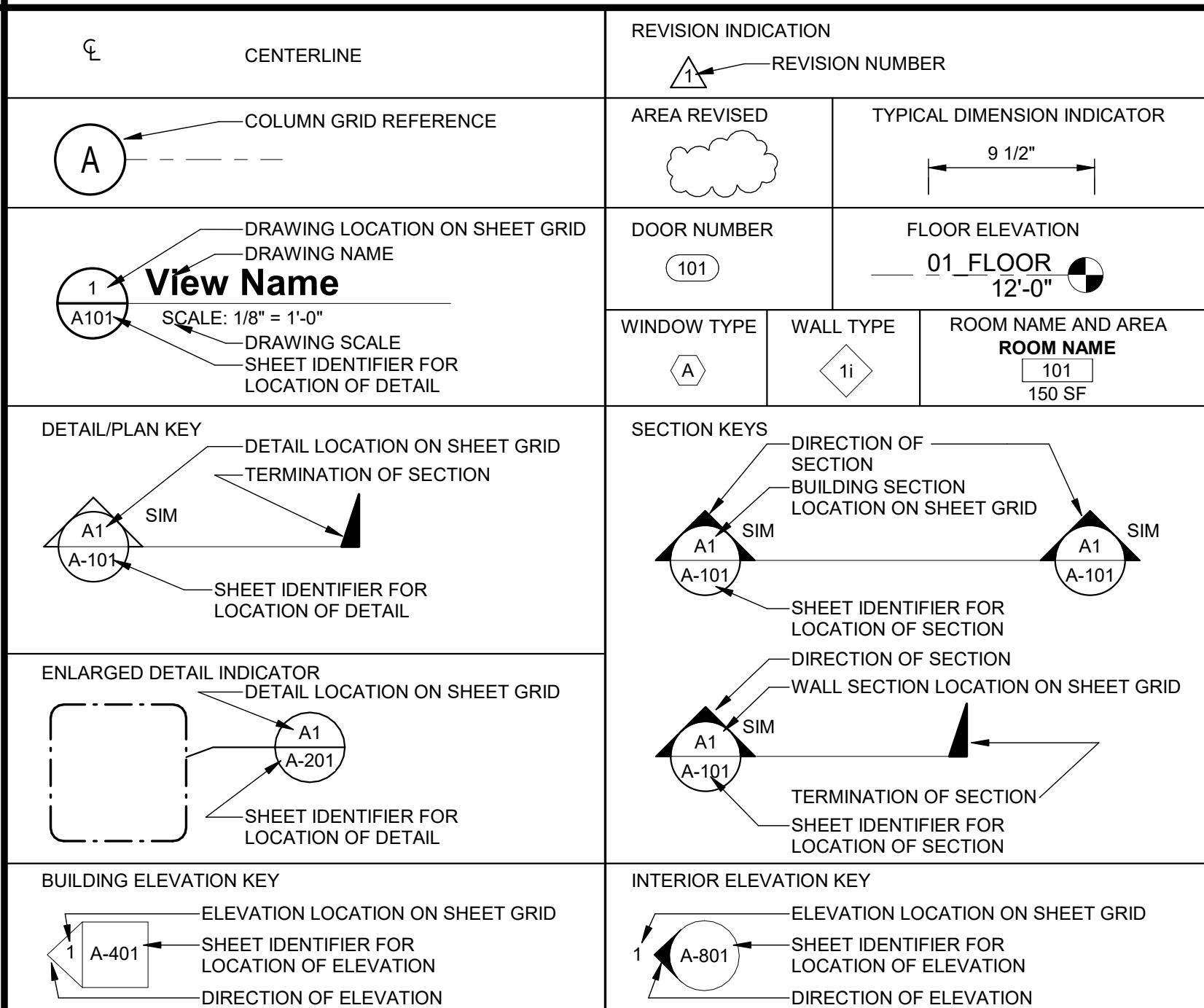
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JOB SITE SIGN



GRAPHIC SYMBOLS



INDEX OF DRAWINGS

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CLIENT: NEWBERRY COUNTY
PO BOX 156 NEWBERRY, SC 29108

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CLASSROOM AND BREEZEWAY
RENOVATIONS

PROJECT LOCATION: 138 FOLK STREET, POMARIA, SC 29126

02/27/2025

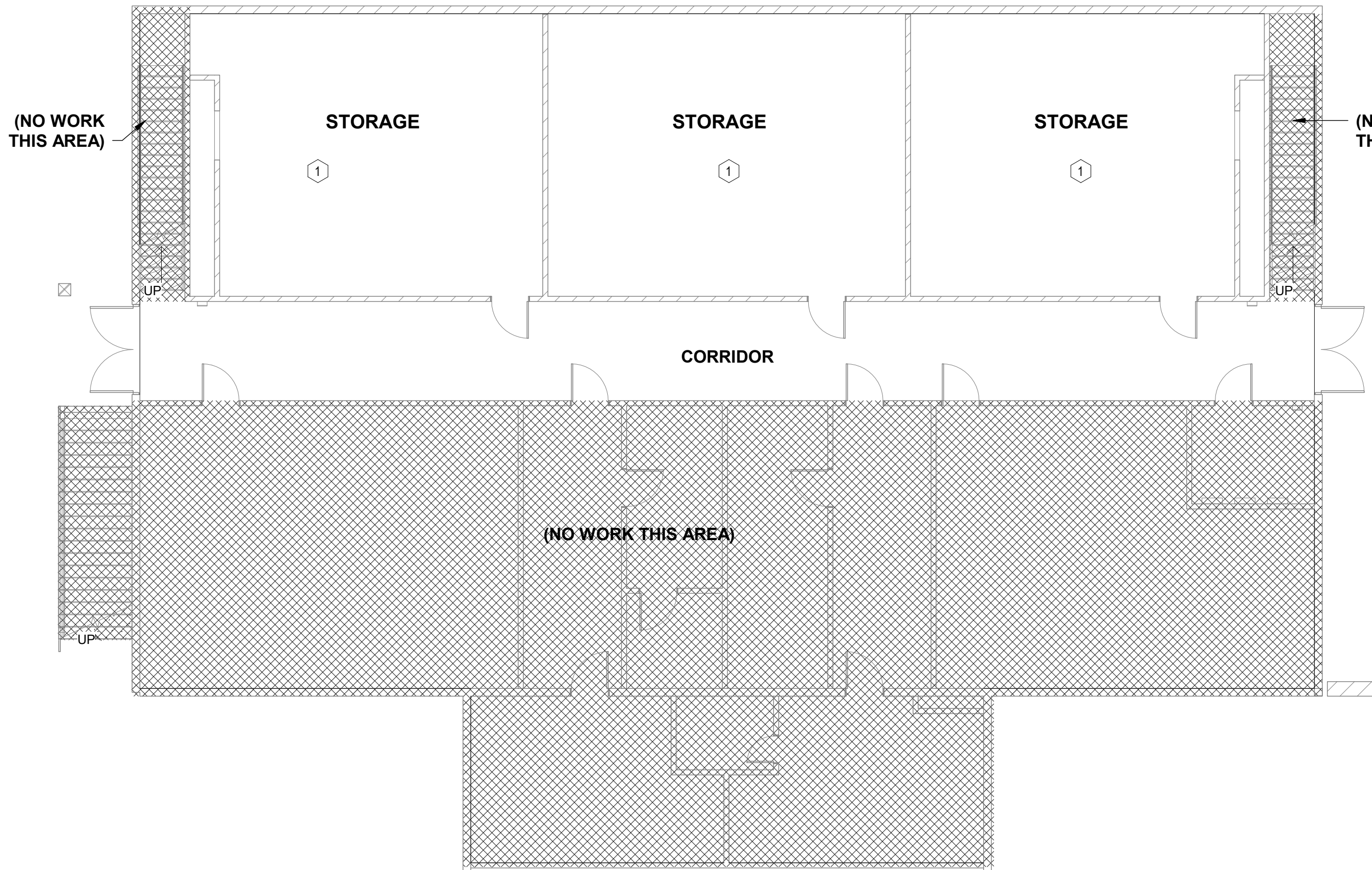
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No. C00078

CERTIFICATE OF AUTHORIZATION

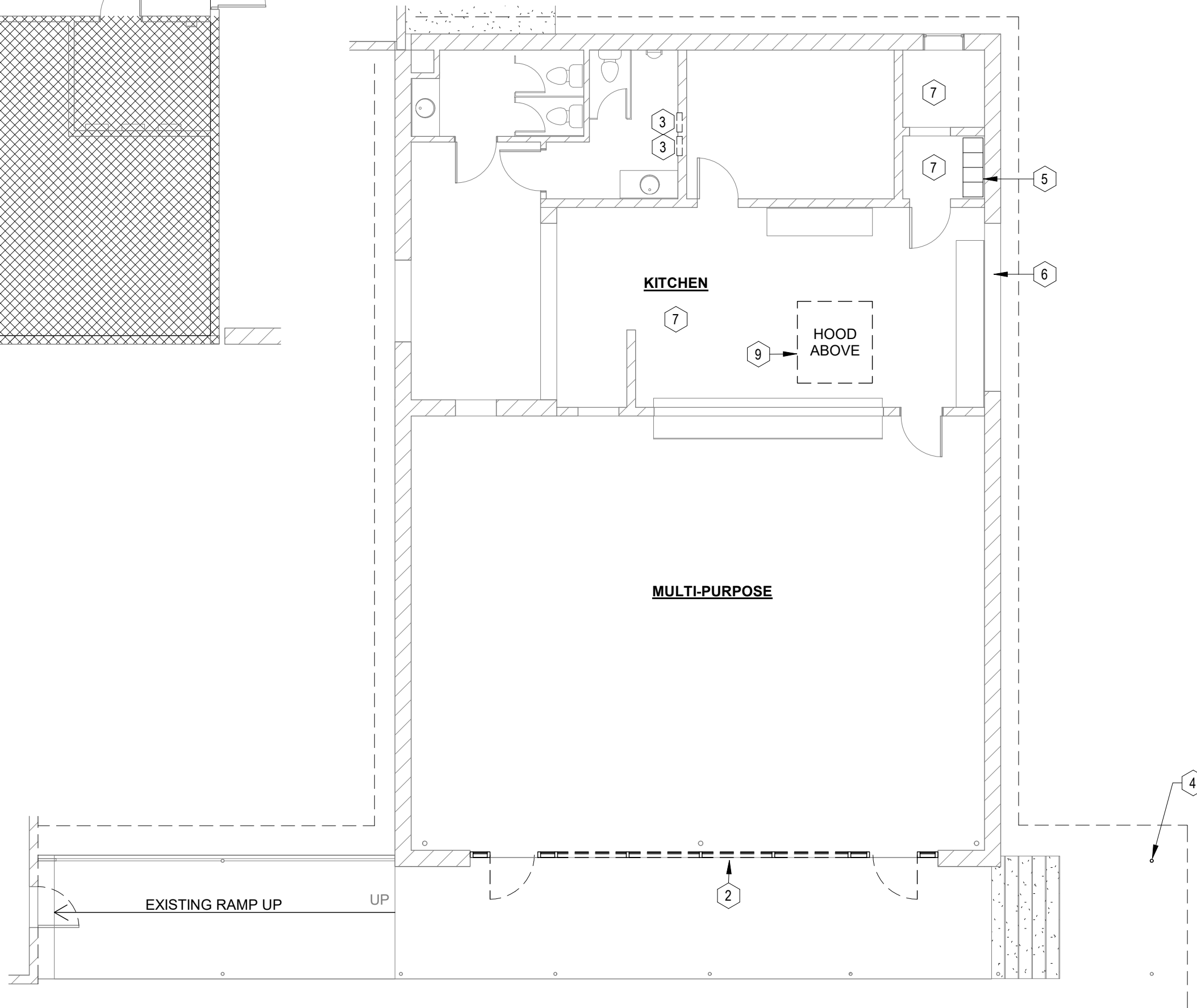
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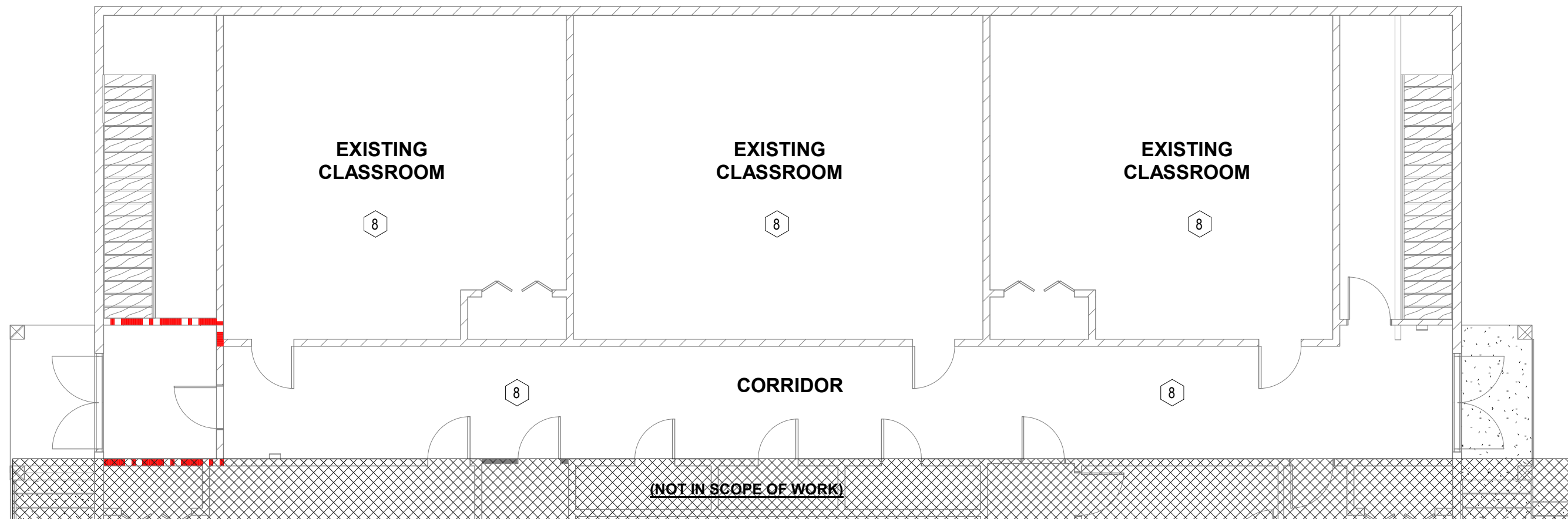
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REV. 09/10/2024 JAP



1
A-001
DEMOLITION PLAN - CLASSROOM BUILDING BASEMENT
SCALE: 1/8" = 1'-0"



3
A-001
DEMOLITION PLAN - CAFETERIA BUILDING
SCALE: 1/8" = 1'-0"



2
A-001
DEMOLITION PLAN - FIRST FLOOR REAR CLASSROOMS
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

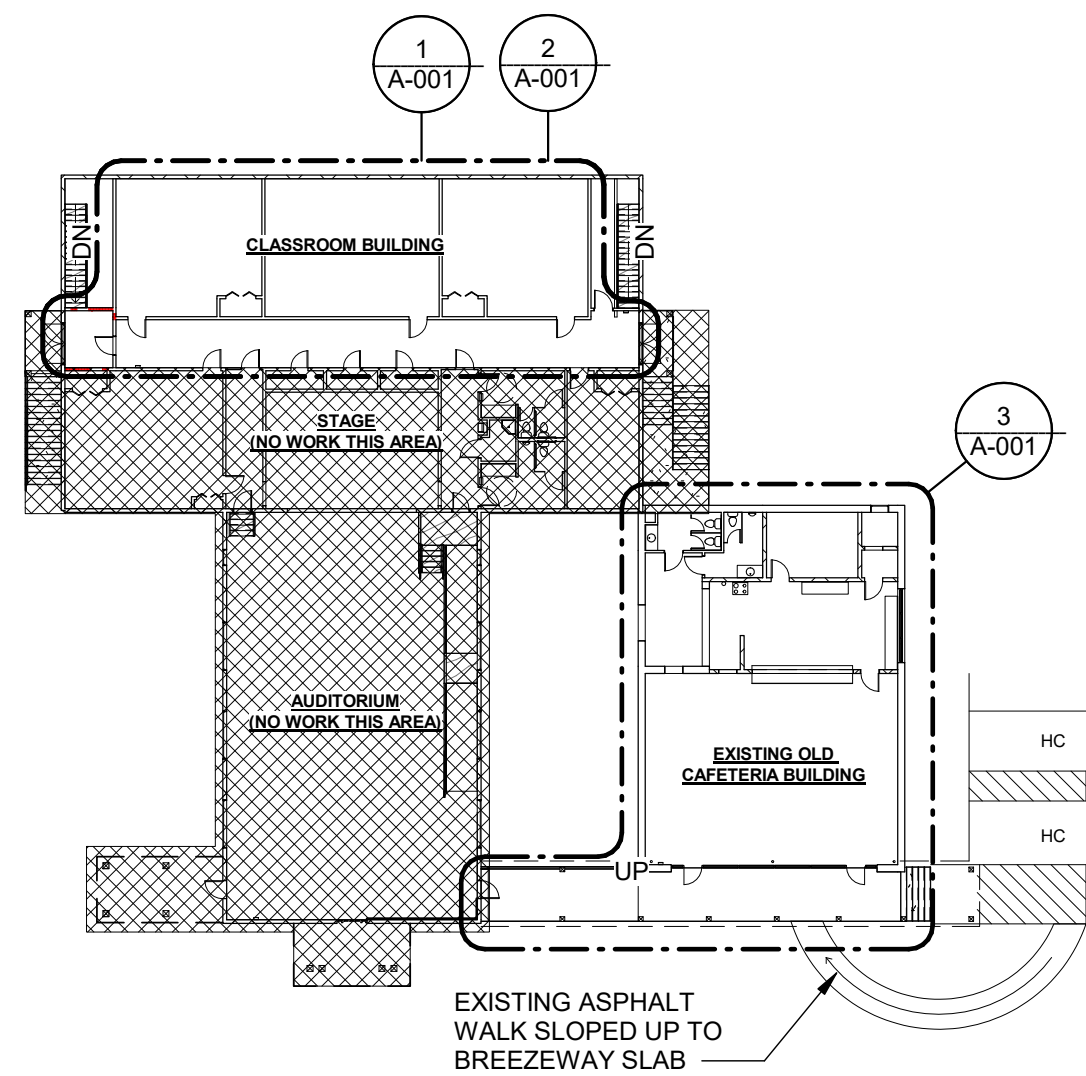
1. THE SCOPE OF THE DEMOLITION WORK INCLUDES THE FOLLOWING (UNLESS SPECIFICALLY INDICATED OTHERWISE):
2. EXISTING DRAWINGS ARE INCLUDED TO PROVIDE A REFERENCE AND A BASE TO DESCRIBE THE WORK TO BE PERFORMED.
3. THE OWNER MAY OCCUPY THE BUILDING OR A PORTION OF THE BUILDING DURING THE CONSTRUCTION PHASE OF THIS PROJECT. CONTRACTOR WILL COORDINATE WITH OWNER DURING ALL PHASES OF DEMOLITION AND NEW CONSTRUCTION.
4. CONTRACTOR TO COORDINATE WORK SO AS TO NOT INTERFERE WITH OWNER SCHEDULED EVENTS.
5. PROTECT SIDEWALKS AND ENTRY ACCESS POINTS TO THE BUILDING TO MAINTAIN SAFE ACCESS AND EGRESS TO AND FROM THE BUILDING.
6. REMOVE EXISTING FINISHED FLOOR IN DESIGNATED BASEMENT CLASSROOMS TO SLAB BELOW.
7. ALL ABANDONED, NONESSENTIAL OR OTHERWISE NOT SPECIFICALLY SHOWN TO BE REUSED, MECHANICAL, PLUMBING OR ELECTRICAL UTILITIES THAT ARE EXPOSED AFTER REMOVAL, ARE TO BE REMOVED AND CAPPED AT POINT OF ORIGIN. CONSULT ARCHITECT IF QUESTIONS ARISE AS TO WHETHER A SERVICE IS TO BE ABANDONED OR IS TO REMAIN.
8. ALL EXISTING UTILITY SERVICE LINES IN RENOVATED AREAS SHALL CONNECT TO NEW SERVICE LINES OR BE REMOVED AND CAPPED OFF AS REQUIRED. REMOVE AND CAP OFF ALL ABANDONED CONDUIT ON OR BEHIND FINISH WALL SURFACES OR BELOW FLOORS WHICH ARE EXPOSED DURING THE WORK.
9. ALL EXPOSED MATERIALS INCLUDED, BUT NOT LIMITED TO, CONCRETE, MASONRY, AND TILE WILL BE CUT IN STRAIGHT LINES PLUMB OR LEVEL USING CONCRETE SAWS, SCORING KNIVES OR OTHER APPROPRIATE TOOLS AS REQUIRED TO GIVE SMOOTH CLEAN EDGES. IRREGULARITIES IN EXPOSED SURFACES OR SURFACES TO BE REFINISHED SHALL BE GROUND SMOOTH OR FILLED FLUSH.
10. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE REGULAR DAILY REMOVAL OF ALL WASTE MATERIAL FROM THE PROJECT SITE AND BE RESPONSIBLE FOR KEEPING ALL AREAS CLEAN.
11. SALVAGE: THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND ITEMS TO BE REMOVED. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER WHEN DEMOLITION IS ABOUT TO BEGIN AND CONDUCT A SURVEY WITH THE OWNER TO IDENTIFY THOSE ITEMS TO BE SALVAGED. ITEMS IDENTIFIED BY THE OWNER TO BE SALVAGED AND TURNED OVER TO THE OWNER ARE TO BE REMOVED BY THE GENERAL CONTRACTOR AND DELIVERED TO A MUTUALLY AGREED LOCATION.
12. EXTERIOR DOORS AND WINDOWS THAT ARE TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION ACTIVITIES.

DEMOLITION KEYNOTES

- 1 REMOVE EXISTING WOOD FLOOR, SUBFLOOR, BASEBOARDS & ANY SLEEPER BOARDS EMBEDDED IN CONCRETE. FILL GROOVES IN CONCRETE SLAB WHERE SLEEPERS WERE REMOVED w/ NEW 3000 psi CONCRETE TO FORM A LEVEL CONCRETE SLAB.
- 2 REMOVE EXISTING HOLLOW METAL WINDOWS AND DOORS
- 3 REMOVE DISCONNECTED ELECTRICAL SERVICE AND BRANCHWIRING AND WALL CABINETS COMPLETE.
- 4 REMOVE EXISTING DAMAGED / BENT PIPE COLUMN. PROVIDE TEMPORARY SHORING. REPLACE WITH NEW PIPE COLUMN BASE PLATE AND TOP PLATE TO MATCH EXISTING.
- 5 REMOVE EXISTING LOCKER CASEWORK
- 6 REMOVE EXISTING STEEL WINDOW. PREPARE OPENING FOR NEW STOREFRONT WINDOW.
- 7 REMOVE EXISTING FLOOR COVERING. PREPARE SUBFLOOR FOR NEW FINISHED FLOOR.
- 8 REMOVE EXISTING ACT TILES ONLY. GRID TO REMAIN.
- 9 REMOVE EXISTING ABANDONED HOOD AND CAP OFF AND SEAL DUCTWORK BELOW ROOF. ROOFTOP EXHAUST FAN TO REMAIN AND BE ABANDONED IN PLACE.

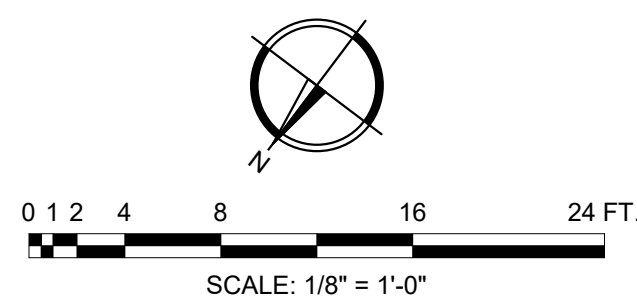
DEMOLITION KEY

- WALLS TO BE DEMOLISHED
— WALLS TO REMAIN



FIRST FLOOR KEY PLAN

SCALE: 1/32" = 1'-0"



CLIENT: COUNTY OF NEWBERRY
1309 COLLEGE STREET, NEWBERRY, SC 29108

PROJECT NAME:

**OLD POMARIA SCHOOL
CLASSROOM AND BREEZEWAY
RENOVATIONS**

PROJECT LOCATION: 138 FOLK STREET, POMARIA, SC



REV	DATE	BY	DESCRIPTION
C	02/27/25	WLD	ISSUED FOR PERMIT / BID
B	11/15/24	WLD	ISSUED FOR FINAL OWNER REVIEW
A	09/17/24	WLD	ISSUED FOR OWNER REVIEW

PROJECT NO. 3606.2401

DRAWN BY: CTH

CHECKED BY: WLD

DATE: 09/10/2024

SHEET TITLE:

DEMOLITION PLAN

SCALE AS NOTED

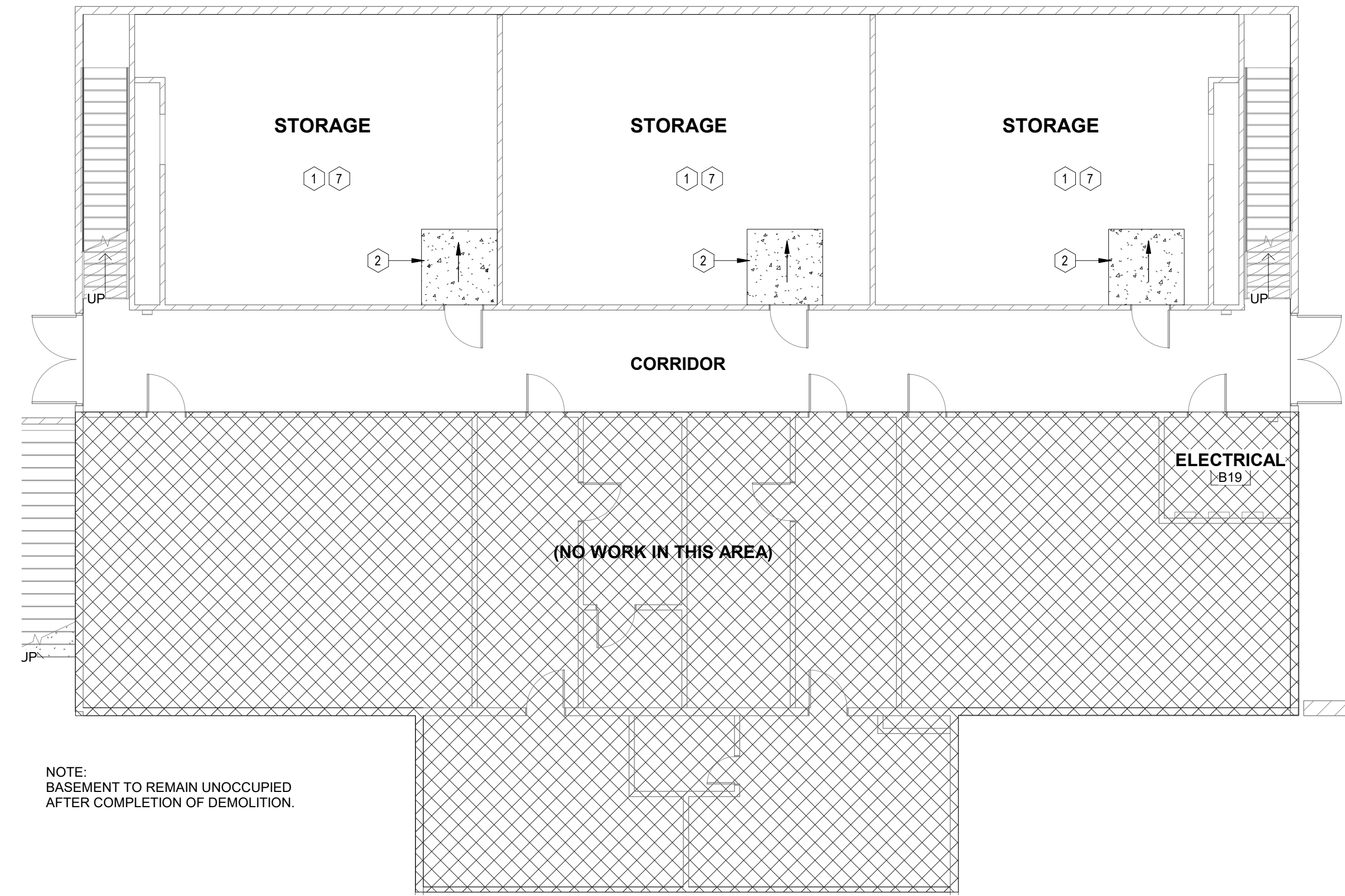
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A-001

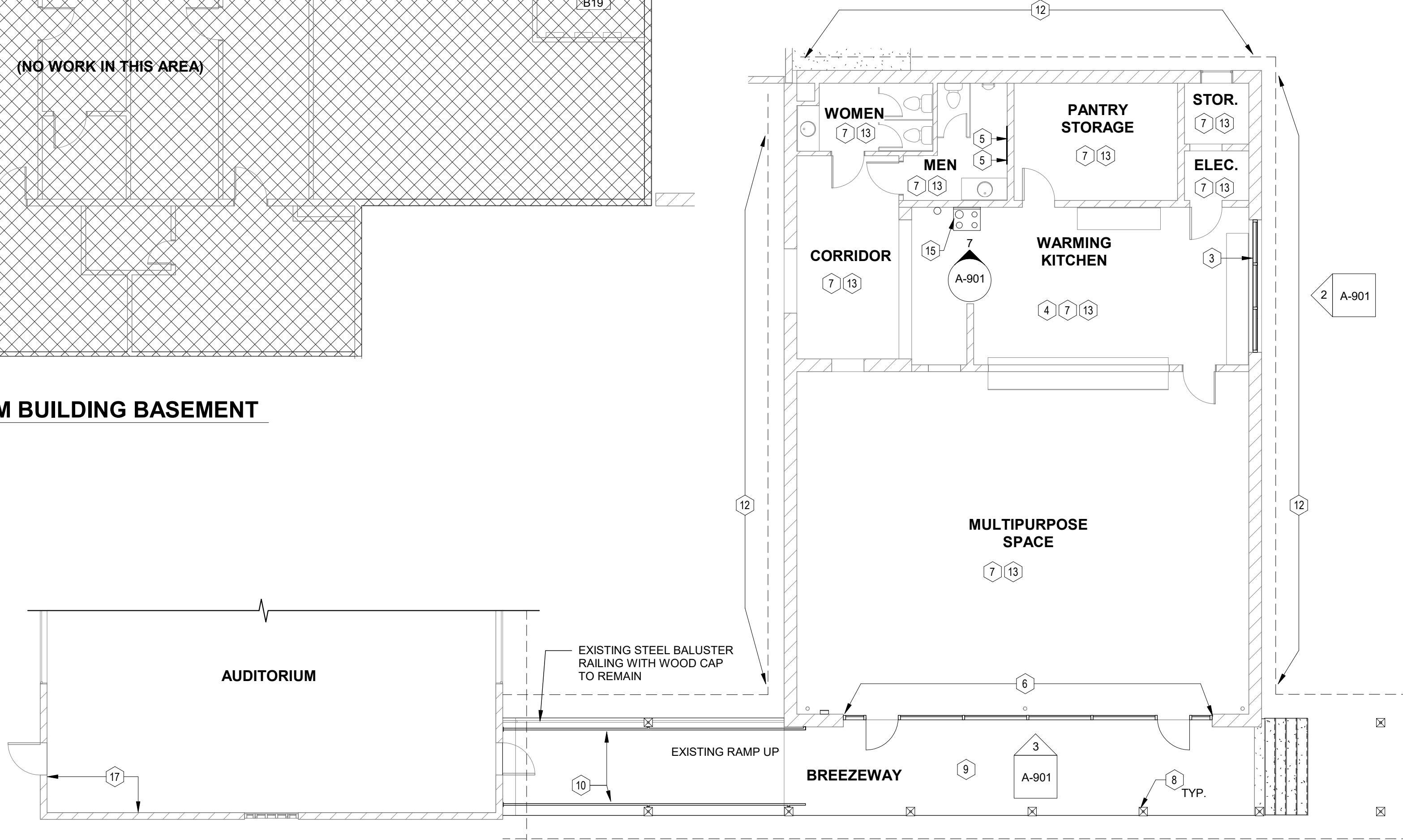
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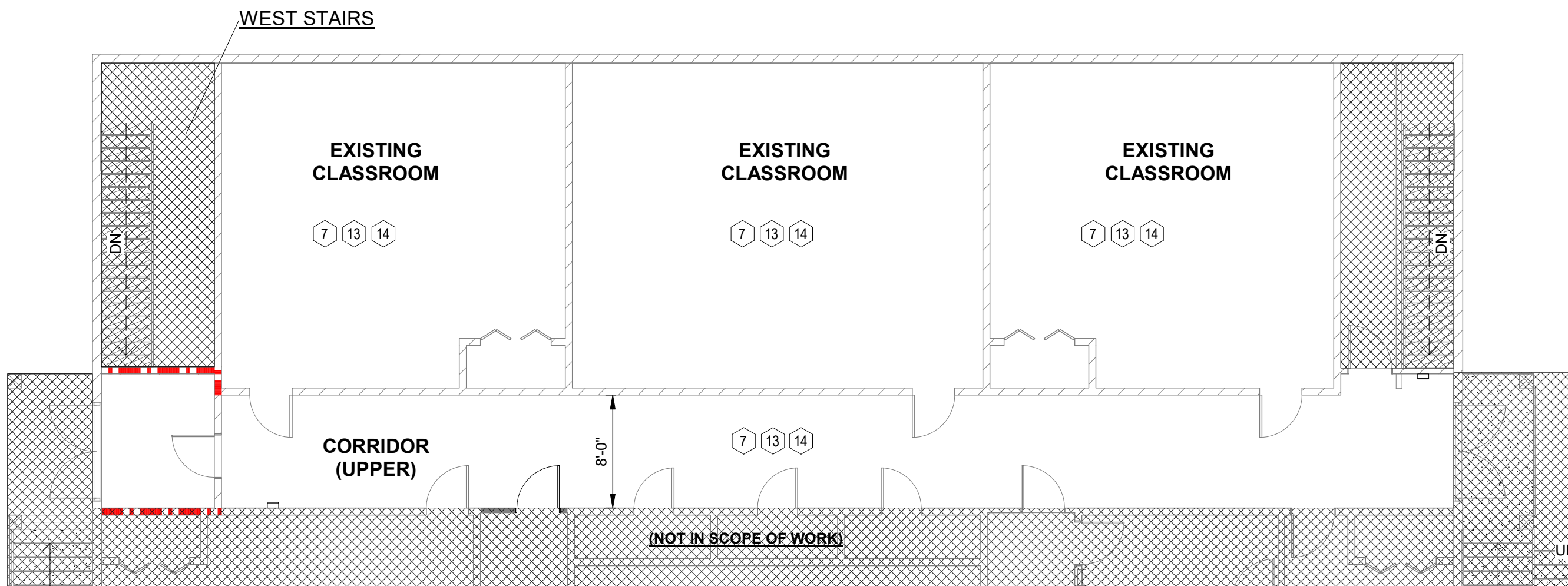
F
E
D
C
B
A



1
A-101
PROPOSED PLAN - CLASSROOM BUILDING BASEMENT
SCALE: 1/8" = 1'-0"



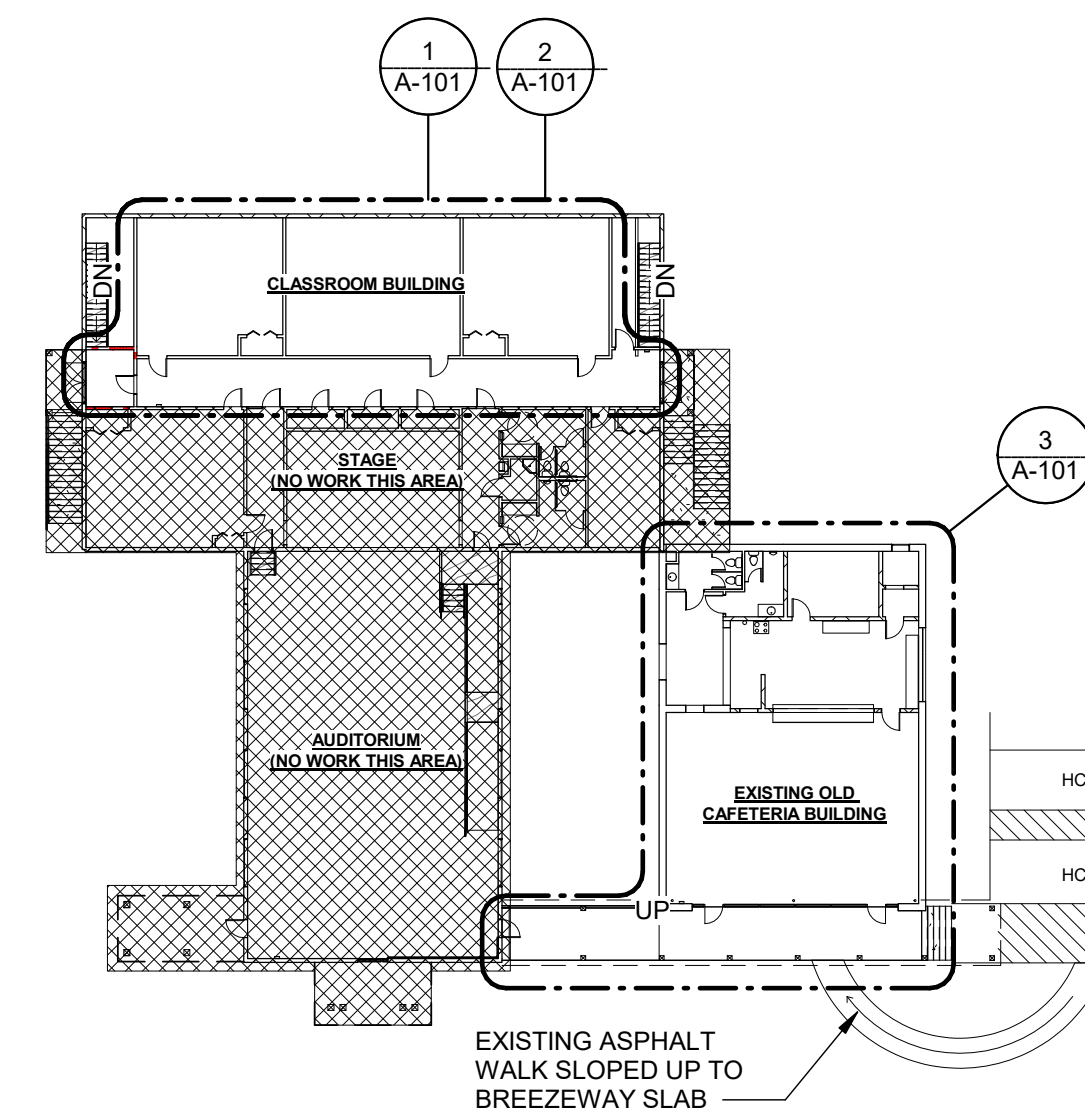
3
A-101
PROPOSED PARTIAL PLAN - CAFETERIA BUILDING
SCALE: 1/8" = 1'-0"



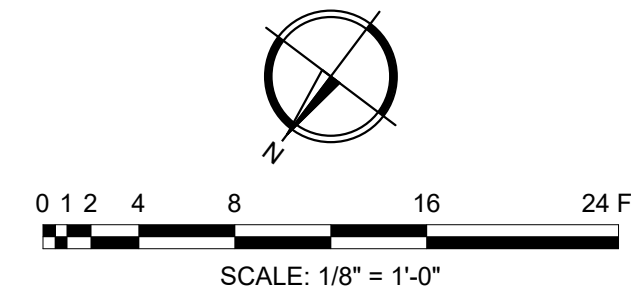
2
A-101
PROPOSED PLAN - FIRST FLOOR REAR CLASSROOMS
SCALE: 1/8" = 1'-0"

CONSTRUCTION KEYNOTES

- 1 PATCH CONCRETE AT REMOVED FLUSH SLEEPER FLOOR NAILERS w/ 3000 PSI CONCRETE. PATCH ANY HOLES OR CRACKS. SEAL CONCRETE.
- 2 NEW CONCRETE RAMP TRANSITION FROM CLASSROOM TO CORRIDOR. MAXIMUM ALLOWED SLOPE 1:12. RAMP TO BE SLOPED ON 3 SIDES AND 1'-0" WIDER THAN DOOR IN BOTH DIRECTIONS.
- 3 NEW ALUMINUM STOREFRONT IN EXISTING MASONRY OPENING. PROVIDE KAWNEER 451T w/ 1" INSULATED GLAZING. COLOR TO BE WHITE. SEE DETAIL SHEET A-901.
- 4 NEW FINISHED FLOORING TO MATCH EXISTING LVT IN MULTIPURPOSE SPACE. SHAW CONTRACT, TERRAIN II (20 MIL), OR APPROVED EQUAL.
- 5 PATCH AND REPAIR WALL FINISH AT REMOVED ELECTRICAL PANEL CABINETS, CASEWORK AND TRIM.
- 6 NEW ALUMINUM STOREFRONT w/ ENTRY SYSTEM. SEE DETAILS AND ELEVATIONS ON A-901.
- 7 PROVIDE NEW LIGHTING. SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
- 8 BOX IN ALL COLUMNS PER DETAILS ON A-901.
- 9 COVER EXISTING STEEL CANOPY STRUCTURE AND UNDERSIDE OF CORRUGATED METAL ROOF WITH VINYL SOFFIT AND TRIM. ALL COMPONENTS TO BE WHITE. SEE 4/A-901 FOR DETAILS.
- 10 PROVIDE SLAB-MOUNTED STEEL PIPE HANDRAIL AT EXISTING BREEZEWAY RAMP.
- 11 REPLACE ALL GUTTERS AND DOWNSPOUTS AT BREEZEWAY CANOPY.
- 12 INSTALL VINYL PANEL SOFFITS AND TRIM AT EXISTING CAFETERIA ROOF OVERHANGS PER TYPICAL DETAIL TO MATCH AUDITORIUM BUILDING. DOWNSPOUTS AND GUTTERS TO REMAIN.
- 13 PATCH AND REPAIR WALLS AS REQUIRED TO LIKE NEW FINISH. FINISH PAINT WALLS.
- 14 SAND AND REFINISH EXISTING HARDWOOD FLOORS.
- 15 PROVIDE WALL MOUNTED, RECIRCULATING RANGE HOOD. BROAN GLACIER 30" RANGE HOOD, OR APPROVED EQUAL. COORDINATE EXACT MOUNTING REQUIREMENTS WITH OWNER. ENSURE ALL REQUIREMENTS OF THE GUARDIAN SYSTEM ARE SATISFIED.
- 17 EXISTING WOOD BASE TO BE REMOVED AND REPLACED IN KIND. REMOVE TO EXTENTS NECESSARY FOR REMOVAL OF ALL WATER DAMAGED MATERIAL. PAINT TO MATCH ADJACENT CONDITIONS.



FIRST FLOOR KEY PLAN
SCALE: 1/32" = 1'-0"



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FAX (706) 724-3955
WWW.THEJLAGROUP.COM

CLIENT: COUNTY OF NEWBERRY
1309 COLLEGE STREET, NEWBERRY, SC 29108
PROJECT NAME: **OLD POMARIA SCHOOL CLASSROOM AND BREEZEWAY RENOVATIONS**
PROJECT LOCATION: 138 FOLK STREET, POMARIA, SC

STATE OF SOUTH CAROLINA
REGISTERED ARCHITECT
02/17/2025
JOHNSON, LASCHOBER & ASSOCIATES, P.C.
No. C00790
EXPIRATION DATE 02/17/2025
CERTIFICATE OF AUTHORIZATION

REV	DATE	BY	DESCRIPTION
C	02/27/25	WLD	ISSUED FOR PERMIT / BID
B	11/15/24	WLD	ISSUED FOR FINAL OWNER REVIEW
A	09/17/24	WLD	ISSUED FOR OWNER REVIEW

PROJECT NO. 3606.2401
DRAWN BY: CTH
CHECKED BY: WLD
DATE: 09/10/2024

PROPOSED FLOOR PLANS

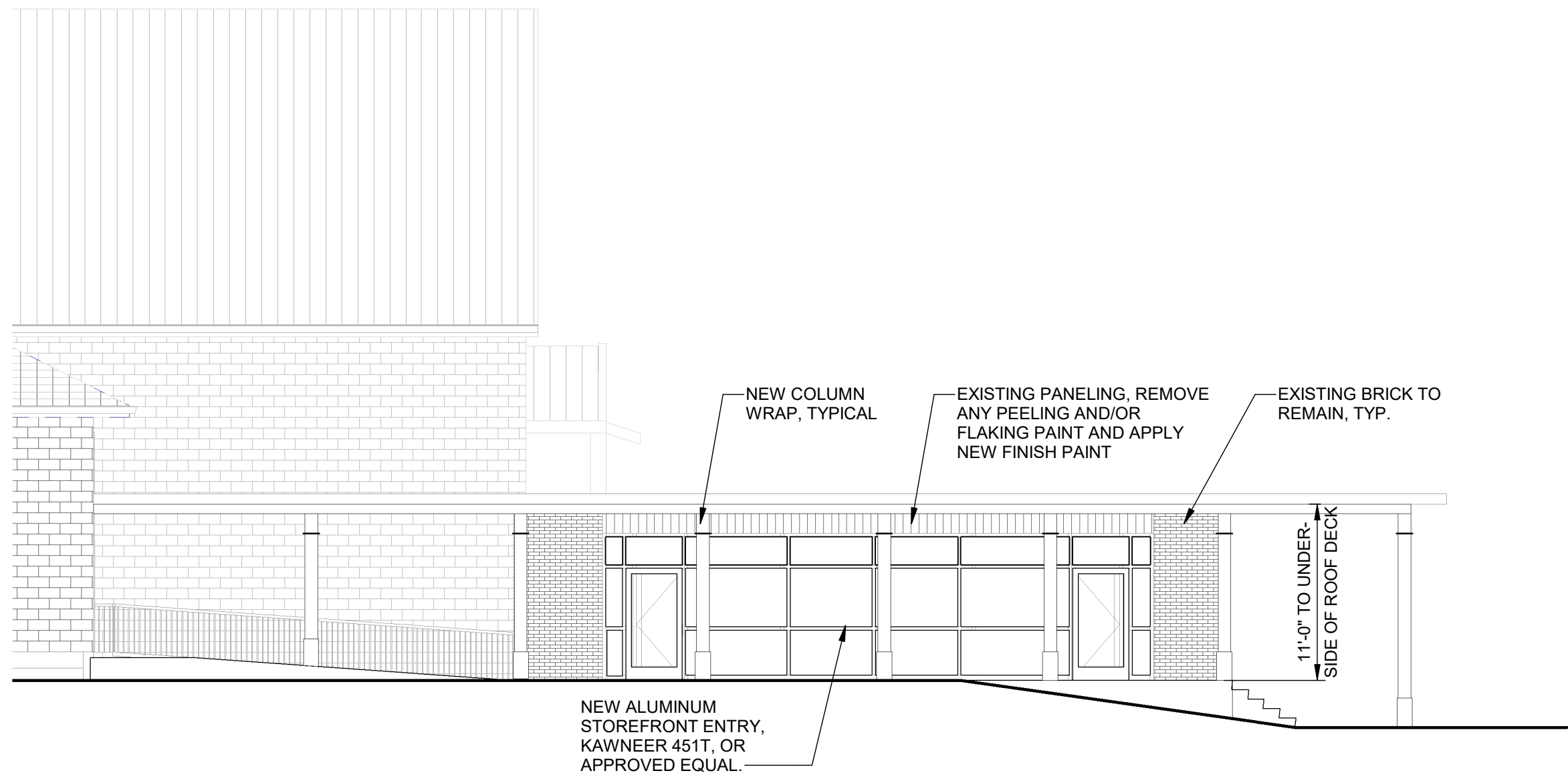
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DRAWING NO. **A-101**
REV. **C**

JL.A-2406.RFA
REV. 09/10/2024 JAP

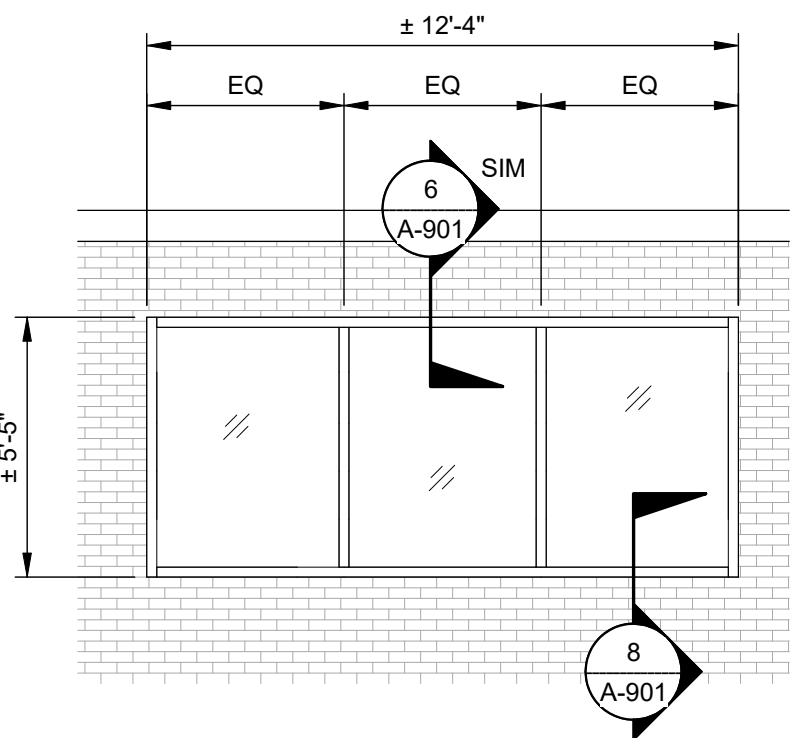
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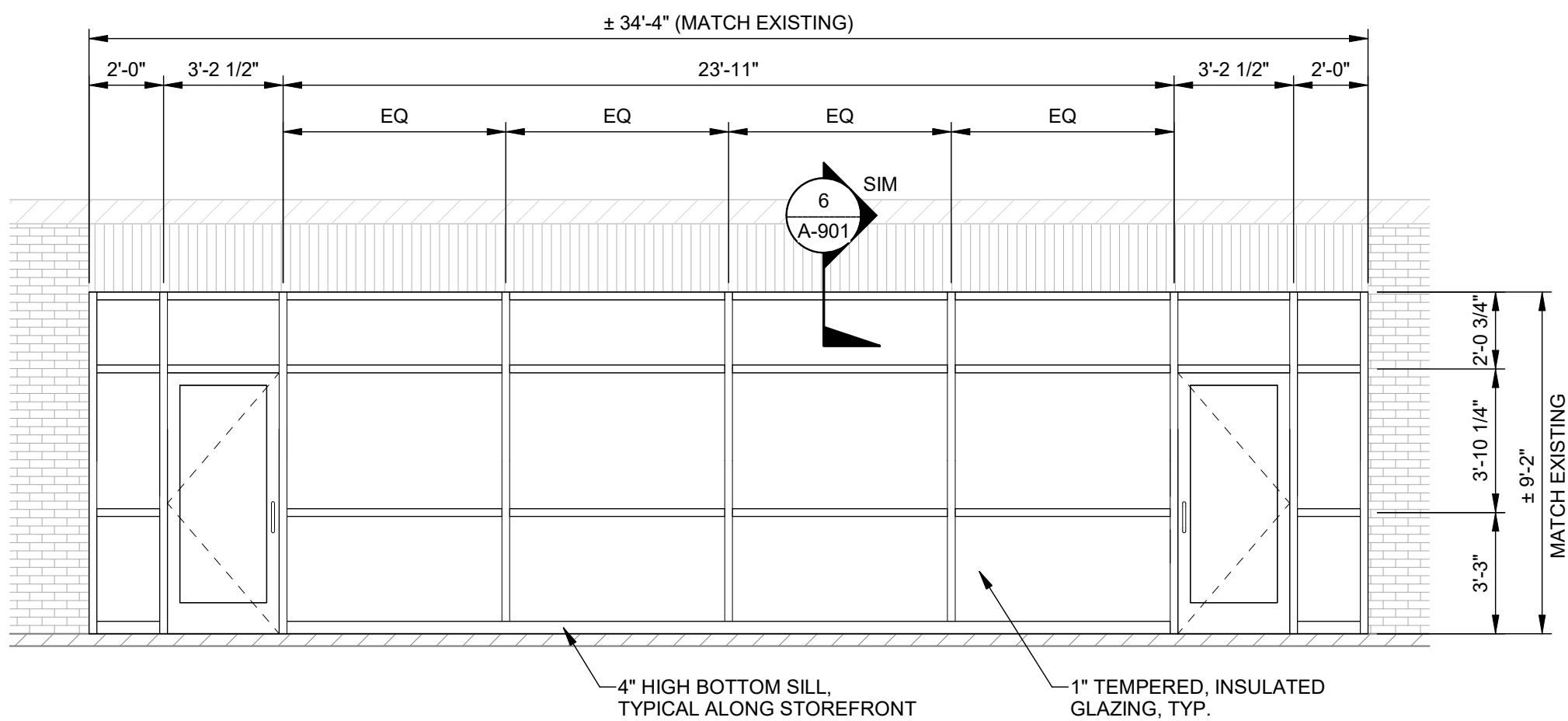
F
E
D
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A



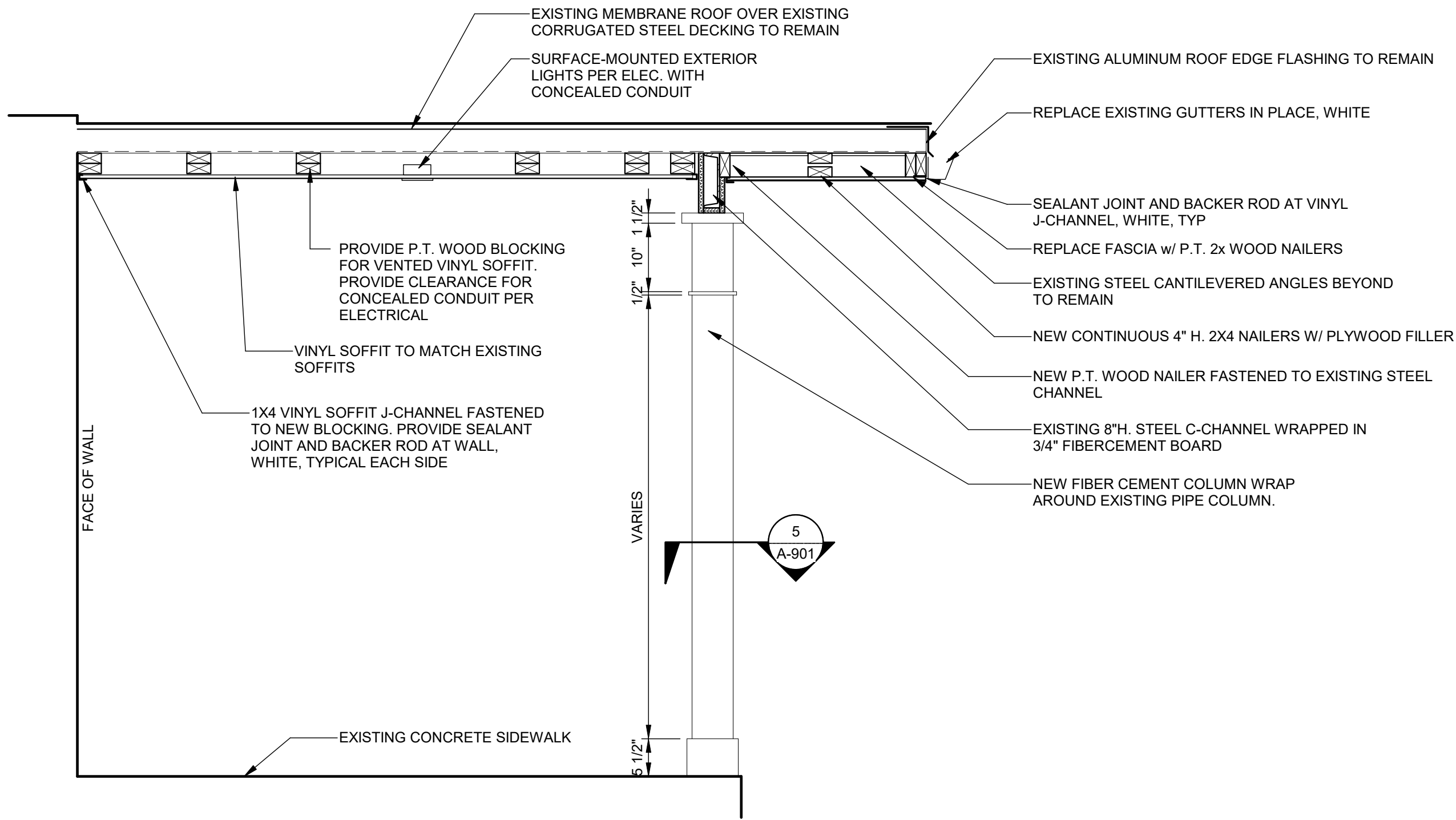
1 PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



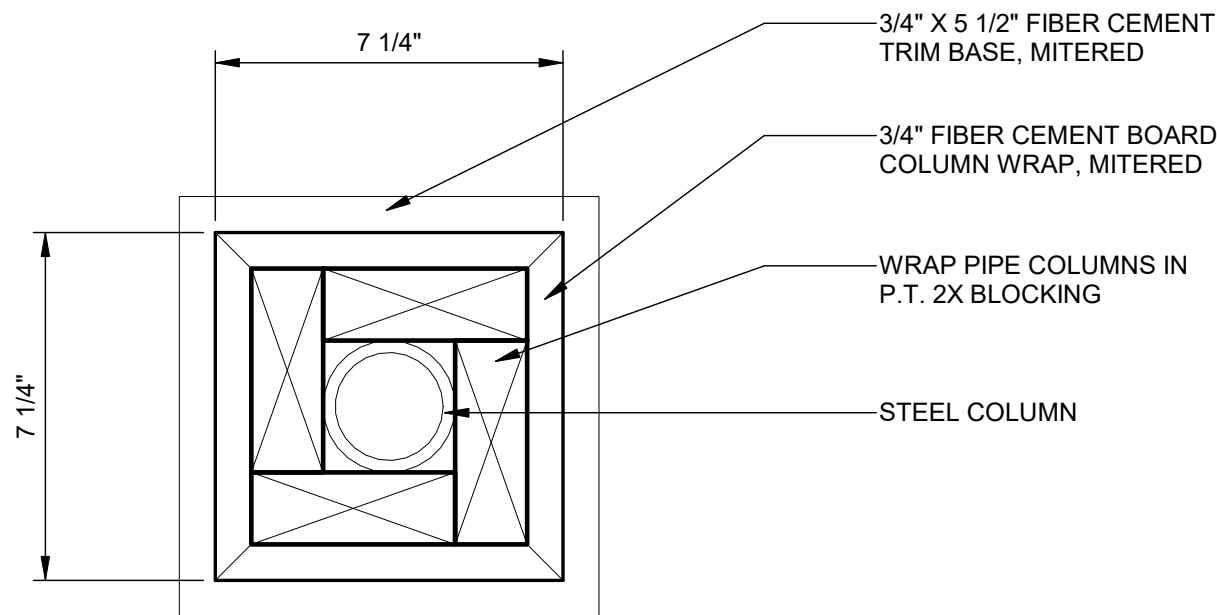
2 KITCHEN WINDOW ELEVATION
SCALE: 1/4" = 1'-0"



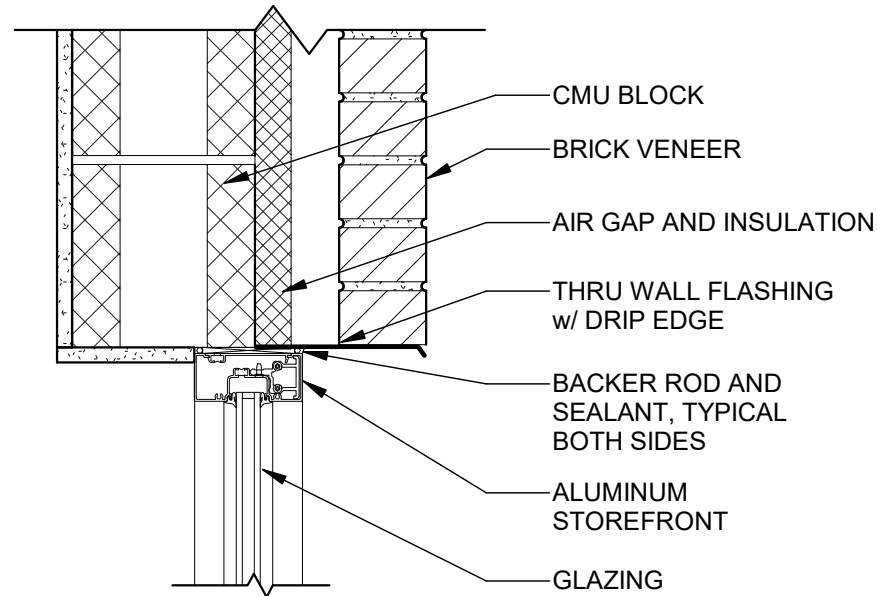
3 CAFETERIA ENTRY ELEVATION
SCALE: 1/4" = 1'-0"



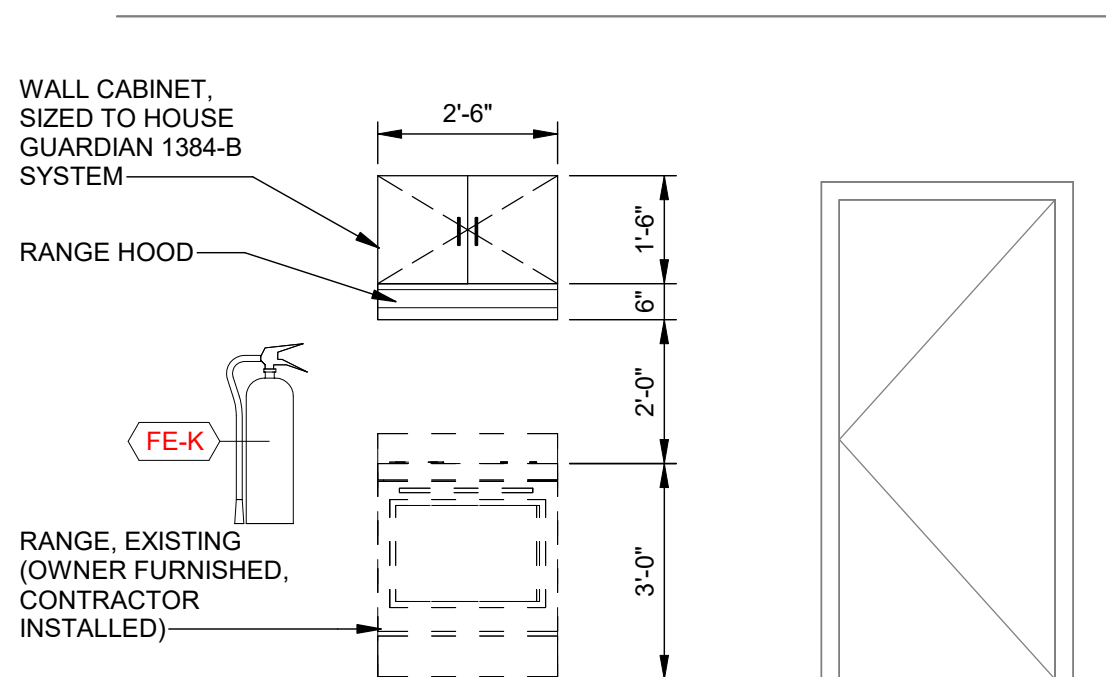
4 CANOPY SOFFIT DETAIL
SCALE: 3/4" = 1'-0"



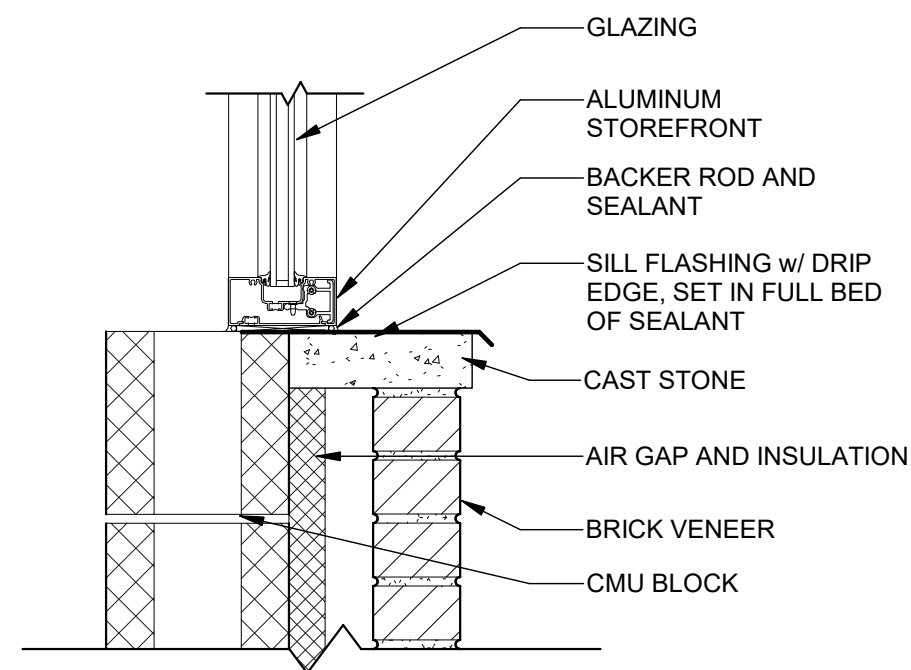
5 COLUMN BOX DETAIL
SCALE: 3" = 1'-0"



6 ALUM. STOREFRONT HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



7 RANGE ELEVATION
SCALE: 3/8" = 1'-0"



8 ALUM. STOREFRONT SILL DETAIL
SCALE: 1 1/2" = 1'-0"



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CLIENT:
COUNTY OF NEWBERRY
1309 COLLEGE STREET, NEWBERRY, SC 29108

PROJECT NAME:
**OLD POMARIA SCHOOL
CLASSROOM AND BREEZEWAY
RENOVATIONS**

PROJECT LOCATION:
138 FOLK STREET, POMARIA, SC



REV	DATE	BY	DESCRIPTION
C	02/27/25	WLD	ISSUED FOR PERMIT / BID
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PROJECT NO. 3606.2401

DRAWN BY: CTH

CHECKED BY: WLD

DATE: 09/10/2024

SHEET TITLE:

DETAILS

SCALE AS NOTED

DRAWING NO.

A-901

REV

C



- 1 REPLACE LIGHTING FIXTURES AND SWITCHES IN THIS ROOM. TEST AND REUSE WIRING AND CONDUIT WHERE POSSIBLE. MATCH EXISTING LAYOUT AND QUANTITY AND REPLACE WITH FIXTURE "A" ON FIXTURE SCHEDULE SHEET E-401. REPLACE ONE FIXTURE WITH "AE" FOR EMERGENCY LIGHTING.
- 2 REUSE EXISTING SWITCH LOCATIONS IN THIS ROOM.
- 3 PROVIDE SWITCH FOR EXTERIOR LIGHTING. COORDINATE SWITCH LOCATION WITH OWNER.
- 4 COORDINATE REPLACEMENT OF EXISTING FIXTURES IN THIS ROOM WITH OWNER. REPLACE SWITCHES AND WIRING. CONNECT TO CIRCUIT LP1-1.
- 5 REPLACE LIGHTING FIXTURES AND SWITCHES IN THIS ROOM. TEST AND REUSE WIRING AND CONDUIT WHERE POSSIBLE. MATCH INDICATED LAYOUT AND QUANTITY AND INSTALL NEW FIXTURES "B" AND "BE" ON FIXTURE SCHEDULE SHEET E-401.

1. MATCH EXISTING LIGHTING LAYOUTS.
2. VERIFY AND REUSE EXISTING SWITCH LOCATIONS WHERE POSSIBLE.
3. CONNECT CONSTANT "HOT" LEG FOR EMERGENCY LIGHTS TO LOCAL CONTINUOUS "HOT" CIRCUIT.



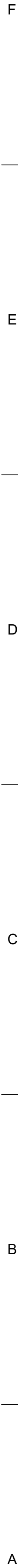
PROJECT LOCATION:
138 FOLK STREET, POMARIA, SC



PROJECT NO.	3606.2401
DRAWN BY:	CEB
CHECKED BY:	CEB
DATE:	09/10/2024

SCALE	AS NOTED
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REV.
C



E-201

2

3

4

5

4. NEW FIRE ALARM DEVICES TO MATCH EXISTING. CONNECT NEW DEVICES TO EXISTING FIRE ALARM CONTROL PANEL.

SPECIAL OUTLET SCHEDULE



SCALE: 1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE							
TYPE MARK	MANUFACTURER	MODEL NUMBER	VOLTAGE	WATTAGE	LAMP TYPE	MOUNTING	DESCRIPTION
A	LITHONIA	STAKS 2X4 AL06 SWW7	120 V	40 VA	4000K LED	RECESSED	SELECTABLE 4000/5000/6000 LUMEN LEVEL AND SWITCHABLE COLOR TEMPERATURE
AE	LITHONIA	STAKS 2X4 AL06 SWW7 LB CP10 A	120 V	40 VA	4000K LED	RECESSED	SELECTABLE 4000/5000/6000 LUMEN LEVEL AND SWITCHABLE COLOR TEMPERATURE WITH EMERGENCY BATTERY
B	LITHONIA	CSS L48 AL03 MVOLT SSW3	120 V	44 VA	4000K LED	SURFACE	4' STRIP LIGHT WITH SELECTABLE LUMEN LEVEL AND COLOR TEMPERATURE
BE	LITHONIA	CSS L48 AL03 MVOLT SSW3 IE7WCP	120 V	44 VA	4000K LED	SURFACE	4' STRIP LIGHT WITH SELECTABLE LUMEN LEVEL AND COLOR TEMPERATURE WITH EMERGENCY BATTERY
K	LUMINAIRE LED	SWP1212 MIN10 25W 35K MVOLT CLP	120 V	29 VA	3500K LED	SURFACE	OUTDOOR DECORATIVE FIXTURE
KE	LUMINAIRE LED	SWP1212 MIN10 25W 35K MVOLT CLP EMB310	120 V	29 VA	3500K LED	SURFACE	OUTDOOR DECORATIVE FIXTURE WITH EMERGENCY BATTERY
X	LITHONIA	ECC B G	120 V	5 VA	LED	SURFACE	EXIT SIGN WITH EMERGENCY LIGHTS

NOTES:

1. COORDINATE ALL FINISH OPTIONS WITH ARCHITECT.

LOCATION

ELEC. 106F

MOUNTING

SURFACE

MAIN BREAKER

FEED FROM

SERVICE MAIN PANEL

PANEL:

LP1

MAIN AMP:

225 A

VOLTAGE

120/208 Wye

PHASE

3

WIRE

4

S.C.C.

SEE NOTE 1.

MIN.

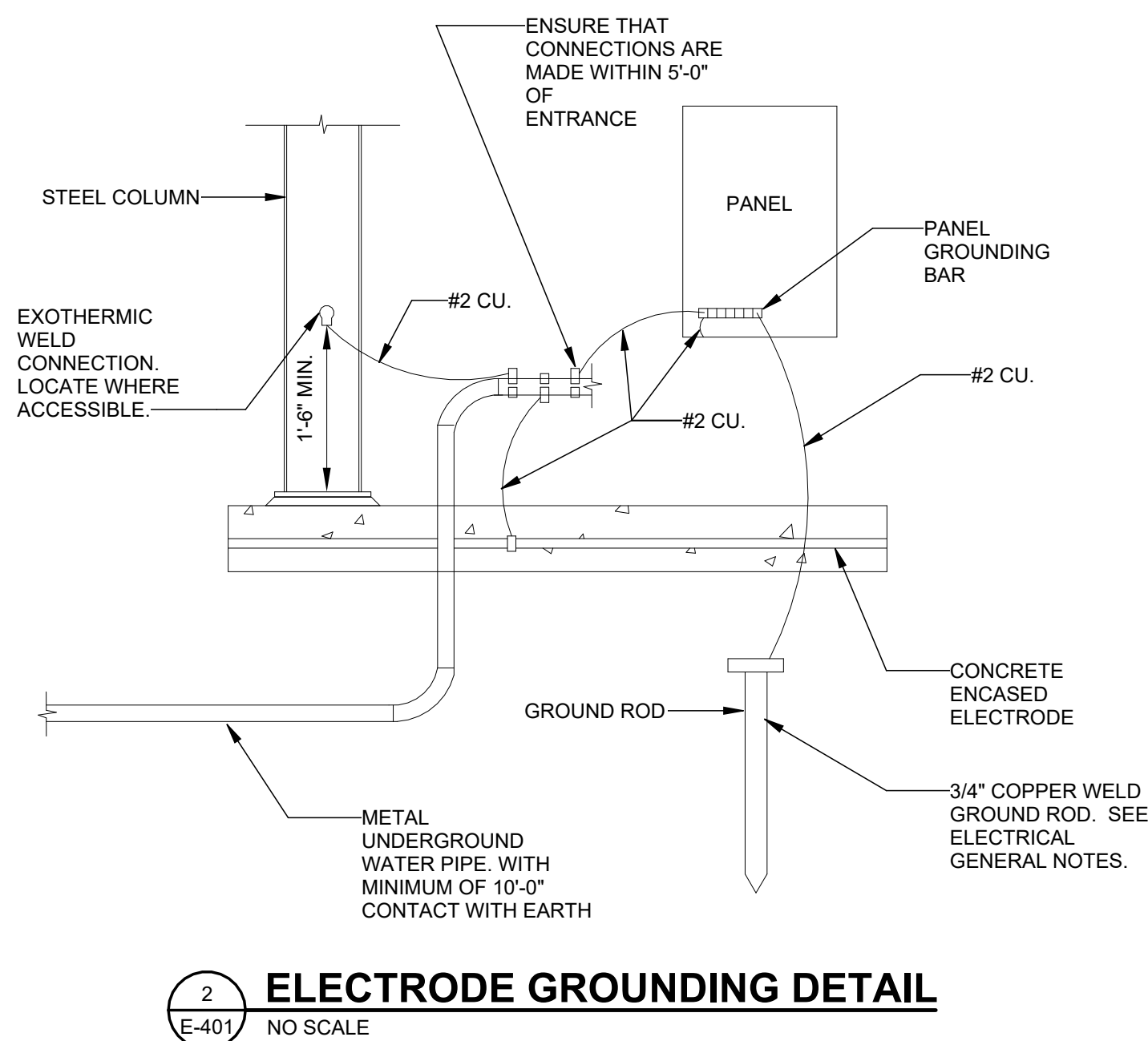
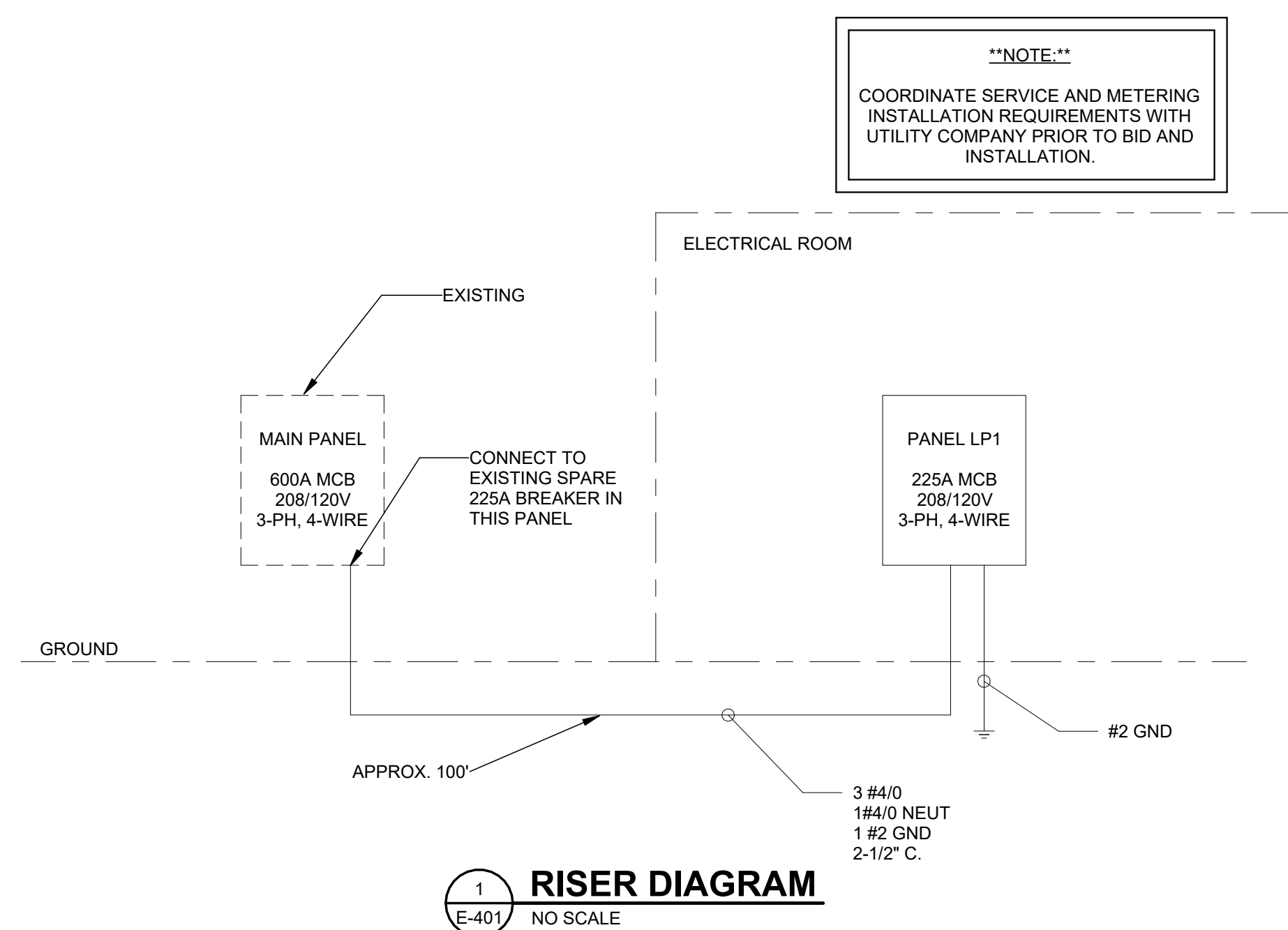
	A	B	C	TOTAL	DEMAND
RECEPTACLE...				7620 VA	7620 VA
KITCHEN VA				703 VA	703 VA
LIGHTING VA				10728 VA	10728 VA
OTHER VA					
VA PER PHASE	18251 VA	16580 VA	17980 VA	52811 VA	52811 VA
AMPS PER PHASE	154 A	138 A	152 A		

MIN. WIRE/CONDUIT SIZE	Load Name	AMPS	P	CKT	A	B	C	CKT	P	AMPS	Load Name	MIN. WIRE/CONDUIT SIZE
2#12, #12 GND, 3/4" C	LIGHTING	20 A	1	1	1231 VA	180 VA			2	1 20 A	KITCHEN RECEPTACLES	2#12, #12 GND, 3/4" C
2#12, #12 GND, 3/4" C	RECEPTACLES	20 A	1	3		360 VA	180 VA		4	1 20 A	KITCHEN RECEPTACLES	2#12, #12 GND, 3/4" C
2#12, #12 GND, 3/4" C	RECEPTACLES	20 A	1	5				1500 VA	6	1 20 A	KITCHEN RECEPTACLES	2#12, #12 GND, 3/4" C
2#12, #12 GND, 3/4" C	RECEPTACLES	20 A	1	7	360 VA	1500 VA			8	1 20 A	KITCHEN RECEPTACLES	2#12, #12 GND, 3/4" C
2#8, #10 GND, 3/4" C	KITCHEN RANGE	50 A	2	9		4800 VA	1500 VA		10	1 20 A	KITCHEN RECEPTACLES	2#12, #12 GND, 3/4" C
--	--	--	--	11				4800 VA	12	1 20 A	RECEPTACLES	2#12, #12 GND, 3/4" C
2#8, #10 GND, 3/4" C	HVAC HEAT PUMP (EXISTING)	60 A	2	13	4740 VA	600 VA			14	1 20 A	KITCHEN HOOD	2#12, #12 GND, 3/4" C
--	--	--	--	15		4740 VA	0 VA		16	1 20 A	SPARE	
2#8, #10 GND, 3/4" C	HVAC HEAT PUMP (EXISTING)	60 A	2	17				4740 VA	18	1 20 A	SPARE	
--	--	--	--	19	4740 VA	0 VA			20	1 20 A	SPARE	
2#8, #10 GND, 3/4" C	HVAC AUX HEAT (EXISTING)	35 A	2	21		2500 VA	0 VA		22	1 20 A	SPARE	
--	--	--	--	23				2500 VA	24	1 20 A	SPARE	
2#8, #10 GND, 3/4" C	HVAC AUX HEAT (EXISTING)	35 A	2	25	2500 VA	0 VA			26	1 20 A	SPARE	
--	--	--	--	27			2500 VA	0 VA	28	1 20 A	SPARE	
2#10, #10 GND, 3/4" C	WATER HEATER	30 A	2	29				2400 VA	30	1 20 A	SPARE	
--	--	--	--	31	2400 VA	0 VA			32	1 20 A	SPARE	
	SPARE	20 A	1	33		0 VA	--		34	1 --	SPACE	
	SPARE	20 A	1	35				0 VA	36	1 --	SPACE	
	SPARE	20 A	1	37	0 VA	--			38	1 --	SPACE	
	SPARE	20 A	1	39		0 VA	--		40	1 --	SPACE	
	SPARE	20 A	1	41				0 VA	42	1 --	SPACE	

REMARKS: IDENTIFY EXISTING MECHICAL EQUIPMENT POWER AND PROVIDE NEW BREAKERS AND REIRCUIT EQUIPMENT TO THIS PANEL. CONTRACTOR TO TRACE ALL CIRCUITS FROM EXISTING PANELS IN FIELD. COORDINATE WITH OWNER WHICH EXISTING CIRCUITS ARE TO BE DEMOLISHED AND WHICH ARE TO BE REIRCUITED TO THIS PANEL.

NOTE 1.

CONTRACTOR TO COORDINATE SERVICE AND METERING INSTALLATION REQUIREMENTS, AIC RATING, AND PANEL SCCR WITH UTILITY COMPANY PRIOR TO BID AND INSTALLATION.



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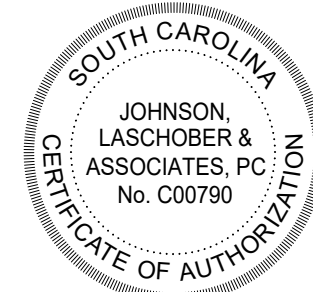
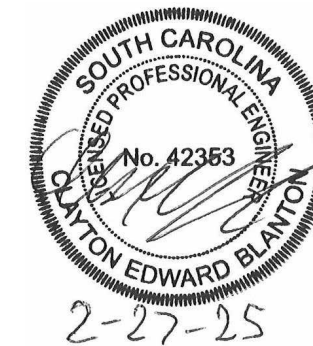
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138 FOLK STREET. POMARIA. SC

[illegible]

PROJECT NO.	3606.2401
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CHECKED BY: CFB

DATE: 09/10/2024

SHEET TITLE:

ELECTRICAL SCHEDULES AND DETAILS

SCALE	AS NOTED
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DRAWING NO.

E-401

REV

C