

NEWBERRY COUNTY PROSPERITY PARK IMPROVEMENTS

PROSPERITY TOWN SQUARE
MAIN STREET AND GRACE STREET, PROSPERITY, SC 291027

GENERAL NOTES

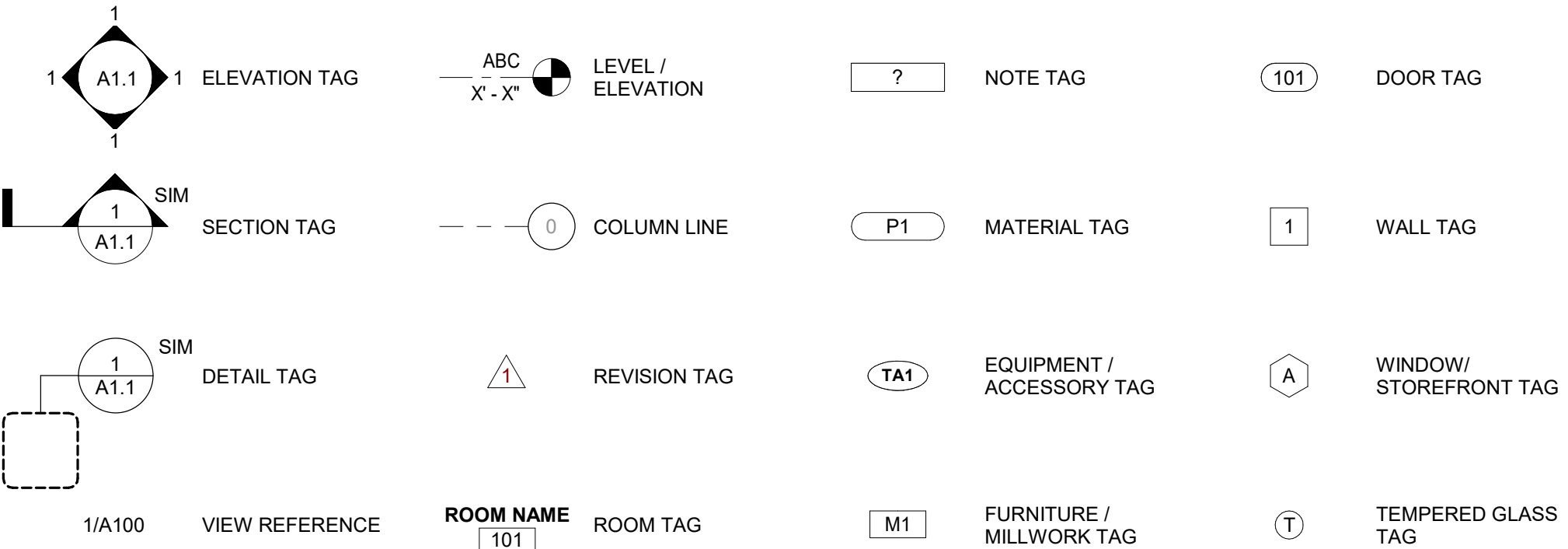
- A. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- B. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUB-CONTRACTOR FOR ANY PART OF THE WORK.
- C. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, PLUMBING, HVAC, AND ELECTRICAL.
- D. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
- E. IF THE CONTRACT DOCUMENTS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- F. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT, OR OTHER DESIGN PROFESSIONAL, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- G. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, CONTRACTOR SHALL NOTIFY ARCHITECT.
- H. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- I. CONTRACTOR SHALL PAY ALL TAXES, SECURE ALL PERMITS AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT.
- J. THE CONTRACTOR SHALL UNCONDITIONALLY WARRANTY ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN A REASONABLE, AGREED UPON TIME FRAME, AFTER IT IS BROUGHT TO HIS ATTENTION.
- K. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS AND LEAVE THE BUILDING IN NEW AND CLEAN CONDITION.
- L. CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS.

COORDINATION OF WORK

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND SUB-CONTRACTORS TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND SUB-CONTRACTORS. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND SUB-CONTRACTORS. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEE'S USE ON THE PROJECT AND ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND SUB-CONTRACTORS.

CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

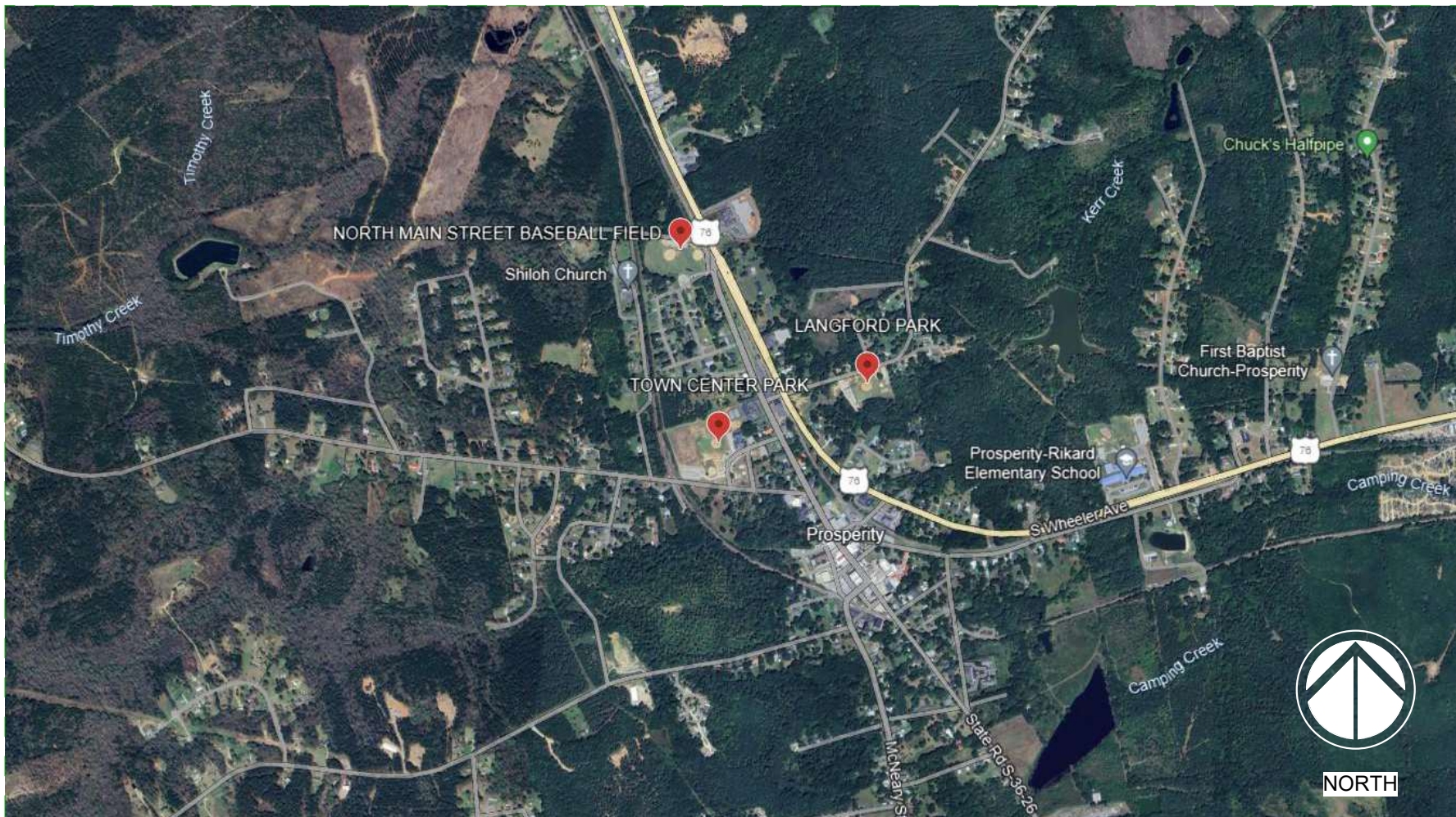
DRAWING SYMBOL LEGEND



PROJECT CONTACTS

OWNER	ARCHITECT	STRUCTURAL ENGINEER	ELECTRICAL ENGINEER	CIVIL ENGINEER
NEWBERRY COUNTY 1309 COLLEGE STREET P.O. BOX 156 NEWBERRY, SC 29108 CONTACT: CRYSTAL WALDROP T: 803.321.2100 CWALDROP@NEWBERRYCOUNTY.GOV	DP3 ARCHITECTS, LTD. 15 SOUTH MAIN STREET SUITE 400 GREENVILLE, SC 29601 CONTACT: LAUREL GETTY T: 864.232.8200 LGETTY@DP3ARCHITECTS.COM	BRITT, PETERS & ASSOCIATES, INC. 101 FALLS PARK DRIVE SUITE 601 GREENVILLE, SC 29601 CONTACT: MICHAEL GENNARO, PE T: 864.271.8869 MGENNARO@BRITTPETERS.COM	DEVITA & ASSOCIATES, INC. 33 VILLA ROAD SUITE 300 GREENVILLE, SC 29615 CONTACT: SHANNON EPPS, PE T: 864.232.6642 SEPPS@DEVITAINC.COM	WK DICKSON & CO., INC. 5 LEGACY PARK ROAD SUITE A GREENVILLE, SC 29607 CONTACT: JEFF EDNEY, PE T: 864.990.0180 JEDNEY@WKDICKSON.COM

VICINITY MAP



PROJECT SCOPE

THE PROJECT SCOPE OUTLINED IN THIS SET OF DOCUMENTS (PROJECT NUMBER 23235-B) INCLUDES IMPROVEMENTS TO TOWN SQUARE.

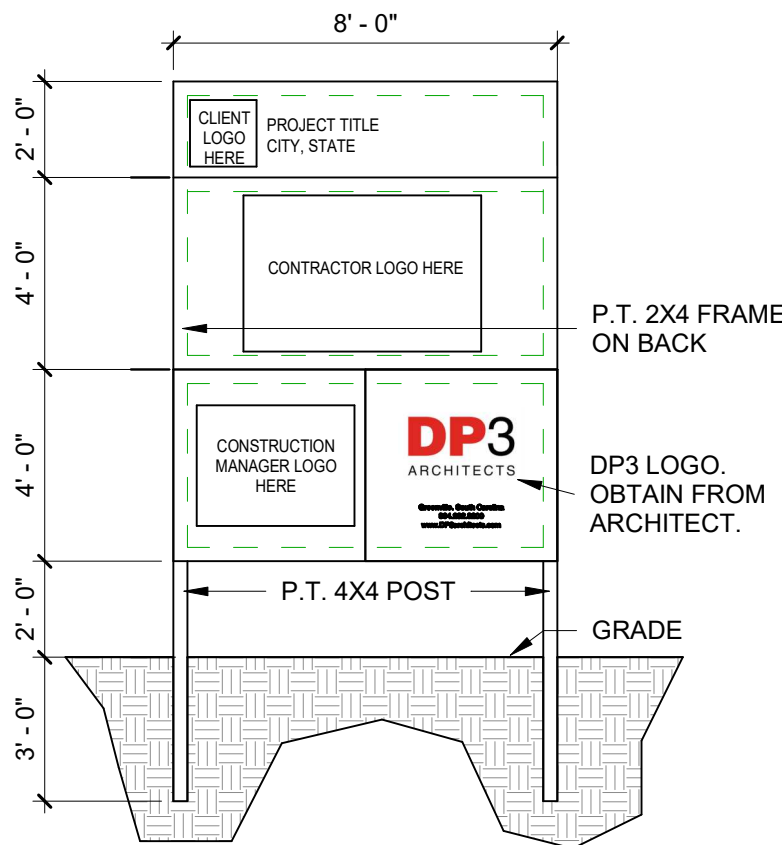
TOWN SQUARE IMPROVEMENTS INCLUDE A NEW 450 SF MANUFACTURED OPEN AIR STEEL STRUCTURE, BRICK PAVER PLAZA, WATER FEATURE, MISCELLANEOUS ELECTRICAL UPGRADES, NEW PARK BENCHES/SWINGS, AND NEW LANDSCAPING AND IRRIGATION.

NOTE: THE TOTAL PROJECT SCOPE INCLUDES IMPROVEMENTS TO NORTH MAIN PARK, TOWN CENTER PARK, LANGFORD PARK, AND TOWN SQUARE.

ALLOWANCES

ALLOWANCE NO. 1: INCLUDE THE AMOUNT OF \$2,000 FOR THE LARGE CENTER STONE AND RIVER ROCK MIX AT THE BASE OF THE WATER FEATURE.

PROJECT SIGN



NOTES:

- GC TO PROVIDE AND INSTALL ONE PROJECT SIGN. LOCATIONS TO BE DETERMINED IN FIELD. VERIFY LOCATION WITH OWNER.
- PROJECT SIGN TO REMAIN PROMINENTLY DISPLAYED DURING ENTIRE CONSTRUCTION PERIOD. REMOVE FROM PROJECT SITE WHEN BUILDING OCCUPIED AND OPEN FOR BUSINESS. SIGN PAINTED ON 3/4" EXTERIOR PLYWOOD. LETTER STYLE AND PLACEMENT SHOULD BE SIMILAR TO THAT SHOWN.
- PROVIDE KICK BACK TREATED WOOD POSTS AS NEEDED. PAINTED WHITE.

DRAWING INDEX

NUMBER	SHEET NAME	CURRENT REVISION	CURRENT REVISION DATE
T1.01	TITLE SHEET		
AD1.01	ARCHITECTURAL DEMOLITION SITE PLAN		
A5.01	ARCHITECTURAL KEY SITE PLAN		
CD-101	DEMO AND ESC PLAN		
G-001	COVER		
G-002	GENERAL NOTES, LEGEND AND ABBREVIATIONS		
C-101	PARK SITE PLAN		
C-102	GRADING PLAN		
C-201	DETAILS		
C-202	DETAILS		
L-101	LANDSCAPE PLAN		
L-102	LANDSCAPE DETAILS		
S0.00	GENERAL NOTES		
S1.01	TOWN SQUARE FOUNDATION PLAN		
S3.01	TYPICAL CONCRETE DETAILS		
E0.01	ELECTRICAL LEGEND & SCHEDULES		
E1.00	ELECTRICAL DEMOLITION SITE PLAN		
E1.01	ELECTRICAL SITE PLAN		
E8.01	ELECTRICAL DETAILS		
E9.01	ELECTRICAL PANEL SCHEDULES AND DIAGRAMS		

ALTERNATES

THE SCOPE OF THE WORK ACROSS ALL FOUR PARK SITES IS TO BE INCLUDED IN THE BASE BID.
NOTE: THE ALTERNATES DESCRIBED BELOW INDICATE THE PARK LOCATION AND THE WORK SCOPE OF THE ALTERNATE.

ALTERNATE NO. 1 (NORTH MAIN PARK 23235-A): LIGHT DUTY ASPHALT PAVING

- A. BASE BID ITEM: REMOVE AND REPLACE EXISTING GRAVEL PARKING LOT.
B. ALTERNATIVE ITEM: IN LIEU OF REPLACING GRAVEL LOT, PROVIDE LIGHT DUTY ASPHALT PAVING SURFACE.

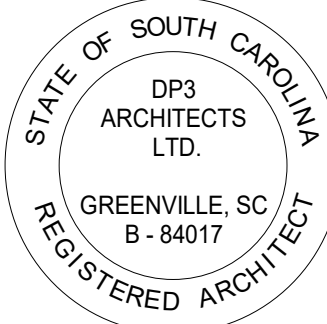
ALTERNATE NO. 2 (LANGFORD PARK 23235-C): LIGHT DUTY ASPHALT PAVING

- A. BASE BID ITEM: REMOVE AND REPLACE EXISTING GRAVEL PARKING LOT.
B. ALTERNATIVE ITEM: IN LIEU OF REPLACING GRAVEL LOT, PROVIDE LIGHT DUTY ASPHALT PAVING SURFACE.

ALTERNATE NO. 3 (TOWN SQUARE 23235-D): ALL IMPROVEMENTS IN THE TOWN SQUARE DOCUMENT SET.

- A. BASE BID ITEM: NO SCOPE
B. ALTERNATIVE ITEM: PROVIDE ALL IMPROVEMENTS IN THE DOCUMENT SET.

Seal



SEPTEMBER 4, 2025

DP3
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Project



NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS
PROSPERITY TOWN SQUARE

Project Number 23235-D
Drawn By RHW
Checked By MTP
Date 4 SEP 2025

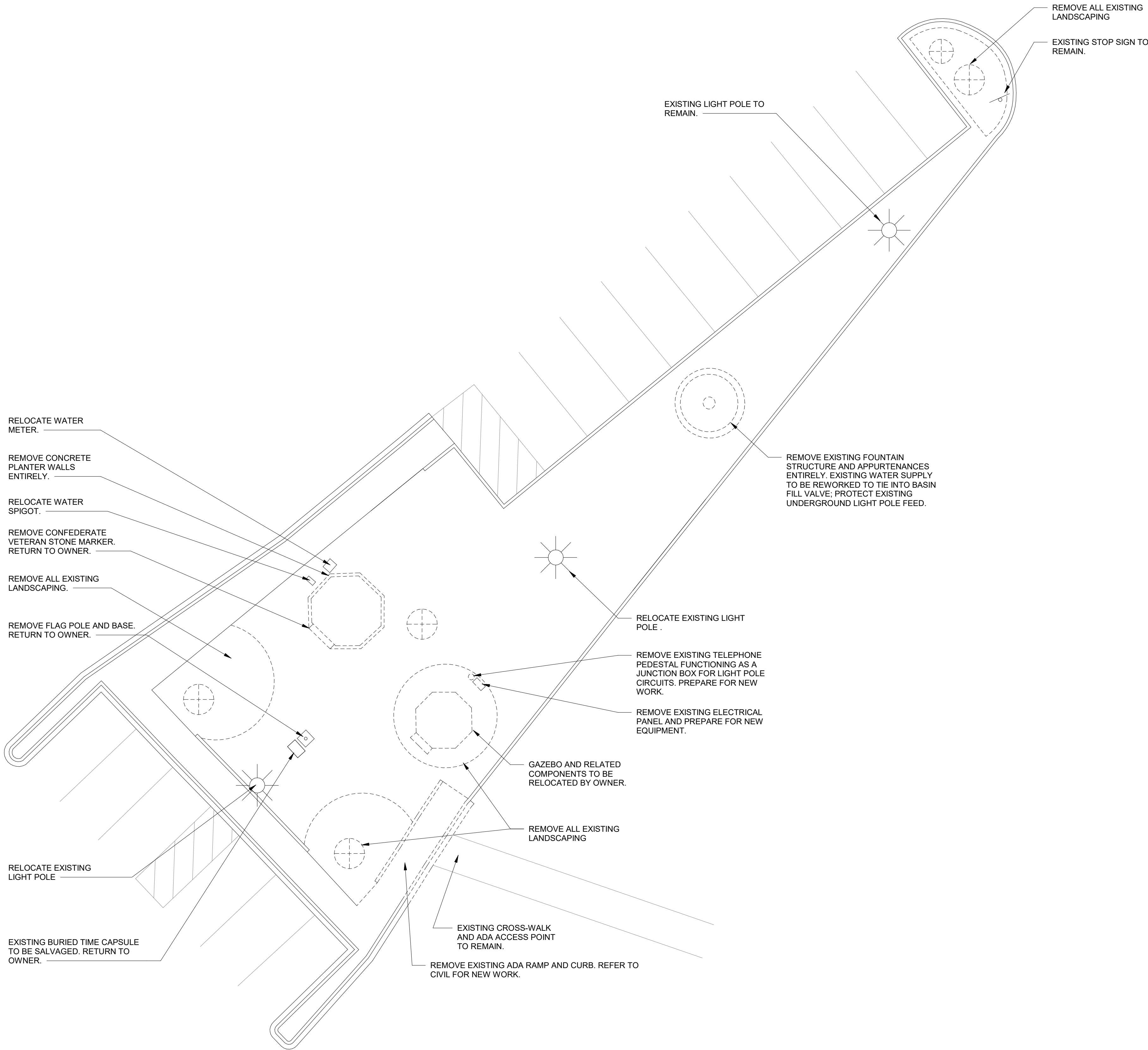
Revisions

Drawing

TITLE SHEET

T1.01

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1 DEMOLITION ARCHITECTURAL SITE PLAN
AD1.01/ 1" = 10'-0"

GENERAL DEMOLITION NOTES

- A. ALL HAZARDOUS MATERIALS SHALL BE REMOVED PRIOR TO START OF CONSTRUCTION UNDER SEPARATE CONTRACT.
- B. ALL MATERIALS THAT HAVE BEEN DEMOLISHED SHALL BE REMOVED IMMEDIATELY AND DISPOSED OF PROPERLY. NO DEMOLISHED MATERIALS SHALL BE STOCKPILED ON SITE.
- C. PROTECT OWNER'S PROPERTY AND PERSONS AT ALL TIMES.
- D. ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR.
- E. COORDINATE ANY SYSTEMS SHUTDOWNS WHICH MAY BE REQUIRED WITH THE OWNER.
- F. PRIOR TO COMMENCING WITH THE DEMOLITION, THE CONTRACTOR SHALL ASCERTAIN FROM THE OWNER WHETHER OR NOT THE OWNER WISHES TO RETAIN ANY ITEMS. ANY SUCH ITEMS SHALL BE REMOVED WITH CARE SO AS TO PREVENT UNNECESSARY DAMAGE AND TURNED OVER TO THE OWNER.
- G. BURNING ON THE SITE WILL NOT BE PERMITTED.
- H. EXPLOSIVES WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED.
- I. CONTRACTOR SHALL MAKE FUNCTIONAL ALL CIRCUITS DISRUPTED BY ANY DEMOLITION.
- J. REFER TO CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- K. DEMOLITION INCLUDES REMOVAL OF ALL ITEMS NECESSARY TO FACILITATE THE NEW CONSTRUCTION, WHETHER SPECIFICALLY INDICATED OR NOT, UNLESS NOTED OTHERWISE.
- L. ALL UTILITIES DEMOLISHED SHALL BE COMPLETELY REMOVED AND/OR CAPPED.
- M. ALL SITE LANDSCAPING/FLORA IS TO BE REMOVED AND PROPERLY DISPOSED OF.

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Project



NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS
PROSPERITY TOWN SQUARE

Project Number	23235-D
Drawn By	LTG
Checked By	RHW
Date	4 SEP 2025

Revisions

Drawing

ARCHITECTURAL
DEMOLITION SITE
PLAN



AD1.01

DP3
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Project



Project Number 23235-D
 Drawn By LTG
 Checked By RHW
 Date 4 SEP 2025

Drawing

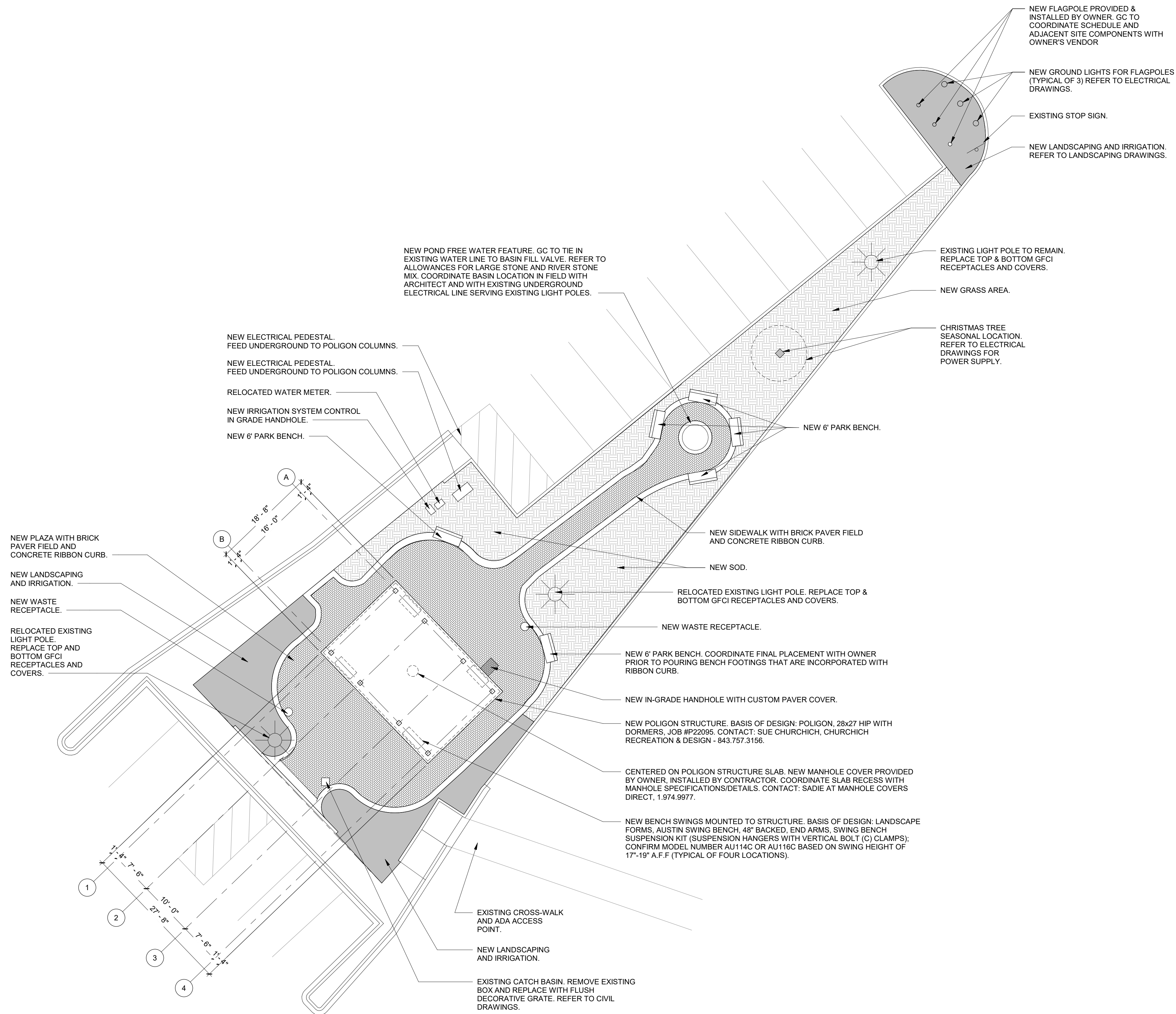


PROJECT
NORTH



A5.01

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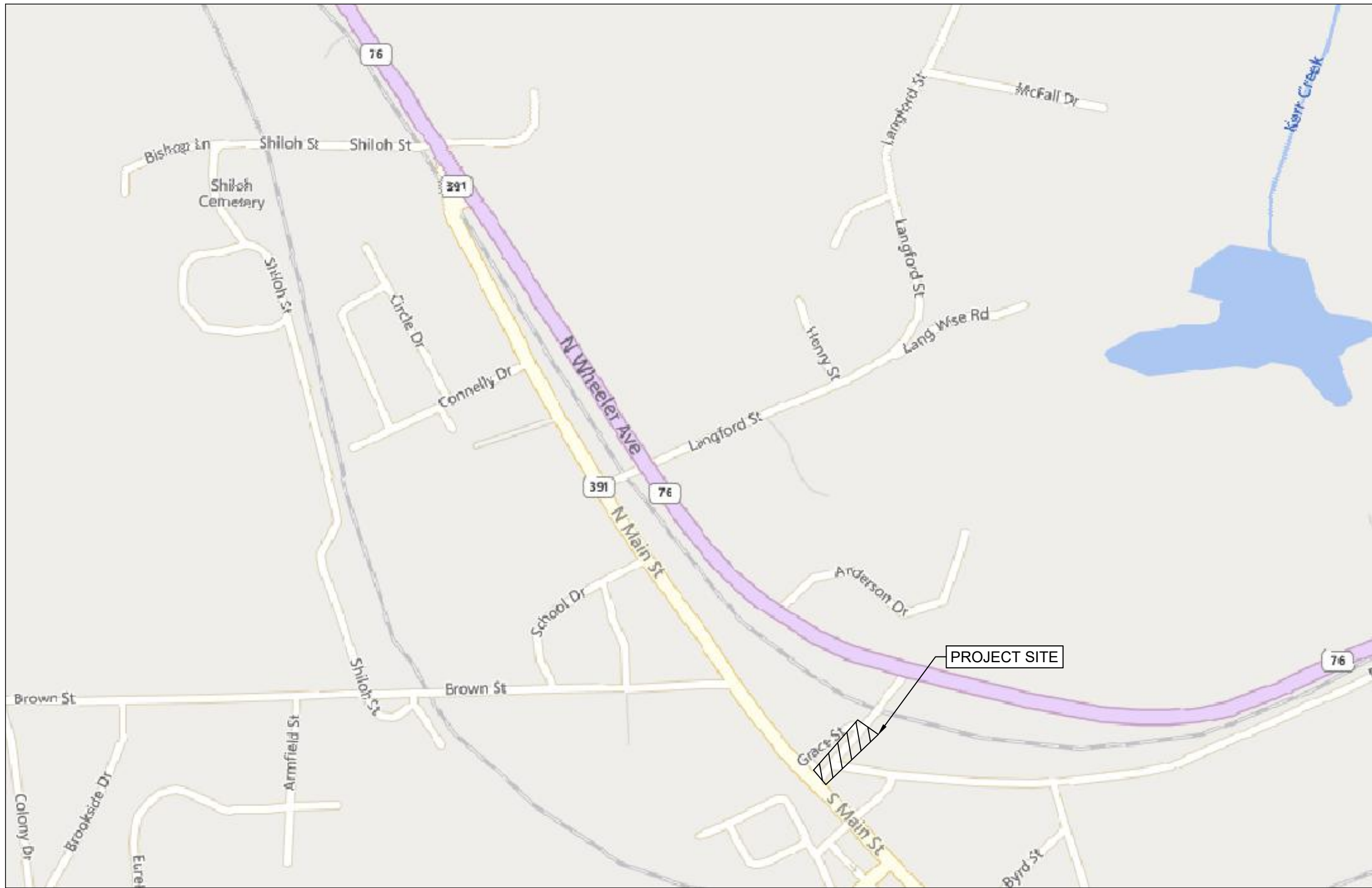
1 ARCHITECTURAL SITE PLAN
A5.01 1" = 10'-0"

PROJECT
NORTH

REFERENCE
NORTH

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Sheet List Table	
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G-002	GENERAL NOTES, LEGEND AND ABBREVIATIONS
CD-101	DEMO & ESC PLAN
C-101	TOWN SQUARE PARK SITE PLAN
C-102	GRADING PLAN
C-201	DETAILS
C-202	DETAILS



LOCATION MAP
SCALE: 1" = 500'

NEWBERRY COUNTY
PHONE NUMBER: (803) 321-2100



Know what's below.
Call before you dig

NOTICE TO CONTRACTOR

1. PRIOR TO CONSTRUCTION, DIGGING, OR EXCAVATION THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA(S) OF CONSTRUCTION, WHETHER INDICATED ON THE PLANS OR NOT. CALL "811" A MINIMUM OF 72 HOURS PRIOR TO DIGGING OR EXCAVATING. REPAIRS TO ANY UTILITY DAMAGED RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

OWNER/DEVELOPER:

NEWBERRY COUNTY
CONTACT: JEFF SHACKER
1309 COLLEGE STREET
NEWBERRY, SC 29108
PHONE NUMBER: 803-321-2100
JSHACKER@NEWBERRYCOUNTY.GOV

ENGINEER:

WK DICKSON
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55 BEATTIE PLACE, SUITE 200
GREENVILLE, SC 29601
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WKD PROJECT NO. - 20240498.00.WK

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Project



NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS
TOWN SQUARE PARK

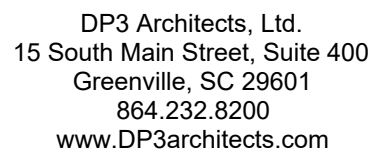
Project Number 21393-D
Drawn By CJL
Checked By JHE
Date 4 SEP 2025

Revisions

Drawing

COVER

G-001



Project



NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS
TOWN SQUARE PARK

Project Number 21393-D
 Drawn By CJL
 Checked By JHE
 Date 4 SEP 2025

Revisions

Drawing

GENERAL NOTES LEGEND AND ABBREVIATIONS

G-002

GENERAL NOTES

3. REFERENCE IS MADE TO THE FOLLOWING:
A. TOPOGRAPHIC SURVEY PREPARED FOR NEWBERRY COUNTY BY GEL ENGINEERING, LLC., DATED FEBRUARY 14, 2024.
2. ALL ELEVATIONS SHOWN REFER TO NAVD 88 DATUM.
3. HORIZONTAL COORDINATES REFER TO NAD 83 SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. VERIFY ALL FIELD CONDITIONS AND THE EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION. IF CONDITIONS ARE DIFFERENT FROM THAT SHOWN ON THE PLANS, STOP WORK AND NOTIFY THE ENGINEER.
5. ALL WORK FOR THE PROJECT SHALL CONFORM TO THE PROJECT SPECIFICATIONS FOUND IN THE PROJECT MANUAL (CONTRACT DOCUMENTS AND SPECIFICATIONS).
6. CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT AND STAKING OF THE PROPOSED SITE AND LIMITS OF WORK.
7. ANY UTILITIES OR FACILITIES DAMAGED DURING THE PROJECT BY THE CONTRACTOR'S PERSONNEL OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE. HAND DIGGING TO PROTECT UTILITIES FROM DAMAGE SHOULD BE ANTICIPATED.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
9. ALL DEMOLITION DEBRIS, INCLUDING CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND SPECIFICATIONS, LATEST REVISION.
10. PROMPTLY INFORM THE ENGINEER OF ANY ERROR OR DISCREPANCIES DISCOVERED IN THE DRAWINGS OR SPECIFICATIONS OR CONFLICTS BETWEEN THE DRAWING AND SPECIFICATIONS IN ORDER FOR CORRECTIONS TO BE MADE.
11. ALL WORK AND MATERIALS MUST CONFORM WITH TOWN OF PROSPERITY AND SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL (SODES) REGULATIONS AND SPECIFICATIONS, LATEST REVISIONS AT THE BEGINNING OF CONSTRUCTION.
12. KEEP ALL ADJACENT AREAS TO THE LIMITS OF WORK CLEAN AND FREE OF DEBRIS/MATERIALS/EQUIPMENT AT ALL TIMES.
13. CONTRACTOR RESPONSIBLE FOR PREPARING AND OBTAINING APPROVAL OF ALL TRAFFIC CONTROL PLANS AND LAYOUT AS REQUIRED FOR THE DURATION OF THE PROJECT.
14. ANY POSSIBLE STOCKPILES, OFFSITE MATERIAL, WASTE, BORROW, OR CONSTRUCTION EQUIPMENT STORAGE / LAYDOWN AREAS SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE.
15. THE CONCRETE WASHOUT SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE.

EXISTING CONDITION AND DEMOLITION PLAN NOTES:

1. EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED PRIOR TO INSTALLATION OF ANY NEW PIPE LINES OR GRADING OPERATIONS.
2. ALL VEGETATION TOPSOIL SHALL BE STRIPPED AND STOCKPILED PRIOR TO PLACING FILL, PROTECT STOCKPILE FROM EROSION.
3. CONTRACTOR SHALL, FOR ALL GRASSED AREAS, BE RESPONSIBLE FOR REPLACING ERODED SOIL AND GRASS SEED UNTIL AN APPROVED STAND OF GRASS IS ESTABLISHED.
4. REMOVE ALL ORGANIC AND UNSUITABLE MATERIAL (MUCK AND/OR NON-COMPACTABLE MATERIAL) FROM AREAS TO BE FILLED.
5. CONTRACTOR SHALL BE AWARE OF EXISTING UTILITY LINES DURING PIPE LINE INSTALLATION. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES SUCH AS THE LOCAL ELECTRIC COMPANY, AT&T, ETC. FOR LOCATION OF OTHER UTILITIES NOT SHOWN ON PLAN. CALL PALMETTO UTILITIES PROTECTION SERVICES (SC811) FOR UNDERGROUND UTILITY LINES LOCATION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
6. ALL AREAS OUTSIDE OF THE LIMITS OF WORK WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE SEEDED AT NO ADDITIONAL EXPENSE TO THE OWNER.
7. ALL DISTURBED AREAS NOT PAVED SHALL BE GRASSED OR LANDSCAPED. USE TEMPORARY PLANT COVER AND EROSION CONTROL STRUCTURES TO CONTROL RUNOFF AND PROTECT AREA SUBJECT TO EROSION DURING CONSTRUCTION.
8. ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION TO CONTROL EROSION AND/OR OFF SITE SEDIMENTATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE STABILITY OF ALL GRADED AND/OR CLEARED AREAS UNTIL PERMANENT COVER AND COVER IS ESTABLISHED. AREAS DAMAGED BY EROSION SHALL BE REPAIRED TO ITS ORIGINAL CONDITION AND PROTECTED FROM FURTHER EROSION AT NO ADDITIONAL COST TO THE OWNER.

STANDARD - EROSION CONTROL NOTES

1. IF NECESSARY, SLOPES, WHICH EXCEEDED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - A. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS
 - B. WHERE CONSTRUCTION ACTIVITIES ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK, WITH NO TIME PERIOD BETWEEN INSPECTIONS EXCEEDING 9 DAYS, AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE. BMPS SHALL BE ASSESSED BY THE CONTRACTOR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 1.0 INCH OR GREATER, AS WELL AS DURING THE FIRST RAIN EVENT AFTER THE INITIATION OF CONSTRUCTION ACTIVITIES, AFTER THE INSTALLATION OF THE BMPS.
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 et seq. AND SCR100000.
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
16. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
17. IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
18. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

EROSION CONTROL MAINTENANCE SCHEDULE

ALL SEDIMENT AND EROSION CONTROLS ARE TO BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS. CONTRACTOR TO DOCUMENT WITH SCDES APPROVED INSPECTION REPORTS AND LOGGED IN THE PROJECT SWPPP.

14 DAY STABILIZATION CLAUSE

ALL DISTURBED AREAS WHICH ARE TO BE LEFT IDLE FOR A PERIOD OF 14 DAYS OR LONGER ARE TO RECEIVE TEMPORARY VEGETATION OR MULCH.

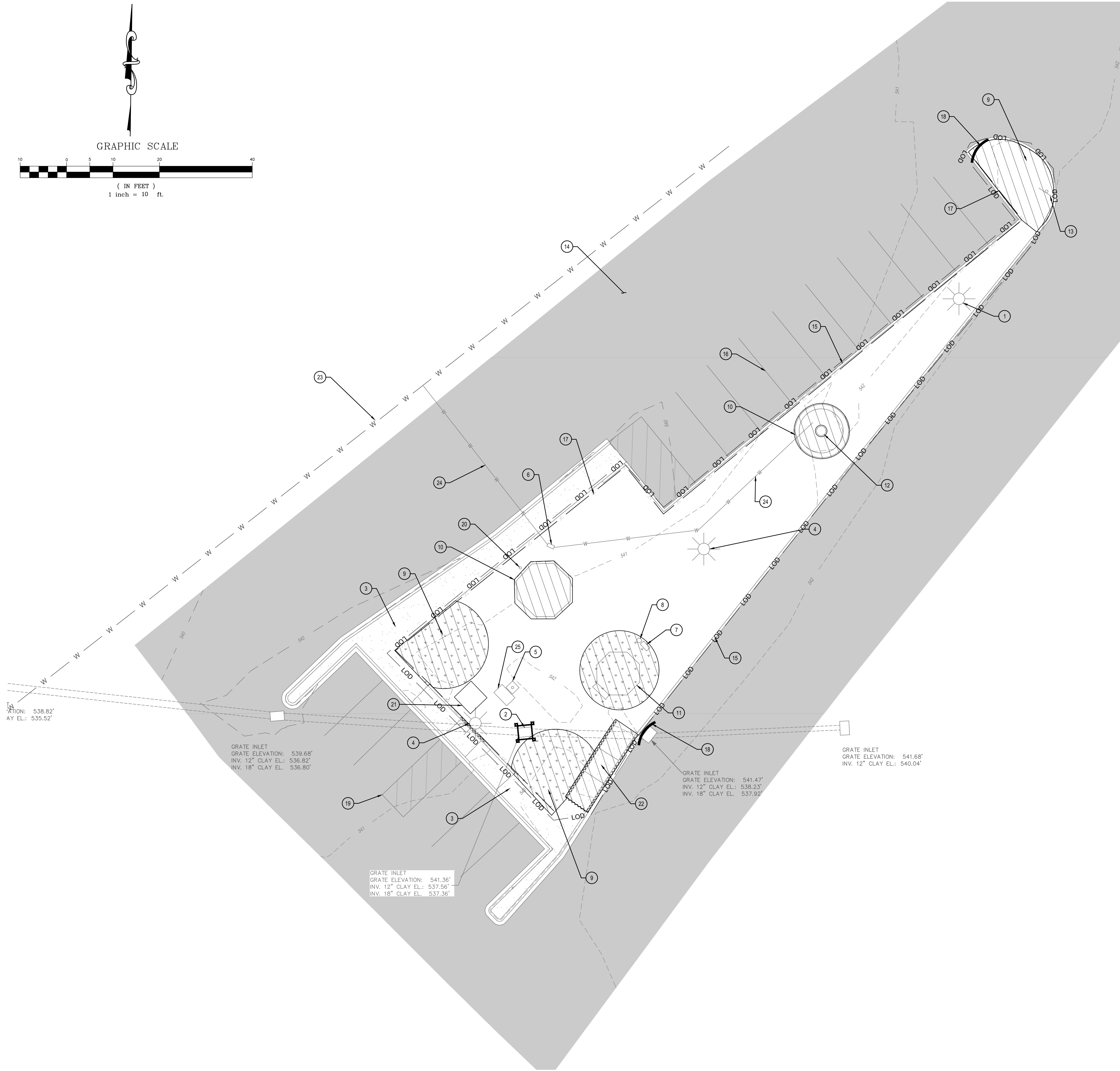
PAVEMENT STRIPING NOTES:

1. ALL PAVEMENT MARKINGS SHALL MEET ALL REQUIREMENTS OF THE FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SCDOT SPECIFICATIONS.
2. APPLY ALL ROADWAY STRIPING AND MARKINGS IMMEDIATELY AFTER APPLICATION OF FINAL SURFACE.

C-SWPPP CONSTRUCTION SEQUENCE:

1. RECEIVE NPDES COVERAGE FROM SCDES AND TOWN OF PROSPERITY.
2. CONDUCT ON-SITE PRE-CONSTRUCTION MEETING.
3. NOTIFY SCDES REGIONAL EQC OFFICE AND TOWN OF PROSPERITY 48 HOURS PRIOR TO BEGINNING LAND DISTURBANCE ACTIVITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIFFERENCES NOTICED ON SITE AS COMPARED TO THE CONSTRUCTION DOCUMENTS
5. CLEARING AND GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
6. BEGIN PERFORMING WEEKLY SCDES SWPPP INSPECTIONS UNTIL SITE IS PERMANENTLY STABILIZED.
7. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES AND CONTINUE WEEKLY SCDES SWPPP INSPECTIONS.
8. BEGIN CLEARING & GRUBBING AS INDICATED ON THE PLANS.
9. PERFORM ROUGH GRADING OPERATIONS AND STORM DRAINAGE IMPROVEMENTS.
10. APPLY TEMPORARY SEEDING AS REQUIRED BY SCDES STANDARDS WITHIN AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES WILL NOT RESUME FOR LONGER THAN 14 DAYS.
11. INSTALL EROSION CONTROL DEVICES AS REQUIRED, OR NEEDED.
12. PERFORM FINE GRADING IN AREA OF PROPOSED PLAZA.
13. PERFORM PLAZA IMPROVEMENTS.
14. APPLY TOPSOIL IN ALL NON-PAVED AREAS AND INITIATE PERMANENT STABILIZATION MEASURES.
15. MAINTAIN ALL SEDIMENT AND EROSION CONTROL FEATURES THROUGHOUT THE LIFE OF THE PROJECT.
16. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK, WITH NO TIME PERIOD BETWEEN INSPECTIONS EXCEEDING 9 DAYS, AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE. BMPS SHALL BE ASSESSED BY THE CONTRACTOR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 1.0 INCH OR GREATER, AS WELL AS DURING THE FIRST RAIN EVENT AFTER THE INITIATION OF CONSTRUCTION ACTIVITIES, AFTER THE INSTALLATION OF THE BMPS.
17. UPON COMPLETE STABILIZATION OF THE ASPHALT PAVING, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND REMOVE SEDIMENT BUILDUP FROM THE STORMWATER CONVEYANCE SYSTEM.
18. CONDUCT FINAL INSPECTION WITH TOWN OF PROSPERITY.
19. SUBMIT NOTICE OF TERMINATION (NOT) TO NEWBERRY COUNTY AS APPROPRIATE (BY ENGINEER).

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KEY NOTES:

- 1 EXISTING LIGHT POLE TO REMAIN
- 2 EXISTING CATCH BASIN W/ TEMPORARY SILT FENCE INLET PROTECTION
- 3 EXISTING CONCRETE SIDEWALK TO REMAIN
- 4 EXISTING LIGHT POLE TO BE RELOCATED
- 5 EXISTING FLAG POLE TO BE REMOVED
- 6 EXISTING 3/4" WATER METER TO BE RELOCATED
- 7 EXISTING ELECTRIC PANEL TO BE DEMOLISHED
- 8 EXISTING PEDESTAL MOUNTED JUNCTION BOX TO BE REMOVED
- 9 EXISTING LANDSCAPE AREA TO BE CLEARED
- 10 EXISTING HARDSCAPE FEATURE TO BE REMOVED
- 11 EXISTING BUILDING TO BE REMOVED BY THE OWNER PRIOR TO START OF CONSTRUCTION
- 12 EXISTING FOUNTAIN TO BE REMOVED
- 13 EXISTING STOP SIGN TO REMAIN
- 14 EXISTING ASPHALT PAVEMENT TO REMAIN
- 15 EXISTING CURB AND GUTTER TO REMAIN
- 16 EXISTING PARKING SPACE STRIPING TO REMAIN
- 17 TEMPORARY SILT FENCE
- 18 TEMPORARY SEDIMENT TUBE
- 19 EXISTING ADA PARKING TO REMAIN
- 20 EXISTING WATER SPIGOT TO BE RELOCATED
- 21 CONCRETE WASHOUT
- 22 EXISTING ADA RAMP AND CURB TO BE REMOVED
- 23 EXISTING 6" DIP WATER MAIN
- 24 EXISTING 3/4" WATER TAP AND SERVICE
- 25 EXISTING TIME CAPSULE TO BE SALVAGED. TURN OVER TO TOWN OF PROSPERITY.

LEGEND:

- LANDSCAPE, CONCRETE, AND BUILDING REMOVAL
- CONCRETE CURB REMOVAL



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WKD PROJECT NO. - 20240498.00.WK

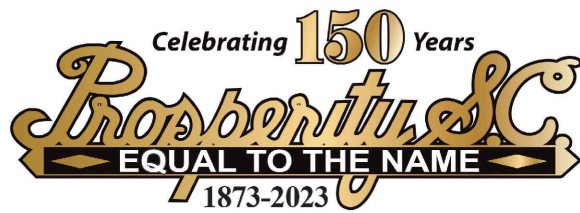
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Project



NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS
TOWN SQUARE PARK

Project Number 21393-D
Drawn By CJL
Checked By JHE
Date 4 SEP 2025

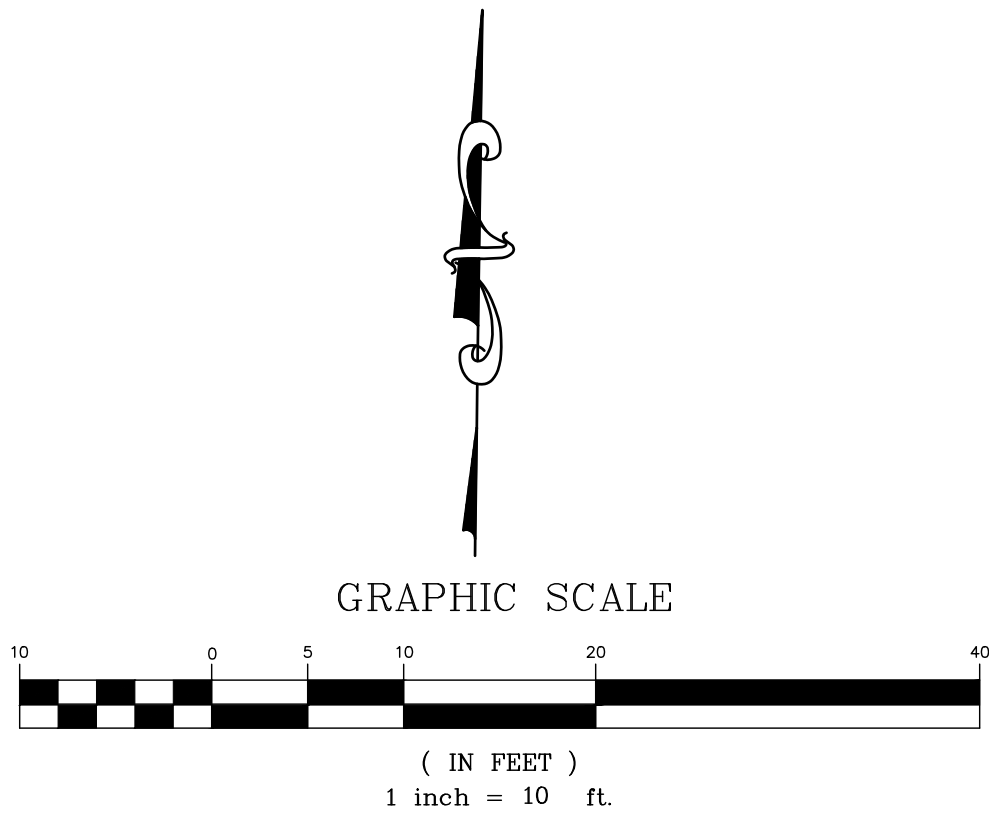
Revisions

Drawing

DEMO & ESC PLAN

CD-101

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DEVELOPMENT SUMMARY

PARCEL # :	462-2-2-11
PARCEL ACREAGE:	±0.17 AC
DISTURBED AREA:	0.11 AC
ZONING:	UNZONED
EXISTING USE:	PUBLIC RECREATIONAL PARK
PROPOSED USE:	PUBLIC RECREATIONAL PARK
EXISTING BUILDING AREA:	71 SF
PROPOSED BUILDING AREA:	450 SF
EXISTING IMPERVIOUS AREA:	0.01 AC
PROPOSED IMPERVIOUS AREA:	0.05 AC
OFF-STREET PARKING:	
EXISTING PARKING:	16 SPACES
PROPOSED PARKING:	16 SPACES

NOTES:

1. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES.
2. REFER TO SHEET G-002 FOR CONSTRUCTION EROSION CONTROL SEQUENCE.
3. ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT, TO CENTERLINE OF STRIPING, TO PROPERTY LINE, OR CORNER UNLESS OTHERWISE SPECIFIED.
4. ALL PAVEMENT MARKINGS AND ROADWAY SIGNAGE SHALL MEET ALL REQUIREMENTS OF THE FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND TOWN OF PROSPERITY.

KEY NOTES:

- 1 PROPOSED GAZEBO (468 SF)
- 2 PROPOSED BRICK PAVERS AND RIBBON CURB (SEE LANDSCAPE ARCH. PLANS)
- 3 PROPOSED PARK BENCH W/ CONCRETE FOOTING (TYP. OF 6)
(SEE LANDSCAPE ARCH. PLANS)
- 4 PROPOSED FLAGPOLE BY OWNER (TYP. OF 3)
- 5 PROPOSED GRASS AREA
- 6 PROPOSED TREE WITH MULCH BEDDING (SEE LANDSCAPING PLANS)
- 7 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE ARCH. PLANS)
- 8 EXISTING STOP SIGN
- 9 PROPOSED ELECTRICAL HANDHOLE BOX FOR LIGHT POLES. (SEE ELECTRICAL PLANS)
- 10 EXISTING LIGHT POLE. REFER TO ELECTRICAL DRAWINGS FOR NEW RECEPTACLES.
- 11 PROPOSED RELOCATED LIGHT POLE
(COORDINATE WITH TOWN OF PROSPERITY/NEWBERRY ELECTRIC COOP.)
- 12 PROPOSED ELECTRICAL PEDESTAL. REFER TO ELECTRICAL DRAWINGS.
- 13 EXISTING WATER METER RELOCATED
- 14 EXISTING WATER SPIGOT RELOCATED
- 15 EXISTING CONCRETE SIDEWALK
- 16 PROPOSED WATER FEATURE; PROVIDE WATER SUPPLY PIPING TO FILL VALVE.
- 17 EXISTING ASPHALT PAVEMENT
- 18 EXISTING CONCRETE CURB AND GUTTER
- 19 PROPOSED 6" CONCRETE VERTICAL CURB
- 20 PROPOSED 1 FT CONCRETE RIBBON CURB
- 21 EXISTING PARKING SPACE STRIPING (TYP.)
- 22 EXISTING ADA PARKING (TYP.)
- 23 PROPOSED CHRISTMAS TREE LOCATION (PROVIDE POWER PER ELECTRICAL DRAWINGS; FIELD LOCATE WITH OWNER)
- 24 PROPOSED ADA RAMP
- 25 EXISTING 3" WATER SERVICE REROUTED TO THE NEW FOUNTAIN
- 26 PROPOSED 3" WATER SERVICE TO RECONNECT RELOCATED METER AND EXISTING LINE
- 27 EXISTING 3" WATER SERVICE LINE (LOCATION APPROX. FROM TOWN OF PROSPERITY UTILITIES)
- 28 EXISTING 6" WATER MAIN (LOCATION APPROX. FROM TOWN OF PROSPERITY UTILITIES)
- 29 PROPOSED GROUND LIGHTS (TYP. OF 3)



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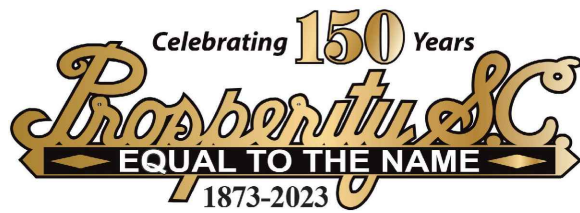
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Project



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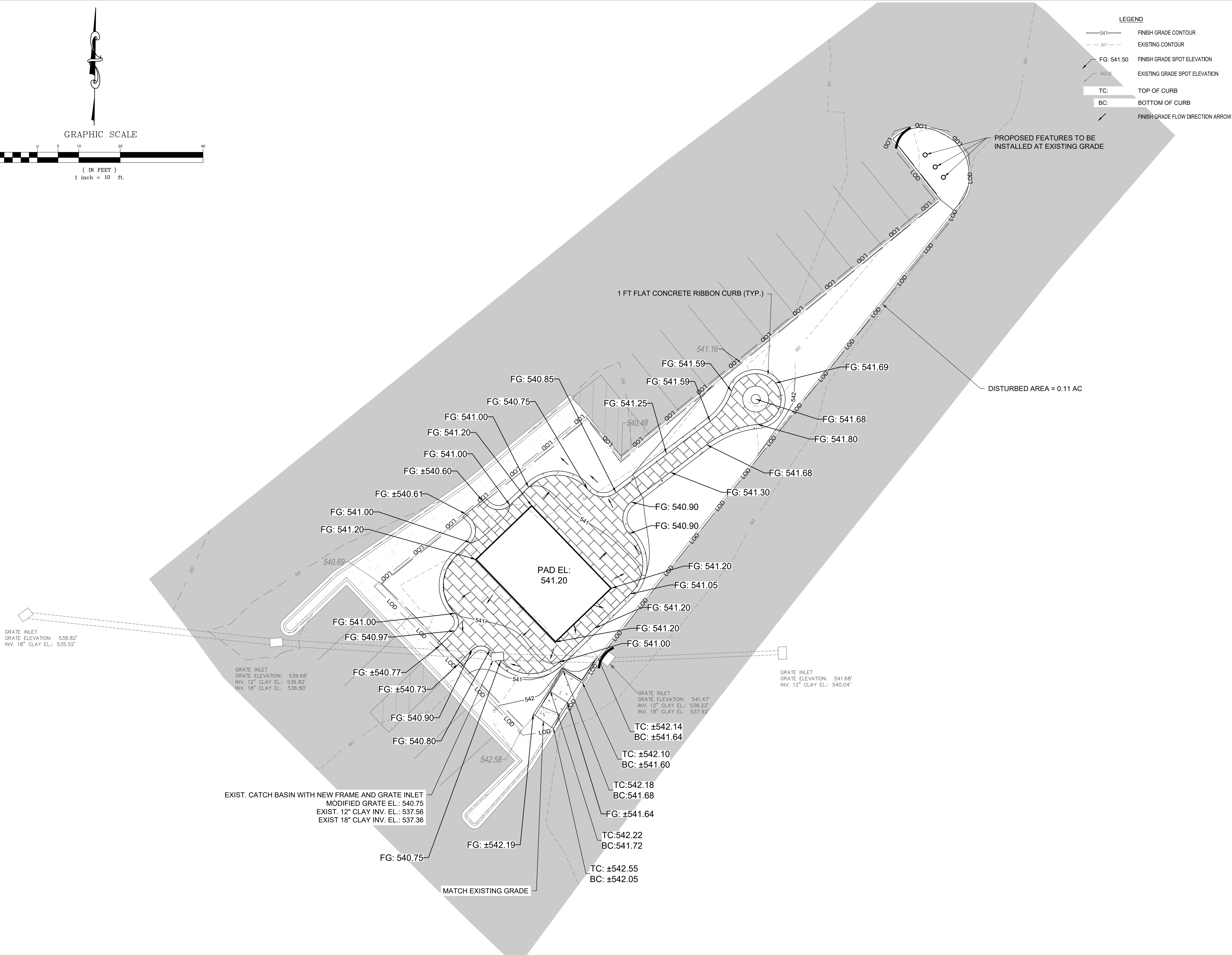
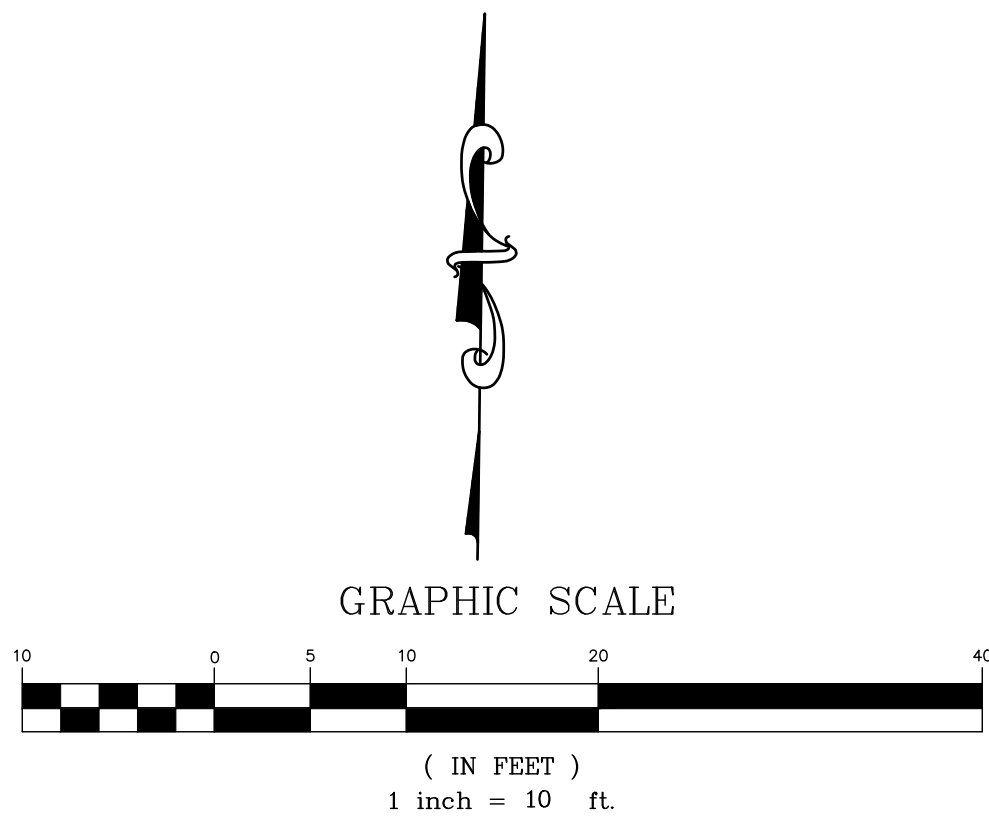
Revisions

Drawing

PARK SITE PLAN

C-101

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- LEGEND
- 541— FINISH GRADE CONTOUR
 - - - 541 - - - EXISTING CONTOUR
 - FG: 541.50 FINISH GRADE SPOT ELEVATION
 - 542.25 EXISTING GRADE SPOT ELEVATION
 - TC: TOP OF CURB
 - BC: BOTTOM OF CURB
 - FINISH GRADE FLOW DIRECTION ARROW

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AN ARDURRA COMPANY

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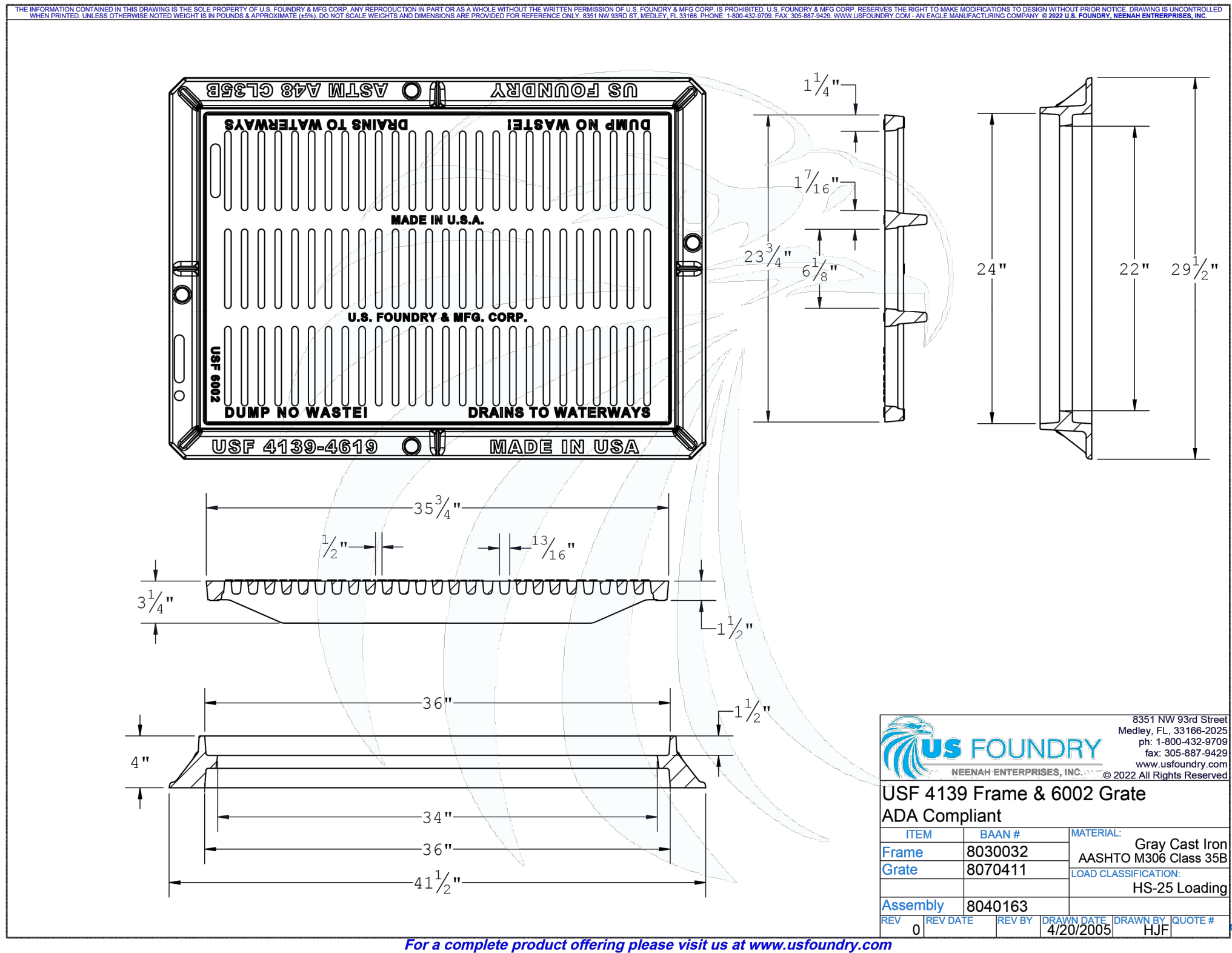
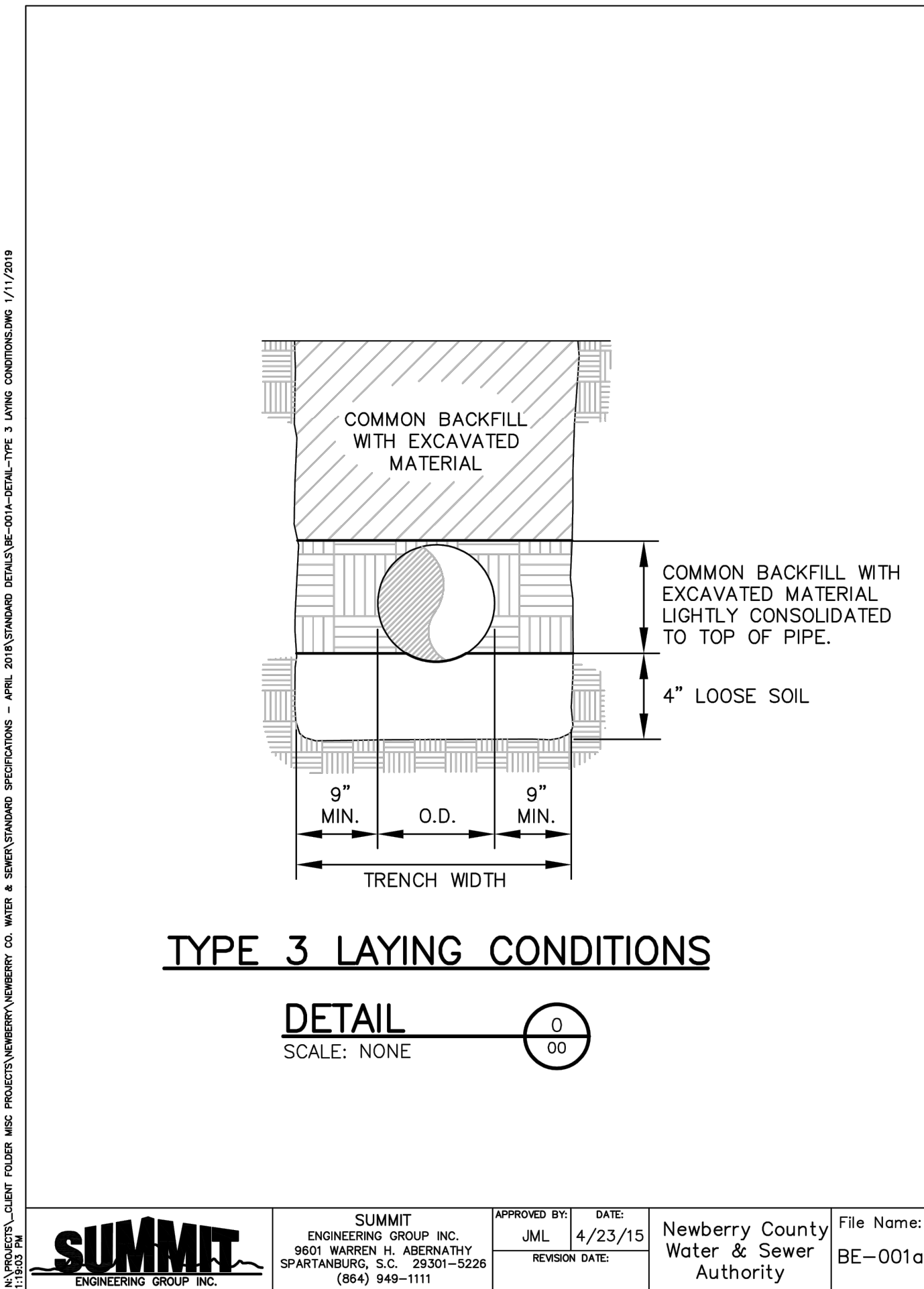
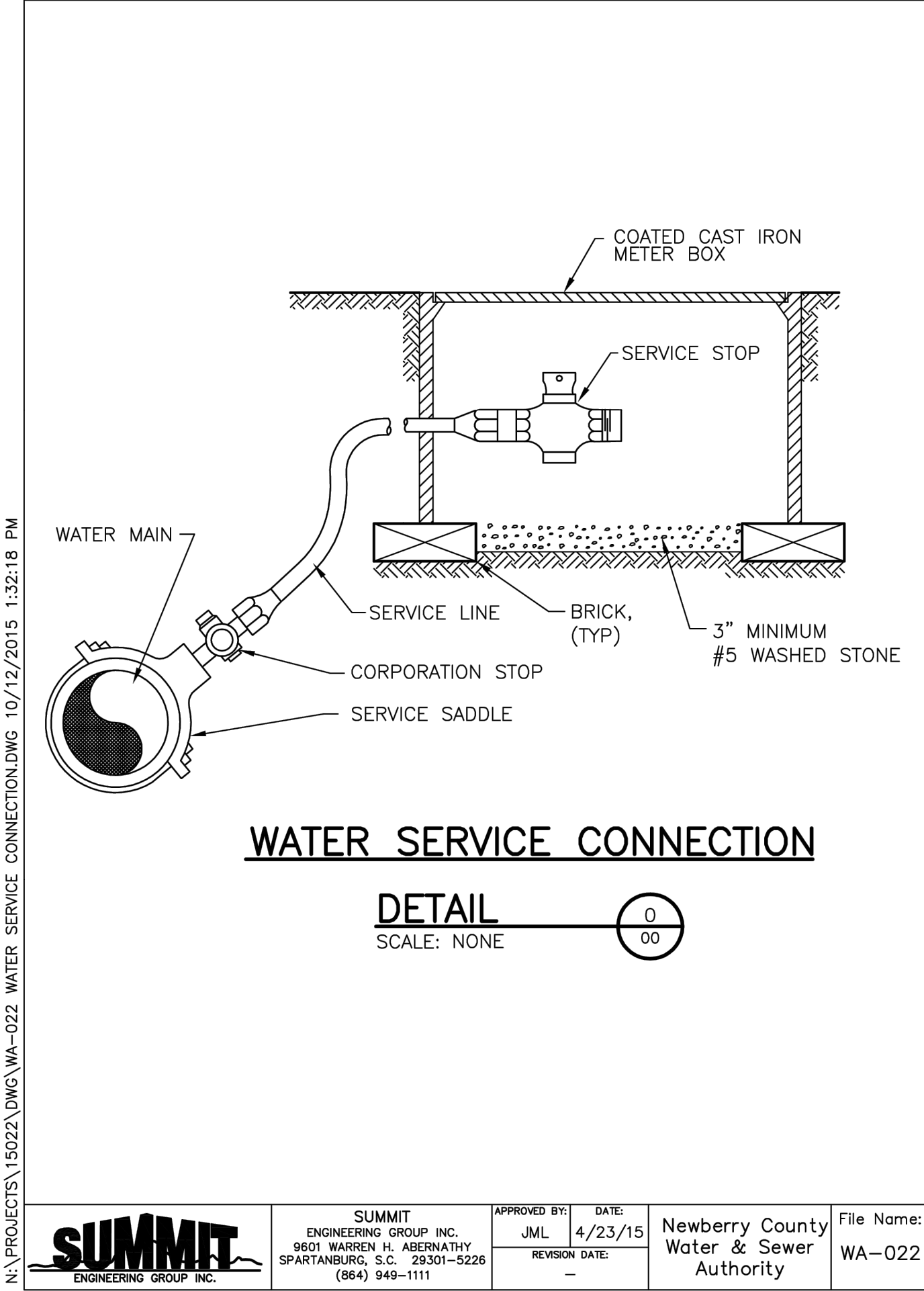
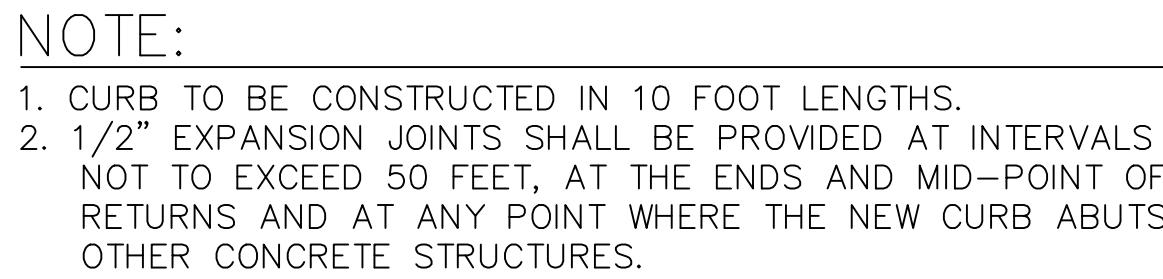
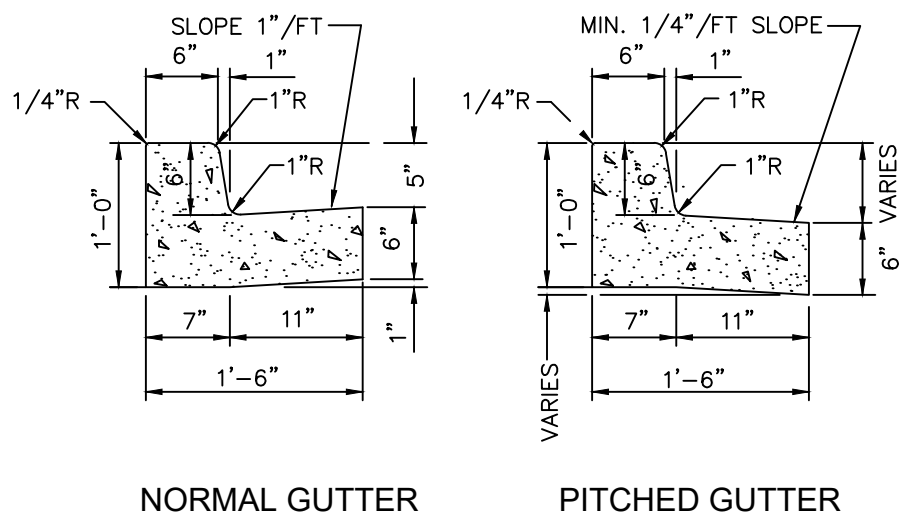
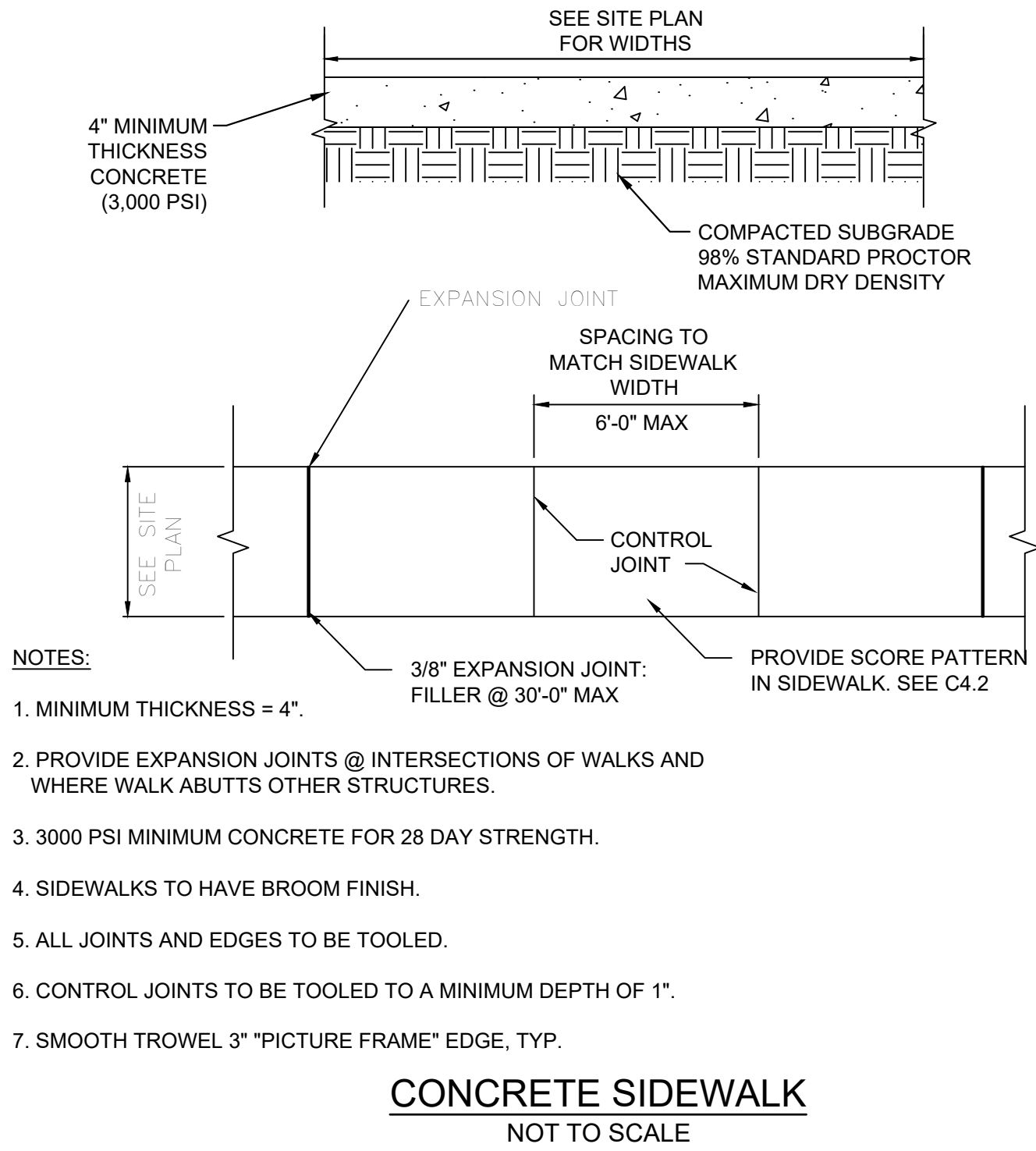
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GRADING PLAN

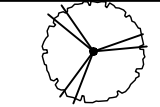
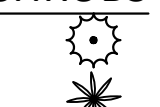
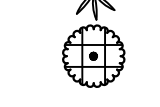




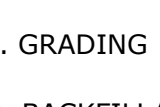
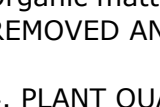
C-102

SEDIMENT TUBES – INSPECTION & MAINTENANCE

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PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
DECIDUOUS TREES					
	CF	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY REDBUD	B & B	2" CAL	2
SHRUBS					
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL		24
	HES PAR	HESPERALOE PARVIFLORA / RED YUCCA	3 GAL		2
	THU OCG	THUJA OCCIDENTALIS 'CONGABE' / FIRE CHIEF ARBORVITAE	3 GAL		8
GRASSES					
	MUH CA2	MUHLBERGIA CAPILLARIS / PINK MUHLY	3 GAL		12
GROUND COVERS					
	ECH KIM	ECHINACEA PURPUREA 'KIM'S KNEE HIGH' TM / PURPLE CONEFLOWER	1 GAL	24" o.c.	8
	HYP CAL	HYPERICUM CALYCIINUM / CREEPING ST. JOHN'S WORT	4" POT	18" o.c.	34
	RH	RUDBECKIA HIRTA / BLACK-EYED SUSAN	1 GAL	24" o.c.	17
SOD/SEED					
	CL2	CYNODON DACTYLON X TRANSVAALENSIS 'TIFWAY 419' / TIFWAY 419 BERMUDAGRASS	SOD		1,703 SF

GENERAL NOTES:

1. GRADING All final grading shall be the responsibility of the landscape contractor.
2. BACKFILL/TOPSOIL Landscape contractor shall provide all planting areas with an organic, screened topsoil. Two inches (2)" of organic, screened topsoil should be added to and incorporated into all plant beds.
3. ORGANIC AMENDMENTS Organic amendments, comprised of 50% composted leaf mulch, 50% mushroom compost, should be added to all single planting holes and back fill for all plant beds and be thoroughly cultivated 6 inches deep to a fine texture (no clods over ½") with a mechanical tiller. Organic matter should comprise approximately 10 to 20 percent of this total soil volume. PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED. In addition, during planting, all plants shall receive a mycorrhizal based fertilizer amendment per item 7.
4. PLANT QUALITY All plants shall be nursery grown, have a full habit of growth as is characteristic of that species, and shall be free of disease or insects. General plant quality shall be as specified in the "USA Standard for Nursery Stock" (published by the American Association of Nurserymen) and meet ANSI Z60.1 standards. All 3 gallon deciduous material shall be a minimum of 2' in height. All 3 gallon evergreen material shall be a minimum of 18" height with the exception of the dwarf gardenia which should be a minimum of 12". All 5 gallon material shall be a minimum of 3' in height. All 7 gallon material shall be a minimum of 4' in height. **The owner and Landscape Architect reserve the right to modify plant selection during contract negotiations. If a particular species or cultivar is unavailable, the owner or Landscape Architect must approve a substitution.**
5. PLANTING HOLES Trees and shrubs: Remove rock and construction debris from planting area. Dig holes two to three times as wide as the rootball and almost as deep as the height of the root ball. Soil at the bottom of the hole is left undisturbed. The rootball of trees should sit 2"- 3" above the surrounding soil. See planting detail additional information.
6. SETTING OF PLANTS The root ball of container grown plants shall be scarified in several places prior to planting. Plant shrubs and trees so that the top of the root ball will be slightly above the adjacent soil line. SINGLE PLANTING HOLE - backfill bottom half of space around the rootball with loosened original soil (use amended soil only when necessary for good soil tilth. (See ORGANIC AMENDMENTS). Tamp lightly. Finish filling the hole with loose soil and then tamp again. SHRUB BEDS - Backfill bottom half of bed surrounding shrubs with amended backfill (see ORGANIC AMENDMENTS). Tamp lightly and water to settle soil. Finish filling hole with loose amended backfill and gently tamp again. Water shrub bed to settle soil. Mulch plant beds with 3" double ground hard wood mulch - KEEP MULCH OFF OF TREE TRUNKS AND PLANT STEMS.
7. FERTILIZING During planting, all plants shall receive a mycorrhizal based fertilizer amendment, such as Bio-Plex 5-in-1 Complete Planting granules, or equal (if approved by landscape architect), according to manufacturer's instructions. **This product must be incorporated into the soil used for backfill and cannot be installed on the surface after planting.**
8. STAKING OF TREES All trees over 5' height should be staked when planted. The Landscape Contractor is responsible for all wind damage to trees. (provided winds are less than 60 mph) during the guarantee period, and may stake other trees (for his own protection) at his option. Landscape Contractor will be responsible for removal of all staking material one year after installation. Any trees leaning more than 15 degrees from upright at the end of the the year guarantee must be replaced by the landscape contractor.
9. IRRIGATION All shrub beds and trees should be irrigated with drip - Rainbird, Toro or equal. Include rain sensor and ground moisture probes. System mush shut off after ¼ in rain event Lawn areas to receive spray heads. Provide shop drawing of final layout. Turf lawn areas shall receive spray irrigation.
10. MULCH All plant beds are to receive 3" of double ground hardwood mulch (not dyed) evenly distributed. Ensure mulch is NOT in contact with trunk of trees or stems of plants (no volcano mulching).
11. UTILITY LOCATION: The Landscape Contractor is responsible for contacting the utility locator service and is responsible for any damage done to utilities.
12. QUANTITIES Plant quantities are shown for the contractor's convenience only. PLANTS SHALL BE INSTALLED AS SHOWN. Contractor is responsible for confirming all quantities prior to bidding and installation.
13. BIDS In order to keep all bids standard, all bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contractor beginning work. This will be a unit price contract.
14. CLEAN UP Final clean up of any disturbances occurring as a result of landscape operations shall be the responsibility of the landscape contractor.
15. INSPECTION It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect prior to installation. All plant material will be inspected. Plants not conforming precisely to the plant list will not be accepted and shall be replaced at the contractor's own expense.
16. LICENSES The contractor will be responsible for obtaining all licenses necessary to complete the work.
17. INSURANCE With the submittal of bid documents, the landscape contractor shall also submit a certificate of insurance for workman's compensation and a contractor's general liability. Contractors not providing evidence of such insurance will be ineligible to receive the contract for the job.
18. GUARANTEE All plant material and workmanship to be guaranteed for one year from the date of acceptance by the Owner. Plant replacement to occur only once. The contractor will not be responsible for defects resulting from neglect by the Owner, abuse or damage by others, or unusual phenomena or incidents beyond the landscape contractors control which result from natural causes such as floods, lightning, storms freezing rain, or winds over 60 miles per hour, fire, vandalism or theft.

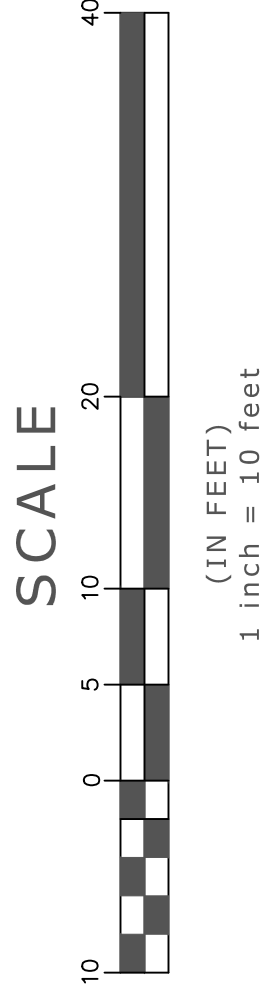
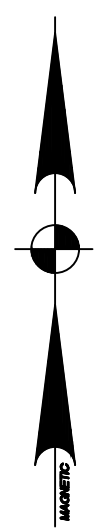
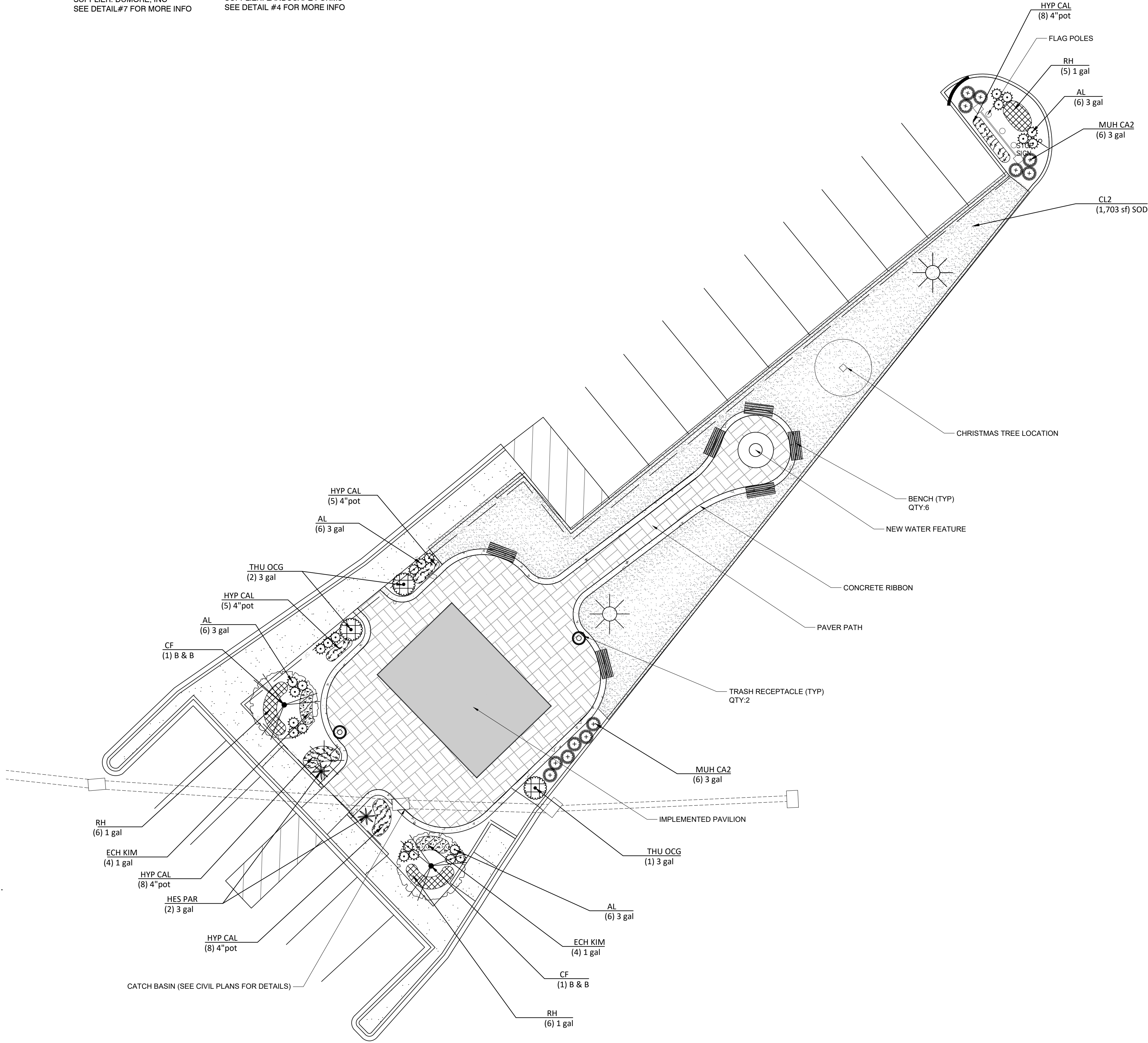
SITE AMENITIES



TRASH RECEPTACLE
QTY:2
SUPPLIER: DUMORE, INC
SEE DETAIL#7 FOR MORE INFO



BENCH
QTY:6
SUPPLIER: LANDSCAPE FORMS
SEE DETAIL #4 FOR MORE INFO



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PROSPERITY PARK
IMPROVEMENTS

PROSPERITY TOWN
SQAURE

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IFP SET

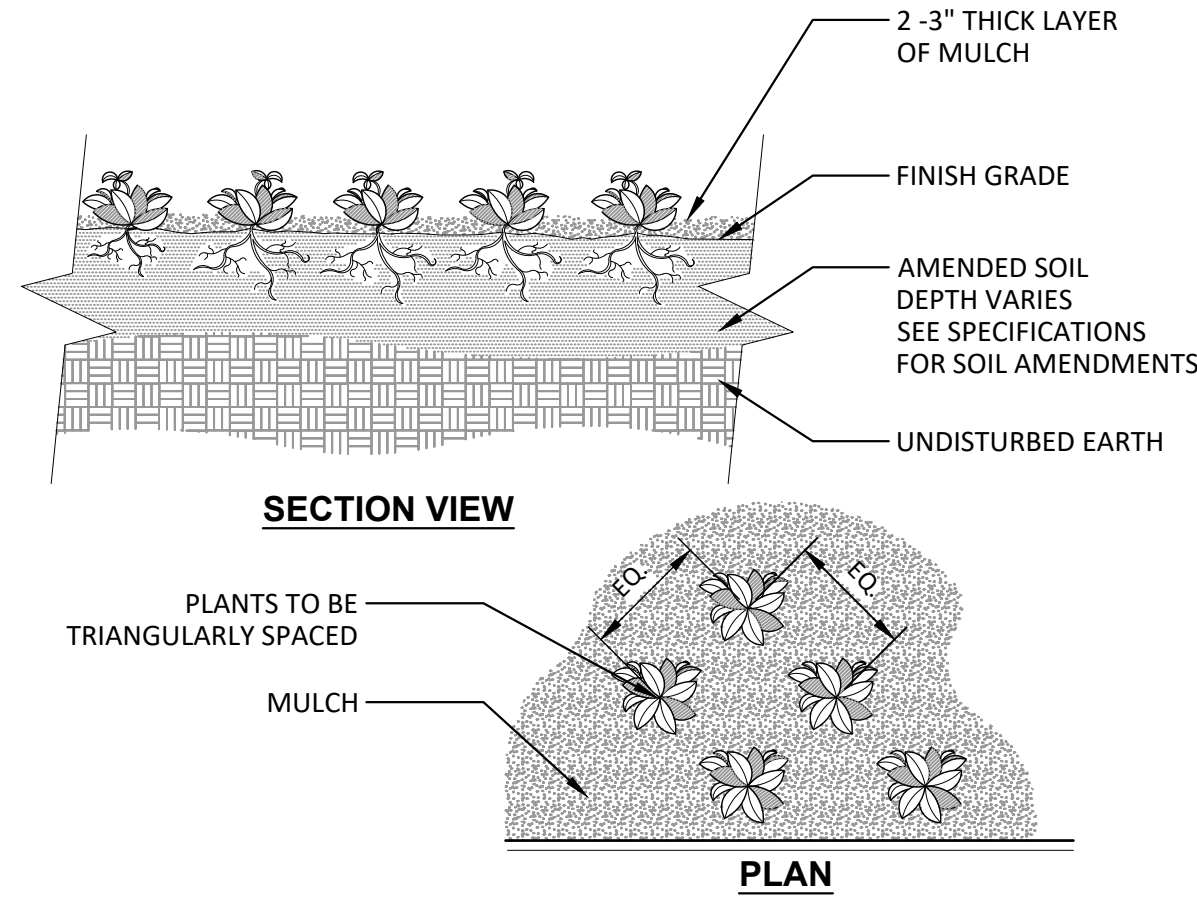
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LAST REVISED:
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JOB #: 24569

ALTERNATE No.3

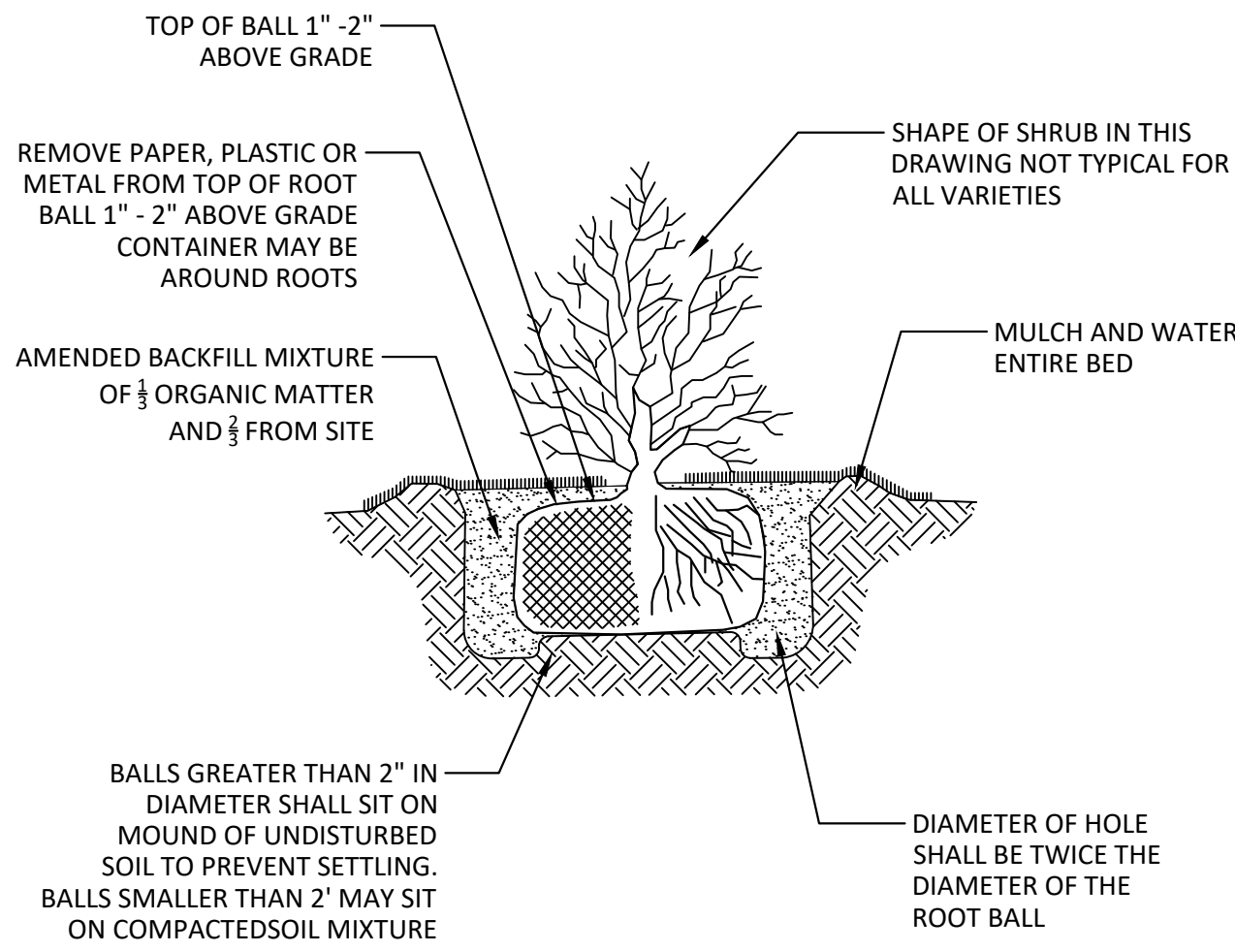


Notes:
1- See planting legend for groundcover species, size, and spacing dimension.
2- Small roots ($\frac{1}{4}$ " or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting.
3- Settle soil around root ball of each groundcover prior to mulching.

1 GROUNDCOVER DETAIL

3/4" = 1'-0"

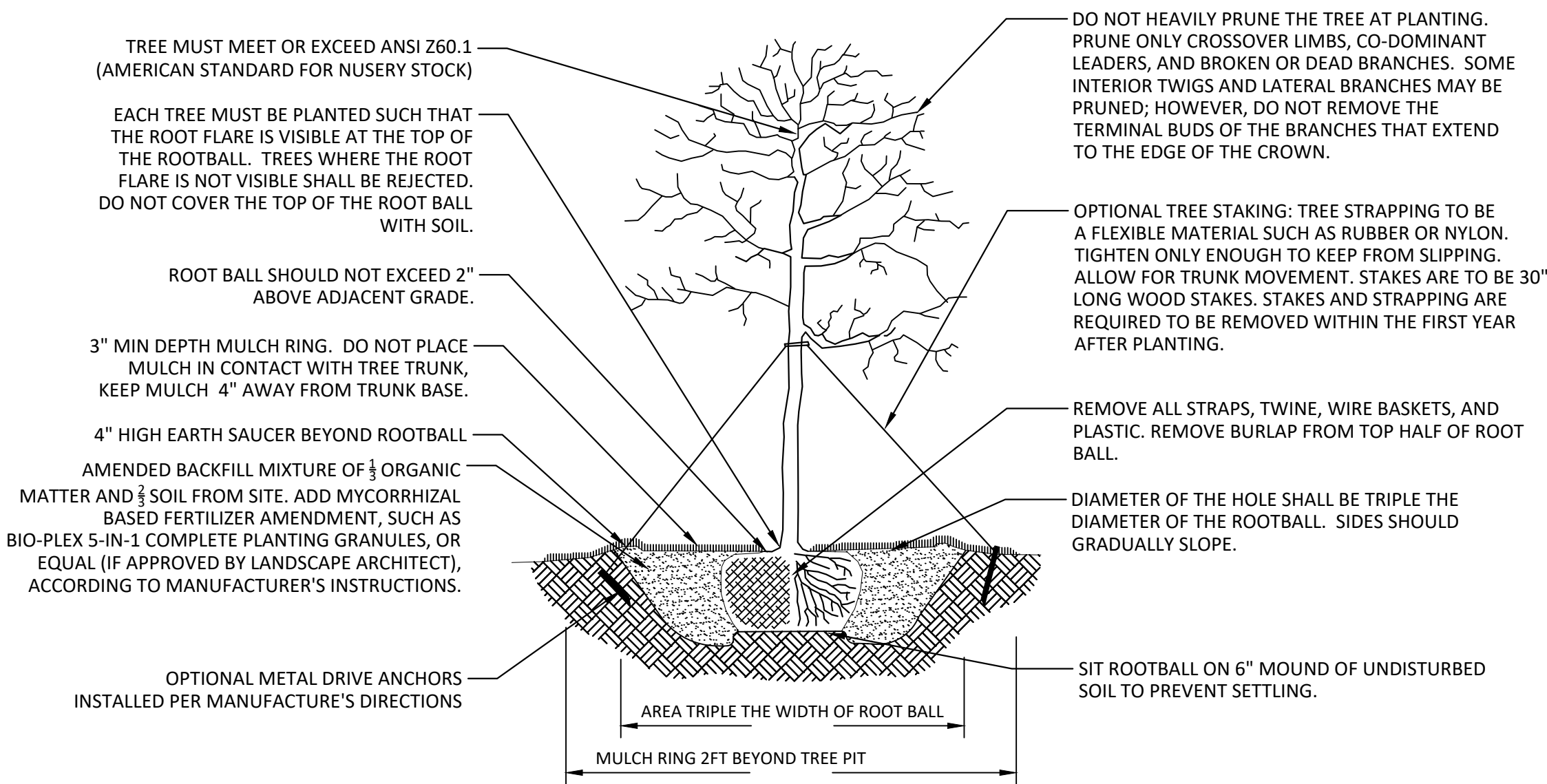
P-ED-24



2 SHRUB PLANTING DETAIL

3/16" = 1'-0"

P-ED-23

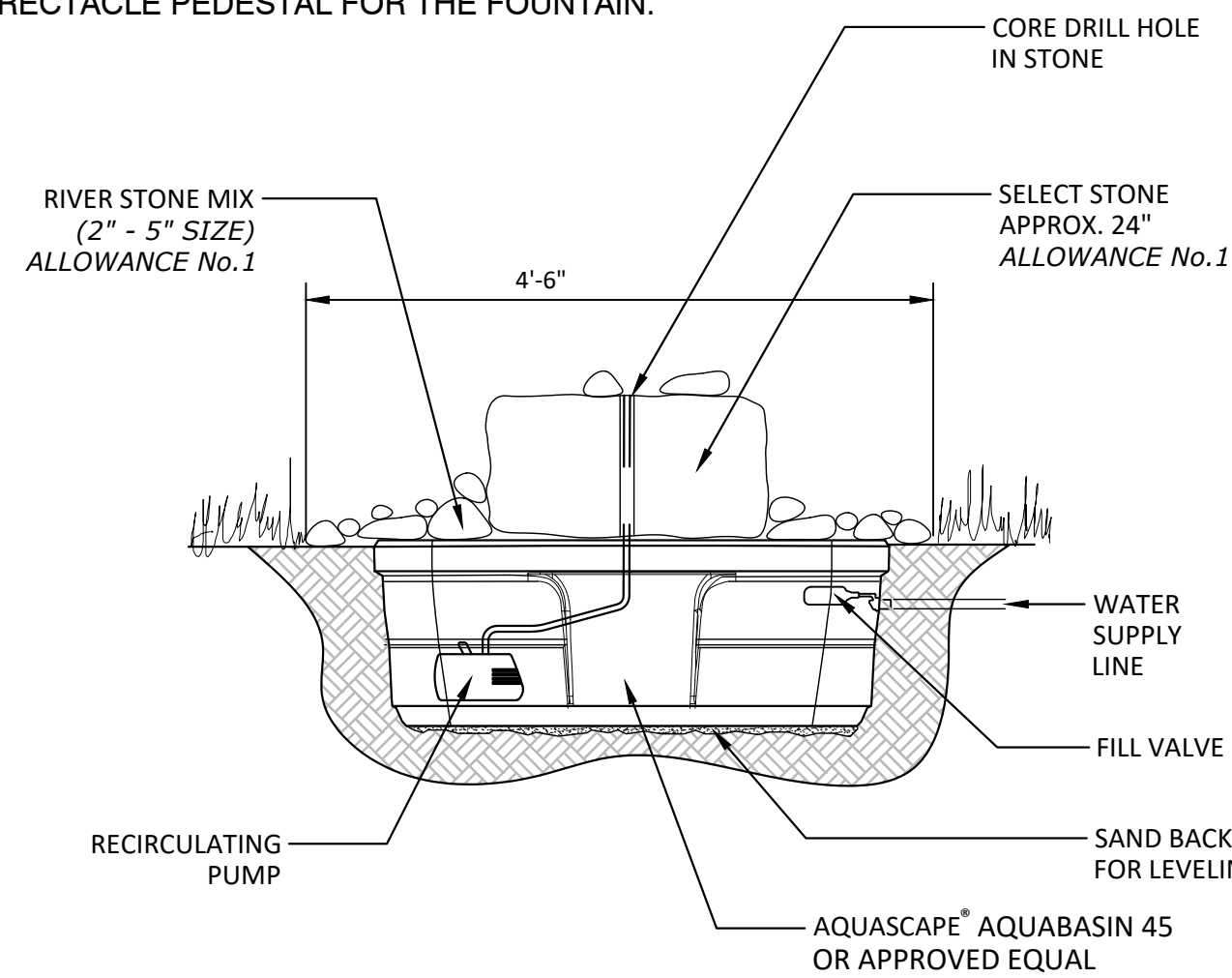


3 TREE PLANTING DETAIL - SINGLE TRUNK

3/16" = 1'-0"

P-ED-CIT-07

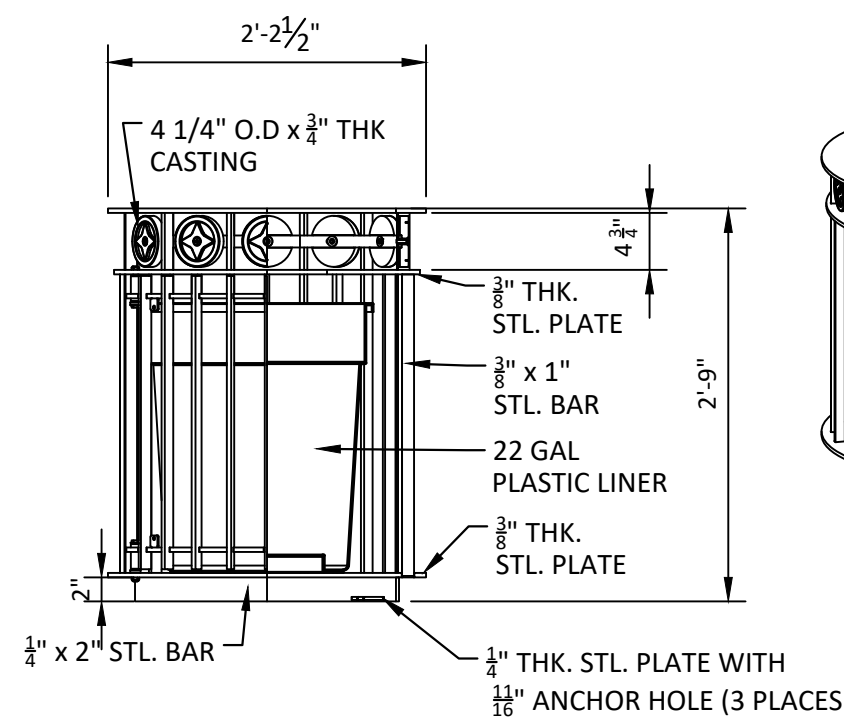
NOTE: CONTRACTOR TO COORDINATE CONCEALING OF WATER FEATURE RECTACLE PEDESTAL FOR THE FOUNTAIN.



6 SMALL CORE-DRILLED BOULDER FOUNTAIN

3/4" = 1'-0"

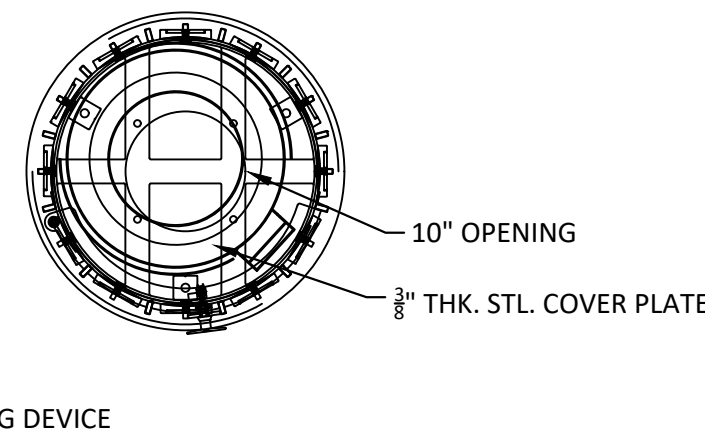
P-ED-WAT-01



7 RECEPTACLE 148 BY DUMOR, INC

3/4" = 1'-0"

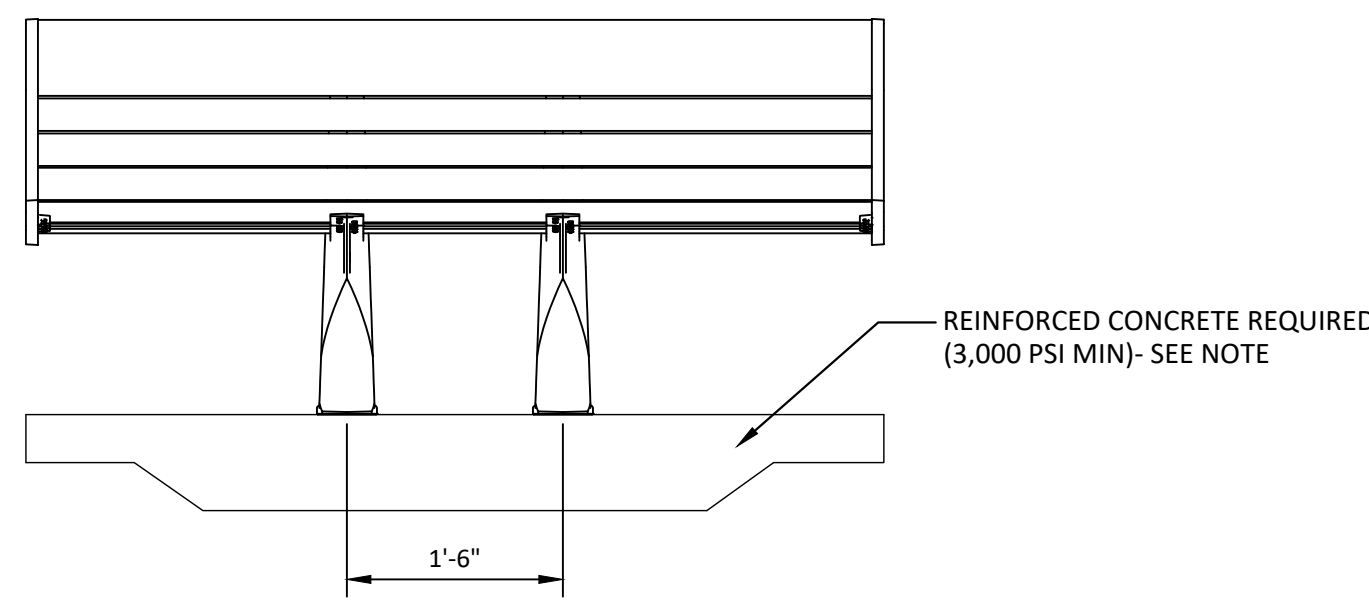
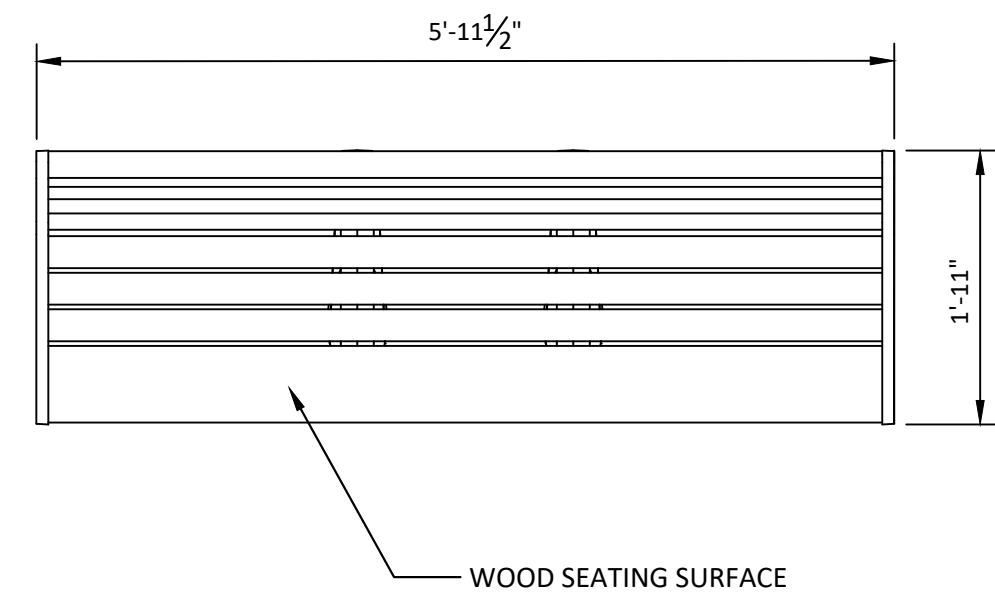
NOTES:
1.) ALL STL. MEMBERS COATED WITH ZINC RICH EPOXY THEN FINISHED WITH POLYESTER POWDER COATING
2.) 1/4" x 3/8" EXPANSION ANCHOR BOLTS PROVIDED
3.) SIDE OF RECEPTACLE HINGES OPEN FOR REMOVAL OF LINER
4.) LATCH PROVIDED WITH KEY, USE OF KEY OPTIONAL
5.) RECEPTACLE FULLY ASSEMBLED AT FACTORY



SUPPLIER: DUMOR, INC
TELEPHONE: 800-598-4018
WEBSITE: WWW.DUMOR.COM
PRODUCT: RECEPTACLE 148
FINISH: TBD BY OWNER



P-ED-TRA-01



NOTE:
SEE INSTALLATION GUIDE FOR FOOTING AND ANCHORING RECOMMENDATIONS

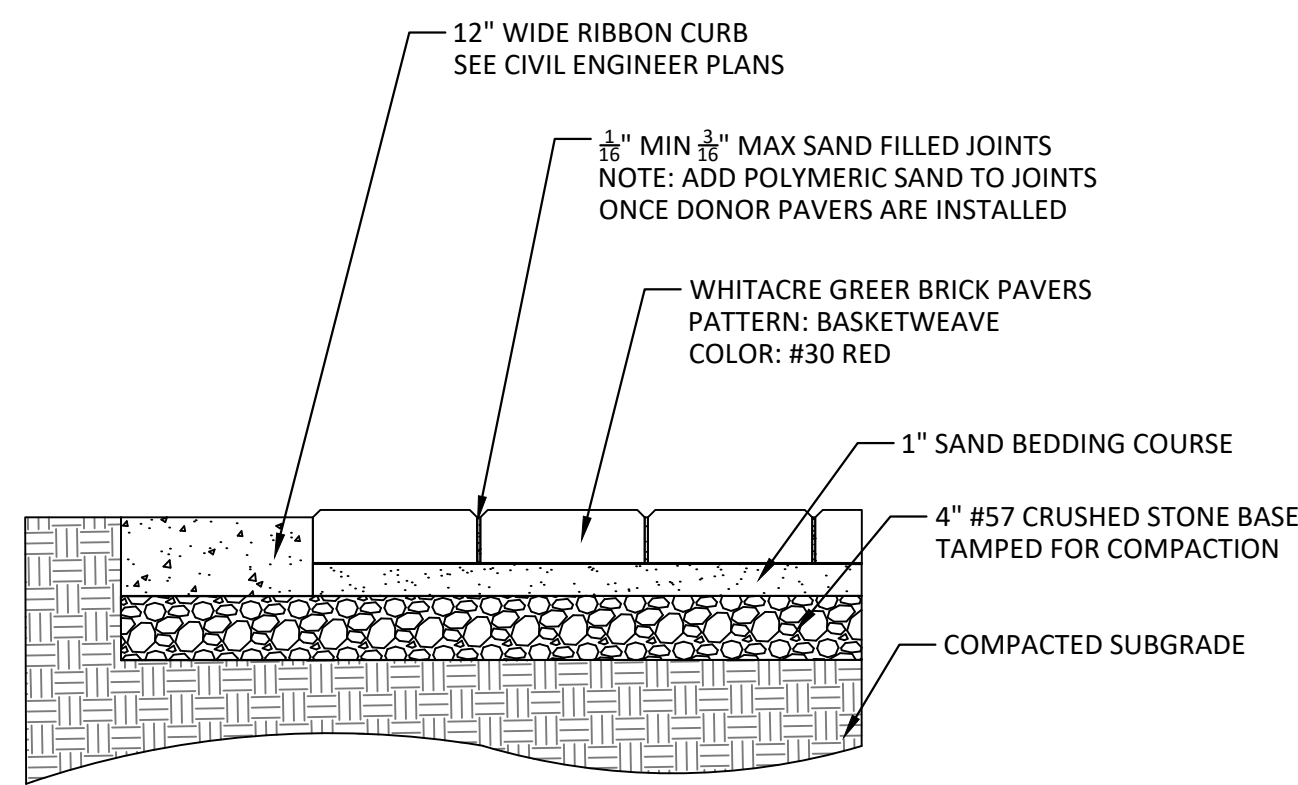
SUPPLIER: LANDSCAPE FORMS
TELEPHONE: 800-521-2546
WEBSITE: WWW.LANDSCAPEFORMS.COM
PRODUCT: AUSTIN™
STYLE: BACKED BENCH, CANTILEVER, WOOD, NO ARMS
FINISH: TBD BY OWNER



4 AUSTIN™ BENCH BY LANDSCAPE FORMS

3/4" = 1'-0"

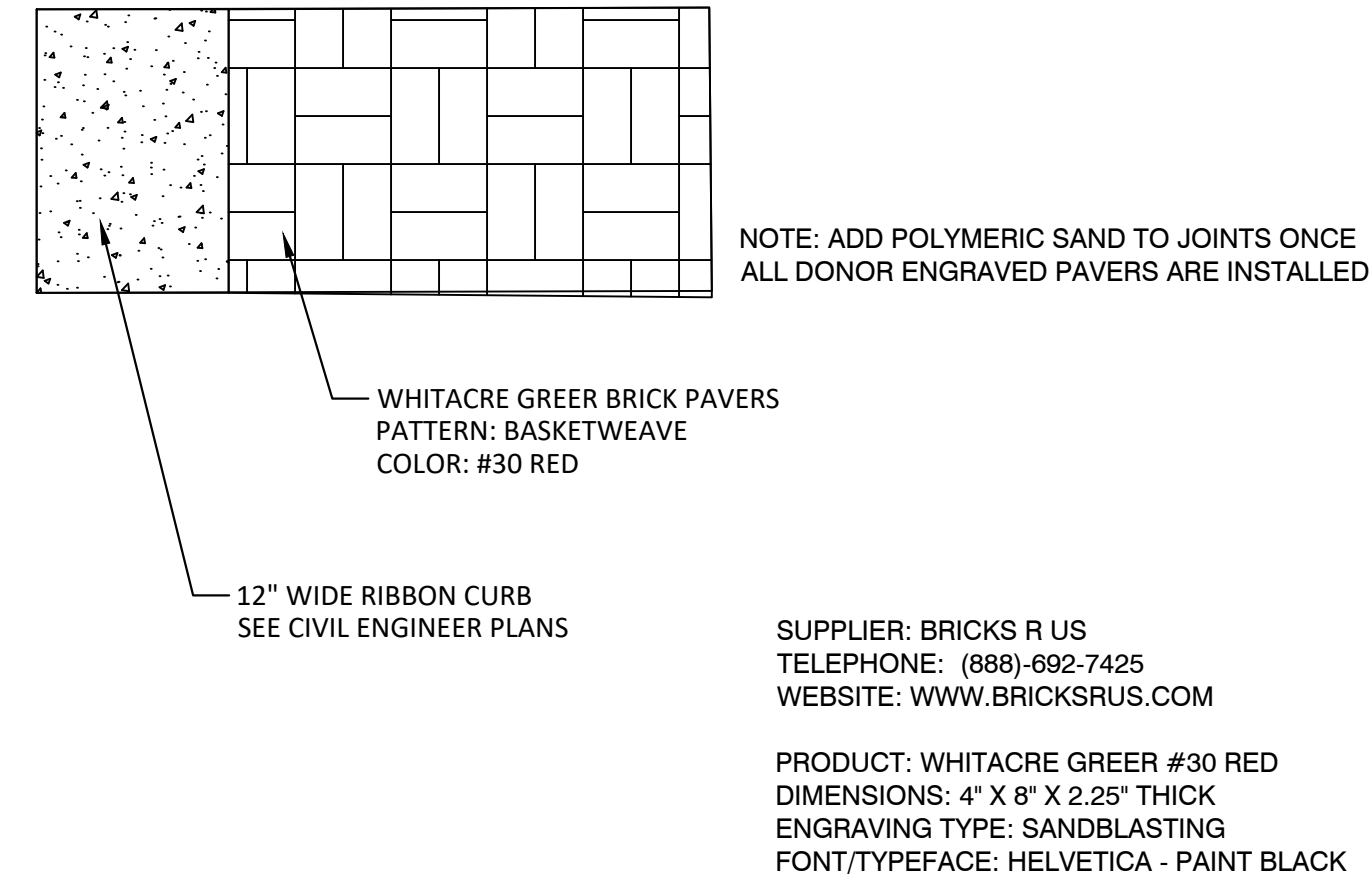
P-ED-BEN-04



5 PAVER PATH WITH CONCRETE BAND

1" = 1'-0"

P-ED-PAT1-23



SUPPLIER: BRICKS R US
TELEPHONE: (888)-692-7425
WEBSITE: WWW.BRICKSRUS.COM

PRODUCT: WHITACRE GREER #30 RED
DIMENSIONS: 4" X 8" X 2.25" THICK
ENGRAVING TYPE: SANDBLASTING
FONT/TYPEFACE: HELVETICA - PAINT BLACK

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NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS

PROSPERITY TOWN
SQAURE

PROSPERITY
PARKS TOWN
SQUARE
IFP SET

DATE DRAWN: 09/04/2025
LAST REVISED:
DESIGNER:
DRAWN BY:

SHEET #:

L-102

JOB #: 24569

ALTERNATE No.3

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GENERAL

- A. USE THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND SHOP DRAWINGS.
- B. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONTRACT DOCUMENTS AND LATEST ADDENDA, AS WELL AS SUBMITTING TO ALL SUBCONTRACTORS AND SUPPLIERS PRIOR TO SUBMITTING SHOP DRAWINGS.
- C. DO NOT SCALE DRAWINGS OR AUTO-DIMENSION ELECTRONIC FILES. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES IN WRITING PRIOR TO FABRICATION OR CONSTRUCTION.
- D. COMPARE ALL CONTRACT DRAWINGS AND REPORT ANY DISCREPANCIES BETWEEN DISCIPLINES, AND WITHIN A GIVEN DISCIPLINE, TO THE ARCHITECT AND ENGINEER PRIOR TO FABRICATION AND ERECTION.
- E. IF A CONFLICT EXISTS AMONG THE STRUCTURAL DRAWINGS OR GENERAL NOTES, THE STRICTEST REQUIREMENTS, AS INDICATED BY THE ENGINEER, GOVERNS.
- F. COORDINATE ALL ELEVATIONS AND DIMENSIONS, INCLUDING BUT NOT LIMITED TO, OPENINGS IN WALLS AND IN ROOF AND FLOOR SYSTEMS, WITH THE ARCHITECTURAL, PLUMBING, ELECTRICAL, AND MECHANICAL PLANS.
- G. VERIFY ALL DIMENSIONS, ELEVATIONS, AND ANY OTHER EXISTING CONDITIONS. NOTIFY THE ARCHITECT AND ENGINEER OF DISCREPANCIES BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. DURING THE CONSTRUCTION PROCESS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE AND TO PROTECT FROM DAMAGE ANY PORTIONS THAT REMAIN. THE SHORING AND BRACING SHOWN (IF ANY) IS A PARTIAL AND SCHEMATIC REPRESENTATION. DETERMINE THE ERECTION PROCEDURE TO ENSURE THE STABILITY AND SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION.
- H. THE COMPLETED LATERAL-FORCE RESISTING SYSTEMS (LFRS), INCLUDING THE DIAPHRAGMS, ARE REQUIRED TO RESIST LATERAL LOADS AND PROVIDE STABILITY UNDER GRAVITY LOADS. DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR ALL BRACING DURING CONSTRUCTION TO MAINTAIN THE STABILITY AND SAFETY OF ALL STRUCTURAL ELEMENTS UNTIL THE LATERAL-LOAD RESISTING OR STABILITY-PROVIDING SYSTEM IS COMPLETELY INSTALLED AND THE STRUCTURE IS COMPLETELY TIED TOGETHER.
- I. UNLESS NOTED OTHERWISE, DETAILS SHOWN ARE TYPICAL FOR ALL SIMILAR CONDITIONS.
- J. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS, AS WELL AS SAFETY PRECAUTIONS AND PROGRAMS.
- K. BRITT, PETERS & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, NOR FAILURE TO PERFORM WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- L. PERIODIC SITE OBSERVATION BY BRITT, PETERS & ASSOCIATES, INC. IS FOR DETERMINING IF THE WORK IS PROCEEDING IN ACCORDANCE WITH THE STRUCTURAL CONTRACT DOCUMENTS. STRUCTURAL OBSERVATIONS ARE NOT INTENDED AS QUALITY CONTROL (CONTRACTOR'S RESPONSIBILITY), QUALITY ASSURANCE (SPECIAL INSPECTOR'S RESPONSIBILITY), NOR TO CONFIRM THE QUALITY OR QUANTITY OF THE WORK.
- M. THE BUILDING OWNER IS RESPONSIBLE FOR PERIODIC MAINTENANCE TO ENSURE STRUCTURAL INTEGRITY. MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO, STEEL/CONCRETE COATINGS, SEALANTS, CAULKED JOINTS, EXPANSION JOINTS, CONTROL JOINTS, SPALLS, AND CRACKS IN CONCRETE, AND CLEANING OF EXPOSED STRUCTURAL ELEMENTS.

DESIGN CRITERIA

- A. STRUCTURAL DRAWINGS ARE BASED ON THE REQUIREMENTS OF THE 2021 INTERNATIONAL BUILDING CODE, 2021 SOUTH CAROLINA BUILDING CODE AND THE REFERENCED SECTIONS WITHIN.
- B. LIVE LOADS
1. LIVE LOADS ARE BASED ON THE MORE RESTRICTIVE OF THE UNIFORM LOAD OR THE CONCENTRATED LOAD LISTED ACTING OVER A 6.25 SQUARE FOOT AREA. LIVE LOADS HAVE BEEN REDUCED AS PRESCRIBED IN THE AFOREMENTIONED BUILDING CODE.

LIVE LOADS		
CATEGORY	UNIFORM LOAD (PSF)	CONCENTRATED LOAD (LBS)
ROOFS: ALL ROOF SURFACES SUBJECT TO WORKERS		300
ROOFS: ORDINARY ROOF	20	

- C. DESIGN SNOW LOADS:
1. GROUND SNOW LOAD: P_g 10 PSF
2. FLAT ROOF SNOW LOAD: P_f 12 PSF
3. SNOW EXPOSURE FACTOR: C_e 0.9
4. SNOW THERMAL FACTOR: C_t 1.0
5. SLOPE FACTOR: C_s 1.0
6. SNOW IMPORTANCE FACTOR: I_s 1.0
7. RAIN-ON-SNOW SURCHARGE: 5 PSF
- D. DESIGN WIND LOADS:
1. BASIC WIND SPEED: V_{ULT} 110 MPH (3-SEC GUST)
2. BASIC WIND SPEED: V_{ASD} 85 MPH (3-SEC GUST)
3. RISK CATEGORY: II
4. WIND EXPOSURE: B
- E. SEISMIC LOADS:
1. RISK CATEGORY: II
2. SEISMIC IMPORTANCE FACTOR: I_e 1.0
3. SHORT PERIOD SPECTRAL RESPONSE ACCELERATION: S_s 0.325 g
4. 1-SEC PERIOD SPECTRAL RESPONSE ACCELERATION: S_1 0.163 g
5. SITE CLASS: D (ASSUMED)
6. SHORT PERIOD DESIGN SPECTRAL RESPONSE ACCELERATION: S_{DS} 0.334 g
7. 1-SEC PERIOD DESIGN SPECTRAL RESPONSE ACCELERATION: S_{D1} 0.163 g
8. SEISMIC DESIGN CATEGORY: C

DEMOLITION

- A. REMOVE STRUCTURE FROM TOP DOWN. DO NOT ALLOW DEBRIS TO PILE UP OR FALL ON SLABS TO REMAIN. USE PLYWOOD AND/OR OTHER MEANS TO PROTECT SLABS FROM DAMAGE. REPAIR OR REPLACE DAMAGED SLABS, BEAMS, OR OTHER COMPONENTS AS DIRECTED BY OWNER.
- B. THESE DRAWINGS ARE INTENDED TO DEFINE LIMITS OF STRUCTURAL ELEMENT REMOVAL, AND PRECAUTIONS FOR PREVENTING DAMAGE TO STRUCTURE TO REMAIN. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.
- C. FOLLOW THESE GUIDELINES FOR STEEL MEMBER REMOVAL:
1. BOLTED CONNECTIONS MAY BE REMOVED BY WITHDRAWING BOLTS AFTER SUPPORTED MEMBERS HAVE BEEN REMOVED.
2. TO PREVENT DAMAGE TO COLUMNS INTENDED TO REMAIN; DO NOT BURN OFF BEAM/GIRDER CONNECTION AT THE FACE OF THE COLUMN. OUTSTANDING LEGS OF CONNECTION ANGLES MAY BE BURNED OFF.
3. SIMILARLY, WHERE BEAMS TO BE REMOVED ARE CONNECTED TO GIRDERS OR OTHER BEAMS WHICH WILL REMAIN, DO NOT BURN OFF CONNECTIONS AT THE FACE OF THE MEMBER TO REMAIN.
- D. FIELD VERIFY ALL EXISTING CONDITIONS. SUBMIT A WRITTEN REPORT IDENTIFYING DEVIATIONS FROM THE EXISTING STRUCTURE INDICATED.
- E. INSTALL TEMPORARY SHORING AND BRACING OF STRUCTURE AS REQUIRED.
- F. CONTACT THE ENGINEER FOR QUESTIONABLE LOCATIONS OR SPECIAL CONDITIONS NOT INDICATED.
- G. SUBMIT DETAILS AND CALCULATIONS OF SHORING, BRACING, AND OTHER CONSTRUCTION REQUIRED, INCLUDING PHASING, STAGING, AND SEQUENCE. SUBMITTAL MUST BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER, RETAINED BY THE CONTRACTOR. PROVIDE SUBMITTAL TO SPECIAL INSPECTION AGENCY FOR REVIEWING THE INSTALLED SHORING/BRACING, PRIOR TO PROCEEDING WITH WORK.

FOUNDATIONS

- A. REVIEW THE GEOTECHNICAL REPORT AND ADHERE TO ALL RECOMMENDATIONS WITHIN, INCLUDING CUT, SUBGRADE PREPARATION, FILL, ETC.
- B. AN ALLOWABLE BEARING CAPACITY OF 1,500 PSF HAS BEEN ASSUMED AND MUST BE CONFIRMED BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF CONCRETE.
- C. ALL SOILS WORK, INCLUDING BACKFILL OF UTILITY TRENCHES AND THE VERIFICATION OF BEARING CAPACITY MUST BE UNDER THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER. PROXIMITY OF UTILITY TRENCHES TO BUILDING FOUNDATION SYSTEM MUST BE AS APPROVED BY THE GEOTECHNICAL ENGINEER TO ENSURE INTEGRITY OF THE BEARING SOILS.
- D. ALL FOUNDATIONS BEAR ON UNDISTURBED EARTH OR ENGINEERED FILL AT ELEVATIONS SHOWN ON PLANS AND DETAILS. COORDINATE FINAL TOP OF FOOTING ELEVATIONS WITH THE ARCHITECTURAL ELEVATIONS, MEP DRAWINGS, AND CIVIL GRADING PLANS PRIOR TO PLACEMENT. FOUNDATION STEPS INDICATED ARE APPROXIMATE, UNLESS NOTED OTHERWISE, AND MUST BE FIELD COORDINATED. THE BOTTOM OF EXTERIOR FOUNDATION ELEVATIONS MUST BE BELOW THE FROST DEPTH ELEVATION MEASURED FROM EXTERIOR FINISHED GRADE.
- E. BEAR FLOOR SLABS ON 4 INCH MINIMUM DRAINAGE COURSE (COMPACTED STONE) UNLESS NOTED OTHERWISE IN THE GEOTECHNICAL REPORT OR DRAWINGS. PLACE THE VAPOR RETARDER BETWEEN THE DRAINAGE COURSE AND THE SLAB. VAPOR RETARDER IS ASTM E1745, CLASS B, 10 MIL UNLESS NOTED OTHERWISE. PLACE, PROTECT, AND REPAIR PER ASTM E1643 AND MANUFACTURER'S INSTRUCTIONS.
- F. DO NOT INSTALL FOUNDATION CONCRETE UNTIL ALL FOUNDATION WORK HAS BEEN COORDINATED WITH UNDERGROUND UTILITIES. NOTIFY THE ENGINEER OF ALL CONFLICTS BETWEEN FOUNDATIONS AND UTILITIES.
- G. ALL FOUNDATIONS, OR PORTIONS THEREOF BELOW GRADE, MAY BE EARTH FORMED BY NEAT EXCAVATIONS. DO NOT PLACE FOUNDATIONS, SLABS, OR OTHER CONCRETE ON FROZEN SUBGRADE OR IN STANDING WATER.
- H. CENTER ALL FOUNDATIONS ON WALLS AND/OR COLUMNS, UNLESS NOTED OTHERWISE.
- I. DETERMINE THE EXTENT OF CONSTRUCTION DEWATERING REQUIRED FOR THE EXCAVATIONS. SUBMIT THE PROPOSED CONSTRUCTION DEWATERING PLAN TO THE GEOTECHNICAL ENGINEER FOR REVIEW PRIOR TO EXCAVATION.
- J. DO NOT PLACE UNBALANCED BACKFILL UNLESS OTHERWISE BRACED OR SUPPORTED AGAINST OVERTURNING.
- K. DO NOT ALLOW HEAVY EQUIPMENT WITHIN A DISTANCE TO EARTH RETAINING WALLS EQUAL TO THE HEIGHT OF RETAINED EARTH PLUS TWO FEET. USE ONLY HAND-OPERATED VIBRATORY COMPACTORS FOR COMPACTING BEHIND RETAINING WALLS.

CONCRETE

- A. CONCRETE MUST CONFORM TO THE CONCRETE PROPERTIES SPECIFIED IN THE CONCRETE PROPERTIES TABLE.
- B. SLABS TO RECEIVE MOISTURE SENSITIVE FLOOR COVERINGS MUST HAVE MAXIMUM WATER/CEMENTITIOUS MATERIAL RATIO OF 0.45.
- C. CONCRETE CONSTRUCTION MUST CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PRACTICE".
- D. ALL CONCRETE PLACEMENT SHALL ADHERE TO APPLICABLE SECTIONS OF ACI 305 AND ACI 306 FOR HOT WEATHER/COLD WEATHER CONCRETE PLACEMENT.
- E. CONCRETE MATERIALS MUST CONFORM TO THE FOLLOWING SPECIFICATIONS:
1. PORTLAND CEMENT: ASTM C150, TYPE I OR II
2. AGGREGATE (NORMAL WEIGHT): ASTM C33
- F. ALL REINFORCEMENT MUST CONFORM TO THE FOLLOWING SPECIFICATIONS:
1. ALL REINFORCING, UNO: ASTM A615 GRADE 60
2. DEFORMED BAR ANCHORS (DBA): ASTM A496 (75 KSI)
3. EPOXY-COATED REINFORCING: ASTM A775
4. GALVANIZED REINFORCING: ASTM A767 CLASS II (2.0 OZ. PER SF ZINC)
5. WELDABLE REINFORCING: ASTM A706 GRADE 60
6. WELDED WIRE REINFORCEMENT (WWR):
- a. SMOOTH WIRE: ASTM A1064 (65 KSI)
- b. DEFORMED WIRE: ASTM A1064 (70 KSI)
- G. REINFORCEMENT DETAILING:
1. DETAIL AND PLACE REINFORCEMENT IN ACCORDANCE WITH ACI 315.
2. DEVELOPMENT AND SPLICE LENGTHS ARE IN TENSION UNLESS NOTED OTHERWISE. REFER TO THE REINFORCING BAR LAP LENGTH SCHEDULE ON THE TYPICAL DETAIL SHEETS.
3. PLACE WWWR 2" CLEAR FROM TOP OF SLAB UNLESS NOTED OTHERWISE. LAP WWWR ONE CROSSWIRE SPACING PLUS 2".
4. INSTALL CORNER BARS AT ALL FOOTINGS AND WALL INTERSECTIONS TO MATCH HORIZONTAL REINFORCING SIZE AND SPACING. AT INTERSECTIONS OF CONTINUOUS SPREAD FOOTINGS, EXTEND ALL BARS TO FAR SIDE OF INTERSECTING FOOTING.
5. INSTALL AND SECURE REINFORCEMENT TO PREVENT DISPLACEMENT DURING CONCRETE PLACEMENT. PROVIDE THE FOLLOWING CONCRETE COVER FOR REINFORCING ACI 318 SECTION 7.7 AND IBC TABLE 720.1, UNLESS SPECIFICALLY NOTED OTHERWISE:
- a. CAST AGAINST EARTH: 3"
- b. EXPOSED TO EARTH/WEATHER: #6 THRU #18 2"
- c. EXPOSED TO EARTH/WEATHER: #5 & SMALLER 1 1/2"
- d. SLABS, WALLS, JOISTS: #14 & #18 1 1/2"
- e. SLABS, WALLS, JOISTS: #11 & SMALLER 3/4"
6. INSTALL DOWELS TO MATCH REINFORCEMENT SIZE AND SPACING INDICATED, UNLESS NOTED OTHERWISE.
- H. CAST FOUNDATION WALLS, GRADE BEAMS, AND FOOTINGS IN ALTERNATE PANELS NOT TO EXCEED 80'-0" IN LENGTH. INSTALL SHEAR KEYS AT EACH CONSTRUCTION JOINT AND LOCATED AT 1/3 POINTS OF SPANS.
- I. TEMPORARILY BRACE CONCRETE WALLS AGAINST EARTH PRESSURE AND OTHER FORCES UNTIL FLOOR SLABS AND PERMANENT SUPPORTS ARE IN PLACE AND HAVE ATTAINED REQUIRED STRENGTHS.
- J. DO NOT USE HORIZONTAL CONSTRUCTION JOINTS IN CONCRETE POURS UNLESS SHOWN ON THE DRAWINGS. THE ENGINEER MUST APPROVE ALL DEVIATIONS OR ADDITIONAL JOINTS IN WRITING.
- K. CAST SLABS AND BEAMS/JOISTS MONOLITHICALLY UNLESS NOTED OTHERWISE.
- L. CHAMFER ALL PERMANENTLY EXPOSED CONCRETE EDGES 3/4 INCH, UNLESS NOTED OTHERWISE.
- M. REFERENCE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS OF OPENINGS AND SLEEVES IN CONCRETE WALLS AND SUPPORTED FLOORS. SPREAD REINFORCEMENT AT OPENINGS AND SLEEVES UNLESS OTHERWISE INDICATED. DO NOT CUT REINFORCEMENT.
- N. SLOPE CONCRETE SLABS TO FLOOR DRAINS SHOWN ON MECHANICAL, PLUMBING, CIVIL, AND ARCHITECTURAL DRAWINGS.
- O. BOND NEW CONCRETE TO HARDENED CONCRETE WITH A STRUCTURAL ADHESIVE BONDING AGENT PER ASTM C1059. INSTALL PER THE MANUFACTURER'S INSTRUCTIONS.
- P. NO HOLES OR OPENINGS THROUGH FOUNDATION WALLS AND/OR FOOTINGS WITHOUT ENGINEER'S APPROVAL.
- Q. DO NOT EMBED ALUMINUM IN CONCRETE.

CONCRETE PROPERTIES

USAGE	STRENGTH (PSI)	TYPE	COMMENTS	DURABILITY CLASSIFICATION
ALL CONCRETE NOT OTHERWISE SPECIFIED	4000	NWT		F0, S0, W0, C1
FOOTINGS	4000	NWT		F0, S0, W0, C1
SLAB-ON-GRADE EXTERIOR	4500	NWT		F2, S0, W0, C1
SLAB-ON-GRADE INTERIOR	3500	NWT		F0, S0, W0, C0

- CONCRETE PROPERTIES TABLE NOTES:
1. MINIMUM STRENGTH AND MAXIMUM DENSITY MEASURED AT 28 DAYS.
2. NWT = NORMAL WEIGHT CONCRETE
3. LWT = SAND-LIGHTWEIGHT CONCRETE
- a. 4% TO 7% AIR ENTRAINMENT FOR LIGHTWEIGHT CONCRETE ON COMPOSITE METAL DECKS
4. DURABILITY CLASSIFICATION INDICATES CONCRETE REQUIREMENTS BY EXPOSURE CLASS, REFER TO TABLE 19.3.2.1 OF ACI 318.

SPECIAL INSPECTIONS AND TESTING

- A. SPECIAL INSPECTIONS AND TESTING ARE PERFORMED IN ACCORDANCE WITH IBC CHAPTER 17 AND LOCAL JURISDICTION PROVISIONS, BY AN INDEPENDENT INSPECTION AND TESTING AGENCY. THE SPECIAL INSPECTOR MUST OBSERVE AND TEST THE WORK FOR CONFORMANCE TO THE CONTRACT DOCUMENTS.
- B. THE SPECIAL INSPECTOR MUST FURNISH INSPECTION REPORT TO THE BUILDING OFFICIAL. THE ENGINEER OR ARCHITECT OF RECORD, AND ALL OTHER DESIGNATED INDIVIDUALS, ALL DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF NOT CORRECTED, TO THE PROPER DESIGN AUTHORITY AND THE BUILDING OFFICIAL.
- C. THE SPECIAL INSPECTOR MUST SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK IS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, SOILS REPORT, AND APPLICABLE WORKMANSHIP OF THE BUILDING CODE.

SUBMITTALS

- A. CONTRACTOR MUST REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING FOR REVIEW. SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND/OR ENGINEER FOR REVIEW. FABRICATE AND CONSTRUCT FROM THE REVIEWED SUBMITTALS. ALLOW 10 BUSINESS DAYS FOR EACH SUBMITTAL REVIEW UNLESS AN ALTERNATE REVIEW TIME IS AGREED UPON BY ALL PARTIES. IN THE EVENT MULTIPLE SUBMITTALS ARE SUBMITTED AT THE SAME TIME, THE CONTRACTOR MUST INDICATE WHICH SUBMITTALS HAVE PRIORITY.
- B. MAINTAIN A RECORD SET OF APPROVED SHOP DRAWINGS IN THE FIELD.
- C. SUBMIT IN WRITING ANY DEVIATION FROM, ADDITION TO, SUBSTITUTION FOR, OR MODIFICATION TO, THE STRUCTURE OR ANY PART OF THE STRUCTURE DETAILED, TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS SUBMITTED FOR REVIEW DO NOT CONSTITUTE "IN-WRITING" UNLESS IT IS CLEARLY NOTED SPECIFIC CHANGES ARE BEING REQUESTED.
- D. PREPARE A LIST AND SCHEDULE OF ALL STRUCTURAL SUBMITTALS PRIOR TO CONSTRUCTION.
- E. SUBMIT THE FOLLOWING SHOP DRAWINGS FOR THE ENGINEER'S REVIEW:
1. CONCRETE MIX DESIGNS
2. REINFORCING STEEL
3. PREFABRICATED WOOD TRUSSES (1, 3)
4. PREFABRICATED TIMBER TRUSSES (1, 3)
5. MASONRY PRODUCT DATA
6. GROUT PRODUCT DATA
7. MORTAR PRODUCT DATA
- F. SUBMIT ITEMS MARKED (1) SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE WHERE THE PROJECT IS LOCATED. SUBMIT ITEMS MARKED (2) FOR OWNER'S RECORD ONLY, AND WILL NOT HAVE THE ENGINEER'S SHOP DRAWING STAMP AFFIXED. SUBMIT ITEMS MARKED (3) WITH DESIGN CALCULATIONS SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE WHERE THE PROJECT IS LOCATED.
1. THE OMISSION FROM THE SHOP DRAWINGS OF ANY MATERIALS REQUIRED BY THE CONTRACT DOCUMENTS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING AND INSTALLING SUCH MATERIALS, REGARDLESS OF WHETHER THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED.
- G. THE USE OF ELECTRONIC FILES OR REPRODUCTIONS OF CONTRACT DOCUMENTS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATES THEM TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON.



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Seal



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Project



NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS
TOWN SQUARE

Project Number 23236-D
Drawn By MW,CA
Checked By MG
Date 4 SEPT 2025

Revisions

Drawing

GENERAL NOTES

\$0.00

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Project



NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS
TOWN SQUARE

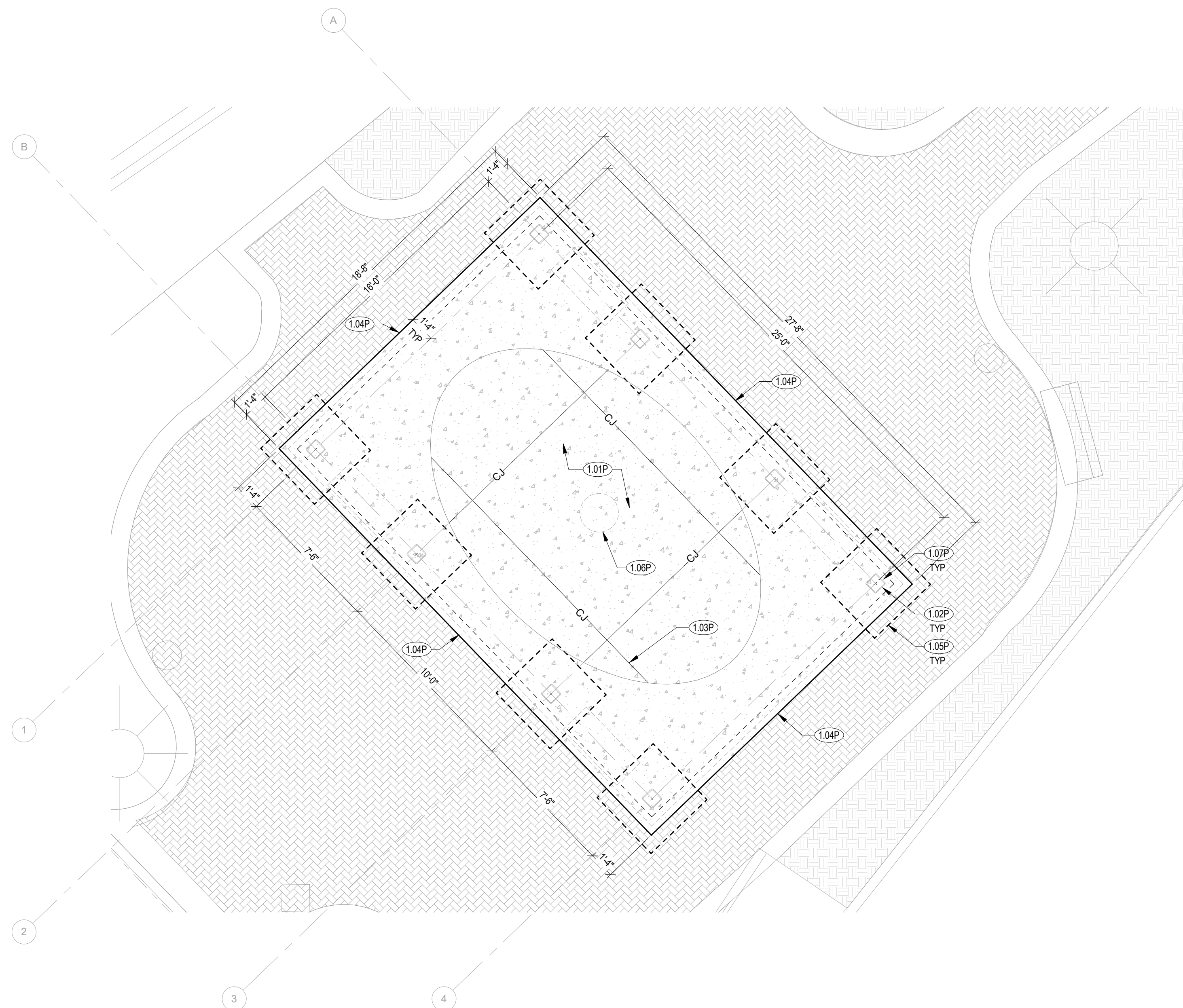
Project Number 23236-D
 Drawn By MW,CA
 Checked By MG
 Date 4 SEPT 2025

Revisions

Drawing

TOWN SQUARE FOUNDATION PLAN

S1.01



1 TOWN SQUARE POLYGON FOUNDATION PLAN (ALTERNATE NO. 3)

$$1/4^m = 1'-0^m$$

POLIGON FOUNDATION PLAN NOTES

1. ELEVATIONS ARE RELATIVE TO ABSOLUTE FFE SHOWN ON CIVIL, COORD W/ ARCH AND CIVIL.
2. TOP OF EXTERIOR FOOTING (T/FTG) = -1'-4" BELOW FINISHED FLOOR, TYPICAL UNO
3. REF PLAN FOR TOP OF SLAB ELEVATION (T/ SLAB), COORD W/ ARCH AND CIVIL.
4. POLYGON STRUCTURE AND FOUNDATIONS ARE TURN-KEY BY SUPPLIER. GC TO COORDINATE STRUCTURE DESIGN AND REQUIRED FOUNDATION WITH ARCH AND SUPPLIER.

FOUNDATION PLAN LEGEND

DENOTES SHEET NOTE, REF SCHEDULE THIS SHEET

WF## & TS## DENOTES WALL FOOTING (WF) OR THICKENED SLAB (TS), REF SCHEDULE THIS SHEET

CJ DENOTES SLAB CONTROL OR CONSTRUCTION JOINT, REF TYPICAL DETAILS

SHEET NOTE SCHEDULE - FOUNDATION...		##
REF PLANS AND DETAILS FOR SHEET NOTES REQUIRED, NOT ALL NOTES APPLICABLE TO THIS SHEET		
MARK	DESCRIPTION	
1.01P	4" CONCRETE SLAB REINF W/ 6x6-W1.4xW1.4 WWR ON 10 MIL VAPOR RETARDER ON 4" GRANULAR BASE ON PREPARED SUBGRADE	
1.02P	POLIGON COLUMN BY SUPPLIER, REF ARCH	
1.03P	CONTROL JOINT (C) SPACING SHALL NOT EXCEED 12'-0" OC EA WAY. SLAB UNITS CREATED BY JOINT LAYOUT SHOULD BE AS SQUARE AS POSSIBLE WITH A MAXIMUM ASPECT RATIO OF 1.25 TO 1. EACH WAY SHOULD BE SYMMETRICAL. CROSS SLAB LAYOUT. SUBMIT LAYOUT TO ARCHITECT PRIOR TO WORK FOR REVIEW AND APPROVAL.	
1.04P	8" WIDE TURNDOWN FOOTING, REF DETAILS	
1.05P	POLIGON COLUMN FOUNDATION AND REINFORCEMENT BY SUPPLIER. ASSUME 4"x4"x4' FOOTINGS FOR BID (ALTERNATE NO. 4)	
1.06P	MANHOLE, REF ARCH	
1.07P	PROVIDE COLUMN LEAVE OUT AS REQUIRED, BY SUPPLIER	



ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE MINIMUM COVER REQUIREMENTS PER ACI AS OUTLINED IN THE GENERAL NOTES. SPECIFIC BAR LOCATIONS SHOWN IN SECTIONS AND DETAILS MAY OVERRIDE BUT NOT VIOLATE THE MINIMUM COVER REQUIREMENTS.



LAP SCHEDULE NOTES:

1. LENGTH SHOWN CONFORM TO NON-SEISMIC PROVISIONS OF ACI 318 FOR UNCOATED BARS ENCLOSED BY PROPERLY SPACED TIES OR STRIPS
2. LENGTH IN TABLE SHALL BE FACTORED FOR THE FOLLOWING CONDITIONS:
 - * HORIZONTAL BARS MORE THAN 12" ABOVE BOTTOM OF CAST MEMBER: 1.3xTABLE LENGTH
 - * LIGHT WEIGHT CONCRETE: 1.3xTABLE LENGTH
 - * BAR CLEAR SPACING SHALL BE NO LESS THAN ONE BAR DIAMETER AND/OR BAR CLEAR COVER LESS THAN ONE BAR DIAMETER
 - * WHERE MORE THAN ONE CONDITION APPLIES, ALL APPLICABLE FACTORS SHALL BE APPLIED TO LENGTH INDICATED IN TABLE
 - * GRADE 80 STEEL: 1.15x TABLE LENGTH (E.G. VERIFY)
3. THE TABLE SHALL APPLY UNLESS SPECIFICALLY NOTED, DETAILED OR SCHEDULED OTHERWISE
4. UNLESS NOTED OTHERWISE ALL REINFORCING BARS SHALL LAP AROUND CORNERS

3/4" = 1'-0'

D = INSIDE BEND OF DIAMETER

1. HOOK EMBEDMENT LENGTHS IN TABLE SHALL BE FACTORED FOR THE FOLLOWING CONDITIONS:

- LIGHTWEIGHT CONCRETE: $1.3 \times$ TABLE LENGTH
- EPOXY COATED BARS: $1.2 \times$ TABLE LENGTH

D = INSIDE BEND OF DIAMETER



HOOK 180 DEG HOOK
END HOOK TYPES



3/4" = 1'-0"

- FOR INFORMATION ON VAPOR RETARDER, REF ARCH DWGS AND SPECS.
- IF NOT INDICATED ELSEWHERE, PROVIDE SAWCUT CONTROL JOINTS @ 12'-0" OC MAX AT 4" SLABS, 15'-0" MAX AT 5" SLABS, 18'-0" MAX AT 6" SLABS.
- SLAB UNITS CREATED BY JOINT LAYOUTS SHALL BE AS SQUARE AS POSSIBLE AND WITH A MAXIMUM ASPECT RATIO OF 1.25 TO 1. IN ADDITION, CONTROL JOINTS SHALL BE LOCATED AT THE CORNERS OF ALL ISOLATION POCKETS.



3/4" = 1'-0'



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Project



NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS
TOWN SQUARE

Project Number 23236-D
 Drawn By MW,CA
 Checked By MG
 Date 4 SEPT 2025

Revisions

Drawing

TYPICAL CONCRETE DETAILS

S3.01

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WIRING DEVICE SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	HOMERUN TO LIGHTING/SERVICE PANEL. HOMERUN INDICATES PANEL NAME AND CIRCUIT NUMBER OR FEEDER TAG. CONDUCTORS SHALL BE #12 AWG IN 3/4" CONDUIT (1" UNDERGROUND) UNLESS NOTED OTHERWISE. HOMERUNS MAY BE COMBINED INTO A COMMON RACEWAY FOR 20A SINGLE PHASE CIRCUITS. PROVIDE DEDICATED NEUTRALS. MAXIMUM OF (6) CURRENT CARRYING CONDUCTORS SHALL BE PROVIDED IN RACEWAY, UNLESS NOTED OTHERWISE. PROVIDE #10 AWG FOR 120V BRANCH CIRCUITS LONGER THAN 100 FEET. PROVIDE #8 AWG FOR 120V BRANCH CIRCUITS LONGER THAN 150 FEET. INCREASE CONDUIT SIZE AS REQUIRED. VERIFY EXACT CIRCUIT LENGTH AND SIZE OF CONDUCTORS TO PROVIDE ACCEPTABLE VOLTAGE DROP PER NEC. COMPLY WITH NEC FOR CONDUCTOR DERATING AND CONDUIT FILL.
	CONDUIT STUB
	CONDUIT TURNED DOWN
	CONDUIT TURNED UP
	CONDUIT INSTALLED BELOW GRADE OR BELOW FINISHED FLOOR
	ELECTRICAL CONNECTION TO EQUIPMENT ITEM 'E101' (LETTER DESIGNATION AS APPLICABLE) - SEE CORRESPONDING EQUIPMENT CONNECTION SCHEDULE
	DUPLEX RECEPTACLE AT 18" AFF, UNO, NEMA 5-20R.
	SAME AS ABOVE BUT GENERATOR/ALTERNATE POWER SOURCE.
	QUADRUPLEX RECEPTACLE AT 18" AFF, UNO, NEMA 5-20R.
	SAME AS ABOVE BUT GENERATOR/ALTERNATE POWER SOURCE.
	DUPLEX RECEPTACLE - CEILING MOUNTED. NEMA 5-20R.
	DUPLEX RECEPTACLE - FLOOR MOUNTED. NEMA 5-20R.
	SINGLE RECEPTACLE AT 18" AFF, UNO, NEMA 5-20R.
	FOR RECEPTACLES ABOVE, SUBSCRIPT DEFINITION AS FOLLOWS: AC - MOUNTED 8" ABOVE COUNTER CR - CORD REEL GFI - GROUND FAULT CIRCUIT INTERRUPTER DEVICE IG - ISOLATED GROUND TR - TAMPER RESISTANT USB - DEVICE WITH TYPE 'A' & TYPE 'C' USB PORTS WP - UL LISTED WEATHER-RESISTANT (WR) DEVICE WITH WEATHERPROOF WHILE-IN-USE COVER (xx") - MOUNTING HEIGHT OF RECEPTACLE AFF
	SPECIAL PURPOSE RECEPTACLE - HEIGHT AND TYPE AS NOTED ON DRAWINGS
	SURFACE RACEWAY
	JUNCTION BOX - MOUNTING HEIGHT AND SIZE AS REQUIRED BY CODE OR AS NOTED ON DRAWINGS
	VERTICAL SERVICE POLE
	COMBINATION IN FLOOR POWER / DATA / A/V DEVICE.
	PUSHBUTTON
	MOTOR. SEE DRAWINGS FOR DESCRIPTION
	SAFETY DISCONNECT SWITCH. "30" INDICATES AMP RATING. "3P" INDICATES NUMBER OF POLES. "20" INDICATES FUSE SIZE. "1" INDICATES NEMA ENCLOSURE RATING (1, 3R, 4X, ETC). HEAVY DUTY SAFETY SWITCH UNLESS NOTED OTHERWISE. "NF" INDICATES NON-FUSED.
	COMBINATION MOTOR STARTER
	MOTOR STARTER M = MANUAL MOTOR STARTER
	DOOR BELL

DISTRIBUTION SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	ELECTRICAL PANEL, SURFACE MOUNTED.
	ELECTRICAL PANEL, FLUSH MOUNTED.
	TRANSFORMER
	AUTOMATIC TRANSFER SWITCH

LIGHTING CIRCUITING GUIDE	
SYMBOL	DESCRIPTION
	LIGHTING TYPE AND CIRCUIT DESIGNATION X: PANEL 1: CIRCUIT NUMBER B: LIGHT FIXTURE TYPE, REFER TO LIGHT FIXTURE SCHEDULE
	SWITCHING SCHEME OR ZONE

POWER CIRCUITING GUIDE	
SYMBOL	DESCRIPTION
	POWER CIRCUITING DESIGNATION X: PANEL 1: CIRCUIT NUMBER
	DEVICE, JUNCTION BOX, FLOOR BOX, ETC
	EQUIPMENT ABBREVIATION, REFER TO LEGEND AND ABBREVIATION SCHEDULE FOR ADDITIONAL INFORMATION

LIGHTING & CONTROL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	20A SWITCH AT 44" CL AFF, UNO
	WALL DIMMER FOR SWITCH OR DIMMER ABOVE, SUBSCRIPT DEFINITION AS FOLLOWS: a,b - SWITCHING SCHEME m - MOTOR RATED WITH LOCKOUT BRACKET P - PILOT LIGHT 3 - 3-WAY SWITCH 4 - 4-WAY SWITCH o - OCCUPANCY SENSOR v - VACANCY SENSOR
	OCCUPANCY SENSOR - CEILING MOUNTED
	PHOTOCELL
	DAYLIGHT SENSOR
	INTERIOR LIGHT FIXTURES AS SPECIFIED ON THE LIGHTING FIXTURE SCHEDULE. REFER ALSO TO LIGHTING CIRCUITING GUIDE.
	EXTERIOR LIGHT FIXTURES AS SPECIFIED ON THE LIGHTING FIXTURE SCHEDULE. REFER ALSO TO LIGHTING CIRCUITING GUIDE.
	EMERGENCY LIGHTING UNIT, WITH BATTERY. REFER TO LIGHTING FIXTURE SCHEDULE
	EXIT SIGN. WHERE USED, ARROW INDICATES CHEVRON DIRECTION.
	CEILING FAN
	LIGHT FIXTURE, HALF SHADING INDICATES INTEGRAL EMERGENCY BATTERY. "NL" INDICATES 24/7 OPERATION (UNSWITCHED).

ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
ACH	ABOVE COUNTER HEIGHT
AL	ALUMINUM
BKR	BREAKER
CKT	CIRCUIT
CL	CENTERLINE
CU	COPPER
DWG	DRAWING
EC	EMPTY CONDUIT
EF	EXHAUST FAN
EWC	ELECTRIC WATER COOLER
FLA	FULL LOAD AMPS
FU	FUSE
FWE	FURNISHED WITH EQUIPMENT
GC	GENERAL CONTRACTOR
GFI/GFCI	GROUND FAULT INTERRUPTER DEVICE
IG	ISOLATED GROUND
LRA	LOCKED ROTOR AMPS
LTG, L	LIGHTING
MCA	MINIMUM CIRCUIT AMPACITY
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MDP	MAIN DISTRIBUTION PANEL
MFR	MANUFACTURER
MLO	MAIN LUG ONLY
MOCB	MAXIMUM OVERCURRENT CIRCUIT PROTECTION
MSB	MAIN SWITCHBOARD
NL	NIGHT LIGHT
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PH	PHASE
PNL	PANEL
RCPT	RECEPTACLE
REQD	REQUIRED
RTU	ROOFTOP UNIT
SPD	SURGE PROTECTIVE DEVICE
SW	SWITCH
UGND	UNDERGROUND
UH	UNIT HEATER
UNO	UNLESS NOTED OTHERWISE
W/	WITH
WH	WATER HEATER
WP	WEATHERPROOF
XFMR	TRANSFORMER

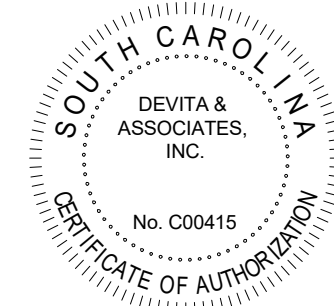
POWER DEVICE SCHEDULE	
MARK	DESCRIPTION
	IN-GROUND RECEPTACLE BOX, UL50E TYPE 6P AND IP68 LISTED FOR IN-GROUND USE IN ALL WEATHER CONDITIONS, ANSI/SCTE77 TIER 5 RATED, WITH (2) DUPLEX, NEMA 5-20R WEATHER RESISTANT, TAMPER RESISTANT RECEPTACLES ON 2 CIRCUITS, EACH RECEPTACLE FED FROM A GFCI CIRCUIT BREAKER IN FEEDING PANEL. REFER TO PLANS. LEGRAND MODEL # XB814C520C2BK OR APPROVED EQUAL.
	RECEPTACLE PEDESTAL, UL1773 LISTED, NEMA 3R ENCLOSURE, 16" TALL WITH HINGED COVER, WITH (1) DUPLEX, NEMA 5-20R GFCI, WEATHER RESISTANT, TAMPER RESISTANT RECEPTACLE. LEGRAND MODEL # XPP1G16C-BK OR APPROVED EQUAL.

MARK	DESCRIPTION	MANUFACTURER	MODEL #	VOLTS	LAMP* OR DRIVER**				MOUNTING	REMARKS
					QTY*	WATTS	LUMENS**	TYPE		
CD	12" DIAMETER CUPOLA DOWNLIGHT, DIE CAST ALUMINUM HOUSING, BLACK POWDER COAT EXTERIOR AND INTERIOR FINISH, SELECTABLE LUMENS AND COLOR TEMP, UL LISTED FOR WET LOCATIONS, CORD MOUNTED	BOCKLIGHTING OR APPROVED EQUAL	SB-VRA12/LA-C02-NODIM	120	-	23	1850	4000K LED	PENDANT	
CF	EXTERIOR CEILING FAN, 3 FAN BLADES, COAL FINISH	MINKA AIRE OR EQUAL BY ALDEA OR HUNTER FANS	F742L-WHF	120	-	20	722	4000K LED	PENDANT	
FP	LED FLAGPOLE FLOOD LIGHT, BLACK DIE CAST ALUMINUM BODY, ADJUSTABLE KNUCKLE, GLARE SHIELD, UL LISTED FOR WET LOCATIONS.	HYDREL OR EQUAL BY B-K LIGHTING OR VISTA LIGHTING	SAF7 LED P2 80CRI 40K MVOLT 40DEG CWL KM TPH GS BL	120/277	-	44	3668	4000K LED	GRADE	

LIGHTING FIXTURE SCHEDULE GENERAL NOTES:

- FINISHES SHALL BE CONFIRMED BY ARCHITECT OR OWNER PRIOR TO ORDERING.
- LED DRIVERS SHALL CONFORM TO IEEE P1789 STANDARDS. ALTERNATIVELY, MANUFACTURERS MUST DEMONSTRATE CONFORMANCE WITH PRODUCT LITERATURE AND TESTING WHICH DEMONSTRATES THIS PERFORMANCE. SYSTEMS THAT DO NOT MEET IEEE P1789 WILL NOT BE CONSIDRED.
- LED DRIVERS SHALL BE MULTI-VOLT. IF MULTI-VOLT DRIVERS ARE NOT AVAILABLE, THEN REQUIRED VOLTAGE SHALL BE VERIFIED WITH ENGINEER PRIOR TO ORDERING.
- ENSURE THAT LIGHTING CONTROL DEVICES ARE COMPATIBLE WITH FIXTURES AND LAMPS.
- PROVIDE ALL REQUIRED HARDWARE FOR PENDANT MOUNTED FIXTURES. VERIFY TYPE REQUIRED WITH ARCHITECT.
- PROVIDE MOUNTING KITS AND/OR ACCESSORIES REQUIRED FOR INSTALLING FIXTURES IN VARIOUS CEILING TYPES. VERIFY CEILING TYPES WITH ARCHITECTURAL DRAWINGS.

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PROSPERITY PARK
IMPROVEMENTS
PROSPERITY TOWN SQUARE

Project Number 23236-D
Drawn By RHV
Checked By SLE
Date 4 SEP 2025

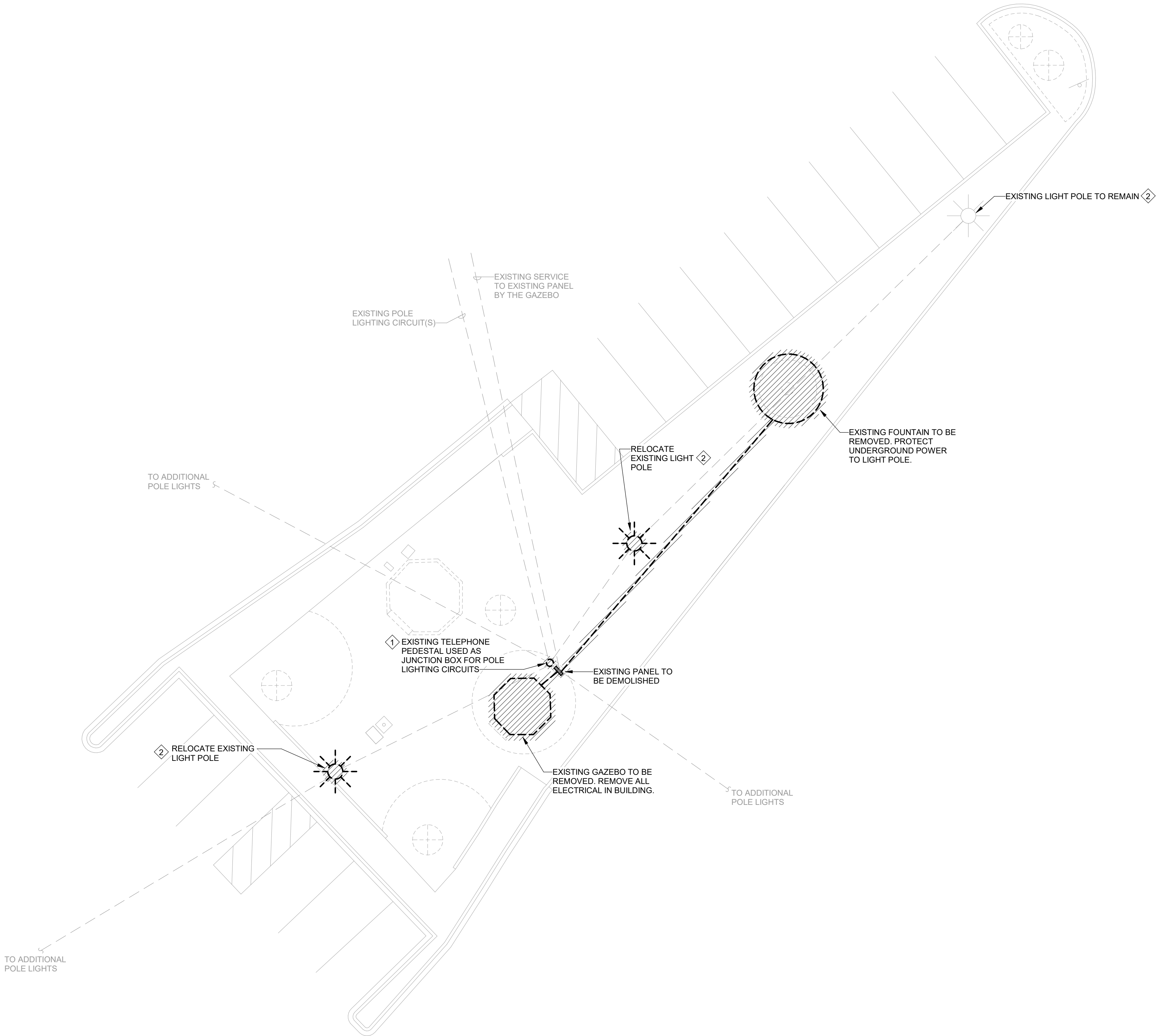
Revisions

Drawing

ELECTRICAL
LEGEND &
SCHEDULES

E0.01

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1
E1.00
DEMOLITION ELECTRICAL SITE PLAN (ALTERNATE NO. 3)
1" = 10'-0"
0 10' 20' 30'

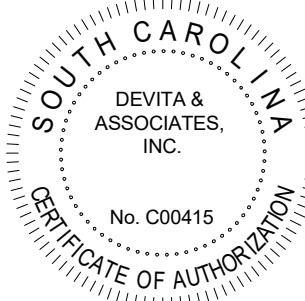
GENERAL DEMOLITION NOTES:

- A. FOR ALL EXISTING FIXTURES, DEVICES, ETC. INDICATED TO REMAIN, FIELD VERIFY THE EXISTING CIRCUIT, AND PROVIDE NEW LABEL ON DEVICE PLATE WITH CORRECT PANEL/CIRCUIT PER SPECIFICATIONS.
- B. FOR DEVICES, FIXTURES, ETC. TO BE REMOVED, THEY AND THEIR RELATED WIRING/CONDUIT SHALL BE REMOVED BACK TO THE SOURCE PANELBOARD. UNLESS OTHERWISE NOTED. ON CIRCUITS WHERE OTHER DEVICES, FIXTURES, ETC. ARE FOUND THAT MUST REMAIN, MAINTAIN CIRCUIT CONTINUITY BY PROVIDING ADDITIONAL WIRING TO FEED THROUGH TO THESE REMAINING ITEMS. RE-CIRCUIT ANY REMAINING DEVICES AS REQUIRED TO AVAILABLE PANELBOARD SPACE. RELOCATE ANY CIRCUITS THAT REMAIN TO AVOID CONFLICT WITH NEW CONSTRUCTION AS REQUIRED. PROPERLY TERMINATE ALL WIRING.
- C. ITEMS TO BE REMOVED ARE INDICATED BY DASHED LINETYPE AND/OR HATCHING.
- D. FIELD VERIFY ALL CIRCUITS.
- E. REMOVE ALL EXISTING ELECTRICAL DEVICES AND EQUIPMENT IN THE RENOVATED AREA UNLESS OTHERWISE NOTED. REROUTING OF EXISTING CONDUCTORS MAY BE REQUIRED AT NEW OPENINGS IN EXISTING CONSTRUCTION OR AROUND NEW WORK.
- F. ALL WORK ASSOCIATED WITH THE SITE SHALL BE CONSIDERED UNDER ALTERNATE NO. 3.

KEY NOTES: ◆

1. REMOVE TELEPHONE PEDESTAL AND WIRING AND CONDUIT FOR POLE LIGHTING CIRCUITS AS NECESSARY TO ACCOMODATE THE INSTALLATION OF THE HANDHOLE IN NEW WORK.
2. REMOVE GFCI RECEPTACLES AND COVERS AT TOP AND BOTTOM OF LIGHT POLE FOR REPLACEMENT IN NEW WORK. FOR RELOCATED LIGHT POLES, RETAIN WIRING AND CONDUIT FOR EXTENSION TO NEW LIGHT POLE LOCATION AND FOR CIRCUIT CONTINUITY TO EXISTING LIGHT POLES OUTSIDE OF SCOPE.

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PROSPERITY PARK
IMPROVEMENTS
PROSPERITY TOWN SQUARE

Project Number 23236-D
Drawn By RHV
Checked By SLE
Date 4 SEP 2025

Revisions

Drawing

ELECTRICAL
DEMOLITION SITE
PLAN

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ELECTRICAL SITE PLAN

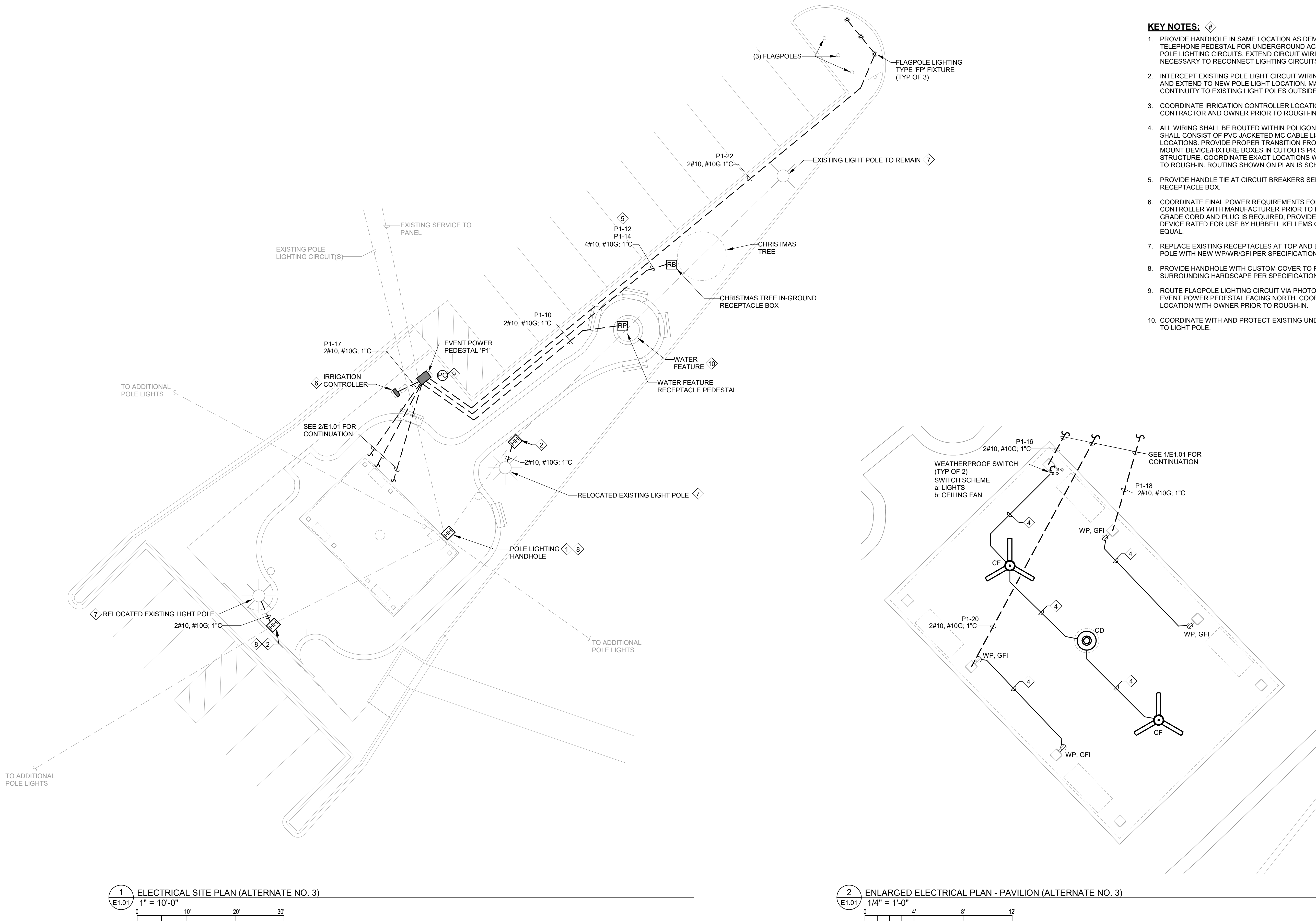
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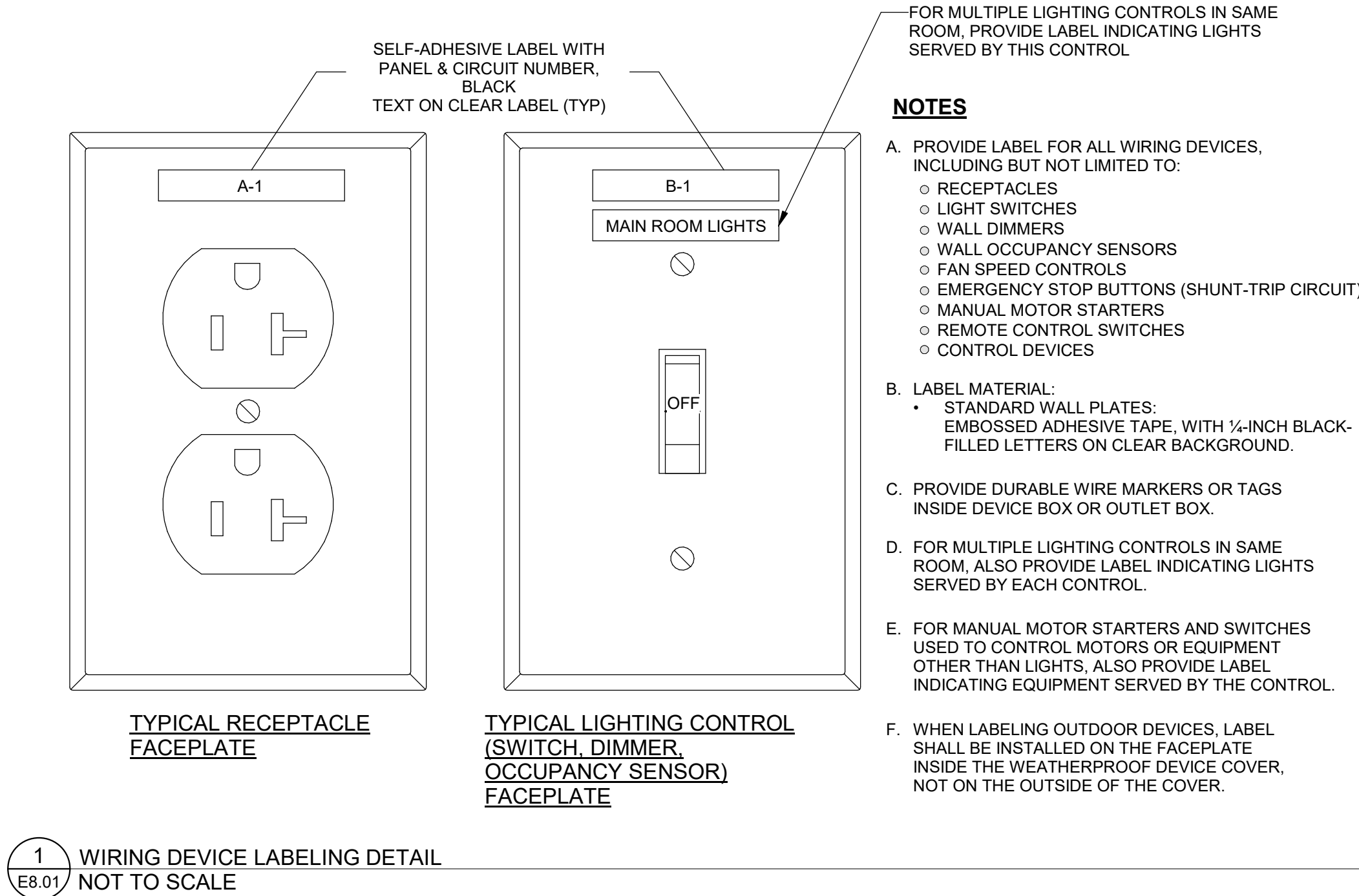
GENERAL NOTES:

- A. REFER TO SHEET E.0.01 FOR LIGHTING FIXTURE SCHEDULE.
- B. PROVIDE WORKING CLEARANCE AT ALL ELECTRICAL PANELS PER NEC.
- C. FIELD VERIFY THE EXACT LOCATIONS OF ALL HANDHOLES, RECEPTACLE PEDESTALS, AND IN-GROUND RECEPTACLE BOXES WITH OWNER/ARCHITECT AND ENGINEER PRIOR TO ROUGH-IN.
- D. ALL WORK ASSOCIATED WITH THE SITE SHALL BE CONSIDERED UNDER ALTERNATE NO. 3.

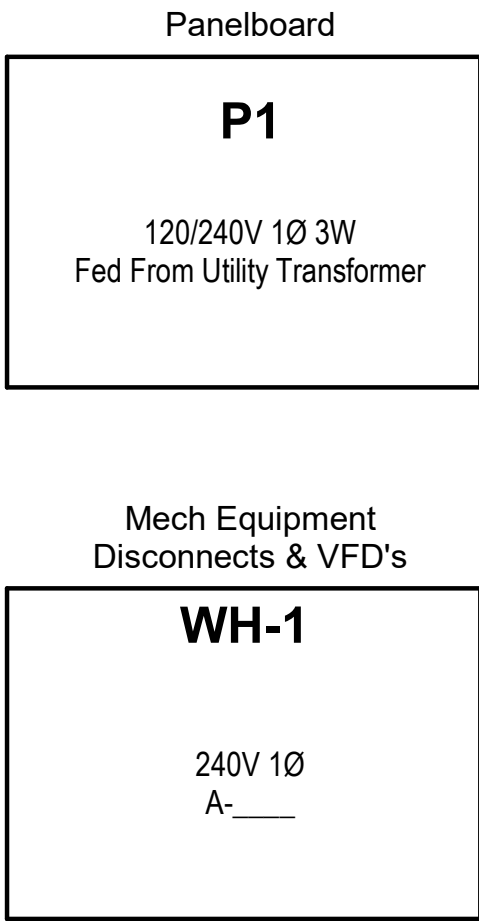
KEY NOTES:

1. PROVIDE HANDHOLE IN SAME LOCATION AS DEMOLISHED TELEPHONE PEDESTAL. FOR UNDERGROUND ACCESS TO EXISTING POLE LIGHTING CIRCUITS. EXTEND CIRCUIT WIRING AND CONDUIT AS NECESSARY TO RECONNECT LIGHTING CIRCUITS WITHIN HANDHOLE.
2. INTERCEPT EXISTING POLE LIGHT CIRCUIT WIRING INSIDE HANDHOLE AND EXTEND TO NEW POLE LIGHT LOCATION. MAINTAIN CIRCUIT CONTINUITY TO EXISTING LIGHT POLES OUTSIDE OF SCOPE.
3. COORDINATE IRRIGATION CONTROLLER LOCATION WITH IRRIGATION CONTRACTOR AND OWNER PRIOR TO ROUGH-IN.
4. ALL WIRING SHALL BE ROUTED WITHIN POLE STRUCTURE AND SHALL CONSIST OF PVC JACKED MC CABLE LISTED FOR WET LOCATIONS. PROVIDE PROPER TRANSITION FROM CONDUIT STUB UP MOUNT DEVICE/FITURE BOXES IN CUTOUTS PROVIDED IN POLE STRUCTURE. COORDINATE EXACT LOCATIONS WITH POLISON PRIOR TO ROUGH-IN. ROUTING SHOWN ON PLAN IS SCHEMATIC ONLY.
5. PROVIDE HANDLE TIE AT CIRCUIT BREAKERS SERVING IN-GROUND RECEPTACLE BOX.
6. COORDINATE FINAL POWER REQUIREMENTS FOR IRRIGATION CONTROLLER WITH MANUFACTURER PRIOR TO ROUGH-IN. IF BELOW GRADE CORD AND PLUG IS REQUIRED, PROVIDE WATERTIGHT DEVICE RATED FOR USE BY HUBBELL KELLEMS OR APPROVED EQUAL.
7. REPLACE EXISTING RECEPTACLES AT TOP AND BOTTOM OF LIGHT POLE WITH NEW WP/WGR/GFI PER SPECIFICATIONS.
8. PROVIDE HANDHOLE WITH CUSTOM COVER TO RECEIVE AND MATCH SURROUNDING HARDSCAPE PER SPECIFICATIONS.
9. ROUTE FLAGPOLE LIGHTING CIRCUIT VIA PHOTOCELL MOUNTED ON EVENT POWER PEDESTAL FACING NORTH. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO ROUGH-IN.
10. COORDINATE WITH AND PROTECT EXISTING UNDERGROUND POWER TO LIGHT POLE.





TYPICAL NAMEPLATE EXAMPLES
FOR EACH EQUIPMENT TYPE



2
E8.01

EQUIPMENT IDENTIFICATION NAMEPLATE DETAIL
NOT TO SCALE

EQUIPMENT LABELING NOTES:

- A. PROVIDE ENGRAVED LAMINATED NAMEPLATE FOR EACH PIECE OF ELECTRICAL EQUIPMENT. LABEL TAPE IS NOT ACCEPTABLE.
- B. COORDINATE SUPPLY SOURCE (PANEL/CIRCUIT WHERE FED FROM) WITH ACTUAL CIRCUITS USED.
- C. ON EACH UNIT OF EQUIPMENT, INSTALL UNIQUE DESIGNATION LABEL THAT IS CONSISTENT WITH WIRING DIAGRAMS AND SCHEDULES.
- D. PROVIDE LABEL AS SHOWN FOR EACH EQUIPMENT TYPE. INFORMATION SHALL INCLUDE NAME OF EQUIPMENT, VOLTAGE/PHASE, SUPPLY SOURCE, AND SYSTEM BRANCH.
- E. COORDINATE EXACT NAME/DESIGNATION OF MECHANICAL/PLUMBING EQUIPMENT WITH MECHANICAL/PLUMBING CONTRACTOR AND OWNER PRIOR TO CONSTRUCTING NAMEPLATES.
- F. LABEL EQUIPMENT WITH SELF-ADHESIVE, ENGRAVED, LAMINATED ACRYLIC OR MELAMINE LABEL. UNLESS OTHERWISE INDICATED, EQUIPMENT NAME SHALL BE 1-INCH-HIGH LETTERS, AND ADDITIONAL TEXT SHALL BE 1/2-INCH-HIGH LETTERS. LABEL SIZE SHALL ACCOMMODATE TEXT REQUIRED FOR EACH PARTICULAR PIECE OF EQUIPMENT.
- G. FOR MECHANICAL EQUIPMENT SUCH AS AIR HANDLERS, CHILLERS, ETC. THAT MAY BE FURNISHED WITH AN INTEGRAL DISCONNECT, PROVIDE LABEL ON UNIT AT THE INTEGRAL DISCONNECT LOCATION OR INPUT POWER CONNECTION LOCATION.
- H. LABEL THE FOLLOWING ITEMS:
- PANELBOARDS
 - ENCLOSURES AND ELECTRICAL CABINETS
 - DISCONNECT SWITCHES
 - ACCESS DOORS AND PANELS FOR CONCEALED ELECTRICAL ITEMS, LABEL WITH ITEMS CONCEALED
 - VARIABLE SPEED CONTROLLERS

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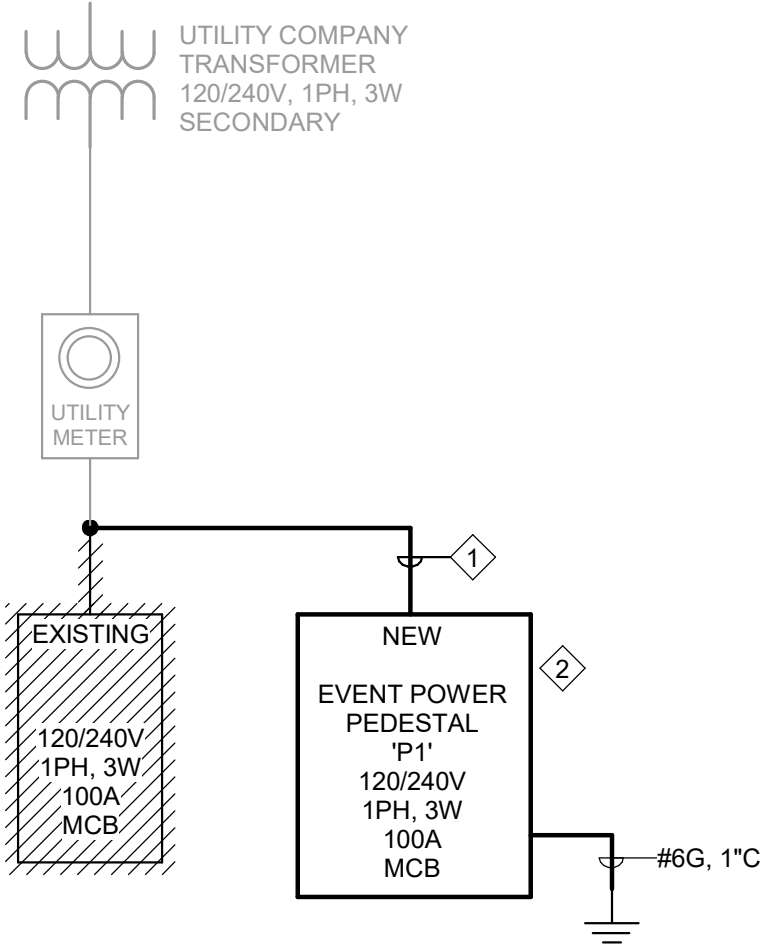
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Drawing

ELECTRICAL
DETAILS

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GENERAL NOTES:

- A. EXISTING EQUIPMENT TO REMAIN IS SHOWN HALFTONE. DEMOLITION WORK IS SHOWN WITH HATCHING. NEW WORK IS SHOWN BOLD.

SINGLE-LINE DIAGRAM NOTES: ◆#

1. NEW EVENT POWER PEDESTAL 'P1' TO BE INSTALLED ALONG ROUTE OF EXISTING SERVICE FEEDER FOR THE DEMOLISHED PANEL.
2. EVENT POWER PEDESTAL, 120/240V, 1ø, 3W, 100A MCB 10KAIC, NEMA 3R WEATHERPROOF ANODIZED ALUMINUM ENCLOSURE, FACTORY PAINTED DARK OLIVE GREEN, LOCKABLE IN-USE COVER WITH: (2) 50A - 120/240V NEMA 14-50R RECEPTACLE W/ GFCI BREAKER AND (8) 20A - 120V NEMA 5-20R WEATHER RESISTANT DUPLEX RECEPTACLE W/ GFCI BREAKER.

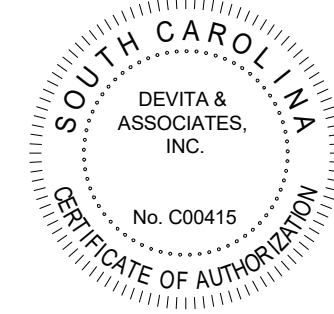
1 SINGLE-LINE DIAGRAM
E9.01 NOT TO SCALE

Panel: P1										Remarks:	
				Voltage: 120/240		Min SCCR: 22K		SERVICE ENTRANCE RATED. PANEL IS			
				Phases: 1		Mounting: SURFACE		INTEGRAL TO EVENT POWER PEDESTAL			
				Wires: 3		Feeder Rating: 100 A					
				Enclosure: TYPE 3R		Panel Rating: 100 A		Type: MCB			
BRKR	Notes	Circuit Description	CKT	A (VA)		B (VA)		CKT	Circuit Description	Notes	BRKR
20 A	1	NEMA 5-20 RECEPTACLE 1	1	360	5200			2			
20 A	1	NEMA 5-20 RECEPTACLE 2	3			360	5200	4	NEMA 14-50 RECEPTACLE 1		2 50 A
20 A	1	NEMA 5-20 RECEPTACLE 3	5	360	5200			6			
20 A	1	NEMA 5-20 RECEPTACLE 4	7			360	5200	8	NEMA 14-50 RECEPTACLE 2	2	20 A
20 A	1	NEMA 5-20 RECEPTACLE 5	9	360	500			10	WATER FEATURE RECPT PEDESTAL		1 20 A
20 A	1	NEMA 5-20 RECEPTACLE 6	11			360	180	12	CHRISTMAS TREE RECPT	G, HT	1 20 A
20 A	1	NEMA 5-20 RECEPTACLE 7	13	360	180			14	CHRISTMAS TREE RECPT	G, HT	1 20 A
20 A	1	NEMA 5-20 RECEPTACLE 8	15			360	63	16	PAVILION FANS AND LIGHTS		1 20 A
20 A	1	IRRIGATION CONTROLLER	17	500	360			18	PAVILION RECEPTACLES		1 20 A
20 A	1	SPARE	19			0	360	20	PAVILION RECEPTACLES		1 20 A
20 A	1	SPARE	21	0	150			22	FLAG POLE LIGHTING		1 20 A
20 A	1	SPARE	23			0	0	24	SPARE		1 20 A
20 A	1	SPARE	25	0	0			26	SPARE		1 20 A
20 A	1	SPARE	27			0	0	28	SPARE		1 20 A
20 A	1	SPARE	29	0	0			30	SPARE		1 20 A
20 A	1	SPARE	31			0	--	32	SPACE		1 --
--	1	SPACE	33	--	--			34	SPACE		1 --
--	1	SPACE	35			--	--	36	SPACE		1 --
--	1	SPACE	37	--	--			38	SPACE		1 --
--	1	SPACE	39			--	--	40	SPACE		1 --
				13530 VA		12443 VA					
Connected Load		Lighting 213 VA	HVAC	Motors	Receptacle 25260 VA	Refrig	Kitchen	EV...	Misc 0 VA	PANEL TOTALS:	
Demand Factor		125.00%		NEC	NEC					Total Conn. Load: 25473 VA	
Demand Load		266 VA			17630 VA				0 VA	Total Est. Demand: 17896 VA	
										Total Conn. Current: 106 A	
										Total Est. Demand Current: 75 A	

PANEL NOTES:

- G - GFI CIRCUIT BREAKER
- HT - PROVIDE LISTED HANDLE TIE

Seal



DP3

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Project



NEWBERRY COUNTY
PROSPERITY PARK
IMPROVEMENTS
PROSPERITY TOWN SQUARE

Project Number 23236-D
Drawn By RHV
Checked By SLE
Date 4 SEP 2025

Revisions

Drawing

ELECTRICAL PANEL
SCHEDULES AND
DIAGRAMS

E9.01