

**COUNTY OF NEWBERRY**  
**Purchasing Department, Post Office Box 156, Newberry, SC 29108**  
**Ph: (803) 321-2100 / Fax: (803) 321-2102**

**INVITATION FOR BIDS**

**BID NUMBER:** 2023-7

**DATE:** April 18, 2023

**OPENING DATE AND TIME:** May 9, 2023 @ 3:00 p.m.

**SUBMITTAL ADDRESS:**

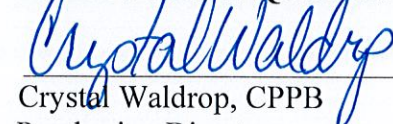
Newberry County Courthouse Annex, 1309 College  
Street, Newberry (Hand Delivered)  
Post Office Box 156, Newberry SC 29108  
(US Postal Service Delivered)

**PROCUREMENT FOR:**

Whitmire Town Hall Garage New Addition

**Subject to the conditions, provisions and the enclosed specifications, sealed bids will be received at this office until the stated date and time and then publicly opened. Any bid received after the scheduled deadline, will be immediately disqualified. The County assumes no responsibility for the delivery of bids which are mailed. BID NUMBER MUST BE SHOWN ON THE OUTSIDE OF ENVELOPE.**

**DIRECT ALL INQUIRIES TO:**



Crystal Waldrop, CPPB  
Purchasing Director  
Post Office Box 156  
Newberry SC 29108

**NOTICE TO BIDDERS:** Each bidder shall fully acquaint himself with conditions relating to the scope and restrictions attending the execution of the work under the conditions of this bid. The failure or omission of a bidder to acquaint himself with existing conditions shall in no way relieve him of any obligation with respect to this bid. All amendments to and interpretations of this solicitation shall be in writing and issued by the Purchasing Director of the County. Newberry County shall not be legally bound by an amendment or interpretation that is not in writing.

COUNTY OF NEWBERRY  
Purchasing Office, 1309 College Street, Post Office Box 156, Newberry S.C. 29108  
Ph: (803) 321-2100 / Fax: (803) 321-2102

**BIDDERS SCHEDULE**

**BID NUMBER:** 2023-7 rebid                      **DATE:** April 18, 2023

**OPENING DATE AND TIME:** May 9, 2023 @ 3:00 p.m.

**Pre-bid meeting will be held at the site of the project, 210 Main Street, Whitmire SC**

**OPENING LOCATION:** Newberry County Courthouse Annex, Conference Room  
1309 College Street  
Newberry, SC 29108

**PROCUREMENT:**            **Whitmire Garage Addition**

**Base Bid:**    \$ \_\_\_\_\_

**Acknowledgement of Addendum #1:** \_\_\_\_\_  
**(if applicable)**

**Acknowledgement of Addendum #2:** \_\_\_\_\_  
**(if applicable)**

**\*Bids shall be good for forty-five (45) days from the date of submittal**

**VENDOR:** \_\_\_\_\_

**Authorized Signature:** \_\_\_\_\_

**Email Address:** \_\_\_\_\_

**Mailing Address:** \_\_\_\_\_

**Phone Number:** \_\_\_\_\_

**FEIN:** \_\_\_\_\_ **Contractor's SC License #:** \_\_\_\_\_

## **INSTRUCTIONS TO BIDDERS**

1. Only one copy of bid is required unless otherwise specified.
2. Bids, amendments thereto or withdrawal request must be received by the time advertised for bid openings to be timely filed. It is the vendor's sole responsibility to ensure these documents are received by the purchasing office at the time indicated in the bid document.

**PLEASE NOTE THE VENDOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING THEY HAVE RECEIVED ANY/ALL ADDENDA PRIOR TO THE BID OPENING.**

3. When specifications or descriptive papers are submitted with the bid, enter bidder's name thereon.
4. Submit your signed bid on the bidder's schedule provided. Show bid number on envelope as instructed and the bid name or description. Newberry County accepts no responsibility for unmarked or improperly marked envelopes.
5. Bidders must clearly mark as "Confidential" each part of their bid which they consider to be proprietary information that could be exempt from disclosure under Section 30-4-40 Code of Laws of South Carolina, 1976, as amended, (also known as the Freedom of Information Act). The County reserves the right to determine whether this information should be exempt from disclosure and no legal action may be brought against the County or its agents for its determination in this regard.
6. By submission of a bid, you are guaranteeing that all goods and services meet the requirements of the solicitation during the contract period.
7. Tie bids will be resolved in accordance with the provisions of the Newberry County Purchasing Ordinance.
8. A copy of the bidder's W-9 shall be included in the submission.

## **GENERAL PROVISIONS**

1. The County of Newberry reserves the right to reject any and all bids, to cancel a solicitation, and to waive any technicality if deemed to be in the best interest of the County.
2. Unit prices will govern over extended prices unless otherwise stated in this bid invitation.
3. **PROHIBITION OF GRATUITIES:** South Carolina law and the Newberry County Purchasing Ordinance prohibit the giving of anything of value in return for favors or other preferential treatment in the purchasing process. Bidders should govern themselves accordingly.

4. **BIDDERS QUALIFICATION**: Bidders must, upon request of the county, furnish satisfactory evidence of their ability to furnish products or services in accordance with the terms and conditions of these specifications. The County reserves the right to make the final determination as to the bidder's ability to provide the products or services requested herein. Bidder determined to be irresponsible bidders are not allowed to bid to provide the County goods or services.
5. **BIDDERS RESPONSIBILITY**: Each bidder shall fully acquaint himself with conditions relating to the scope and restrictions attending the execution of the work under the conditions of this bid. It is expected that this will sometimes require on-site observation. The failure or omission of a bidder to acquaint himself with existing conditions shall in no way relieve him of any obligation with respect to this bid or to the contract.
6. **AWARD CRITERIA**: The contract shall be awarded to the lowest responsible and responsive bidder(s) whose bid meets the requirements and criteria set forth in the Invitation for Bid. Award may be made to one or a multiple of bidders, whichever deems to be in the best interest of the County, or unless otherwise stated on the bidder's schedule.
7. **WAIVER**: The County reserves the right to waive any Instruction to Bidders, General or Special Provisions, General or Special Conditions, or specifications deviation if deemed to be in the best interest of the county.
8. **COMPETITION**: This solicitation is intended to promote competition. If any language, specifications, terms and conditions, or any combination thereof restricts or limits the requirements in this solicitation to a single source, it shall be the responsibility of the interested vendor to notify the Purchasing Director on in writing within five (5) days prior to the opening date. The solicitation may or may not be changed but a review of such notification will be made prior to the award.
9. **REJECTION**: Ambiguous bids which are uncertain as to terms, delivery, quantity, or compliance with specifications may be rejected or otherwise disregarded if such action is in the best interest of the County.
10. **RIGHT TO PROTEST**: Any prospective bidder, offeror, or contractor, who is aggrieved in connection with the solicitation of a contract shall protest in writing to the Purchasing Director within ten (10) calendar days of the date of issuance of the Invitation to Bid or other solicitation documents, whichever is applicable, or any amendment thereto, if the amendment is at issue. Any actual bidder, offeror, or contractor, who is aggrieved in connection with the intended award or award of a contract, shall protest in writing to the purchasing director within ten (10) calendar days of the notification of intent to award or statement of award.

11. **PROTEST PROCEDURE:** A protest shall be in writing, submitted to the purchasing director, and shall set forth the specific grounds of the protest with enough particularity to give notice to the issues to be decided.

### **GENERAL CONDITIONS**

1. **DEFAULT:**In case of default by the contractor, the County reserves the right to purchase any or all items in default in the open market, charging the contractor with any excessive costs. Should such charge be assessed, no subsequent bids of the defaulting contractor will be considered until the assessed charge has been satisfied.
2. **NON-APPROPRIATION:**Any contract entered into by the County resulting from this bid invitation shall be subject to cancellation without damages or further obligation when funds are not appropriated or otherwise made available to support continuation of performance in a subsequent fiscal period or appropriated year.
3. **HOLD HARMLESS AND INSURANCE:** The successful bidder shall indemnify and hold harmless the County of Newberry and all County officers, agents and employees against all suits or claims for personal injury or property damage resulting from, or arising from, the successful bidder's performance of the contract, as well as against any suits or claims of any character brought against the County or its agents or employees by reason of any claim of infringement of any patent, trade mark, trade dress, or copyright, including reimbursement to the County for all attorney's fees and court costs incurred by the County in defending itself or its agents or employees against any such claim or suit. **In addition, the successful bidder will maintain a public liability policy with minimum limits of \$500,000 per occurrence, or \$1,000,000 single limit, for damages arising from acts which occur during the contract period, with the County of Newberry named as an additional insured on the policy; the successful bidder shall also maintain workers compensation and vehicle liability insurance in the amounts required by statutory law.** Proof of such coverage will be provided upon demand or as otherwise provided in the bid specifications.
4. **CONTRACT ADMINISTRATION:**Questions or problems arising after award of this contract shall be directed to the Purchasing Director, P.O. Box 156, Newberry, SC 29108, or by calling 803-321-2100.
5. **FORCE MAJEURE:**The Contractor shall not be liable for any excess costs if the failure to perform the contract arises out of causes beyond the control and without fault or negligence of the contractor. Such causes may include but are not restricted to acts of God or of a public enemy, acts of Government in either its sovereign or contractual capacity, fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, and unusually severe weather; but in every case the failure to perform must be beyond the control and without the fault or negligence of the contractor. If the failure to perform is caused by

default of a subcontractor, and if such default arises out of causes beyond the control of both the contractor and subcontractor and without excess costs for failure to perform, unless the supplies or services to be furnished by the subcontractor were obtainable from other sources in sufficient time to permit the contractor to meet the required delivery schedule.

6. **PUBLIC RELEASE:** Contractor agrees not to refer to award of this contract in commercial advertising in such a manner as to state or imply that the products or services provided are endorsed or preferred by the User.
7. **QUALITY OF PRODUCT:** Unless otherwise indicated in this bid it is understood and agreed that any items offered or shipped on this bid shall be new, in first class condition, and without defect that all containers shall be new and suitable for storage or shipment, and that prices include standard commercial packaging and shipping to the specified destination in Newberry County. No demonstration models shall be sold as new, without prior written permission of the County.
8. **S.C. LAW CLAUSE:** Upon award of a contract under this bid, the person, partnership, association or corporation to whom the award is made must comply with the laws of South Carolina which require such person or entity to be authorized and/or licensed to do business with this State. Notwithstanding the fact that applicable statutes may exempt or exclude the successful bidder from requirements that it be authorized and/or licensed to do business in this State, by submission of this signed bid, the bidder agrees to subject himself to the jurisdiction and process of the courts of the State of South Carolina as to all matters and disputes arising or to arise under the contract and the performance thereof, including any questions as to the liability for taxes, licenses, or fees levied by the State.
9. **ASSIGNMENT:** No contract or its Provisions may be assigned, sublet, or transferred without the written consent of the Purchasing Director.
10. **AFFIRMATIVE ACTION:** The successful bidder will take affirmative action in complying with all Federal and State requirements concerning fair employment of the handicapped, and concerning the treatment of all employees, without regard or discrimination by reason of race, color, religion, sex, national origin or physical handicap.
11. **DELIVERIES:** Whitmire, SC
12. **APPROPRIATE S.C. SALES TAXES, FEES AND PERMITS** shall be included in the Vendor's base bid.
13. **PAYMENT TERMS:** Payment will be made when all work is completed and accepted by Newberry County as meeting the specifications here within.



14. **BID BOND:** For each bid in excess of \$25,000.00 each bidder will submit with their bid a bond in the amount of 5% of the total price of the bid submitted. The bid bonds will be returned to the unsuccessful bidders once the county accepts the lowest most responsive bid. If the most responsive bidder fails to perform the responsibility of the bid within 10 days of the award, then the bid bond will be forfeited to the county as liquidated damages and the next lowest bidder will be awarded the bid. Bid bonds may be in the form of a surety, a cashier's check or an unconditional letter of credit in favor of Newberry County issued by a commercial bank in South Carolina.
  
15. **PERFORMANCE AND PAYMENT BONDS:** The chosen vendor will be required to submit to the County both a performance bond and payment bond in the amount of 100% of the contract price before commencing with the work. **Both bonds will be issued from a surety company with an "A" minimum rating of performance as stated in the most current publication of Best Key Rating Guide, Property Liability.**
  
16. **Compliance with The South Carolina Illegal Immigration Act:** By submitting an offer, Bidder certifies that it will comply with the applicable requirements of Title 8, Chapter 14 of the South Carolina code of Laws (originally enacted as Section 3 of The South Carolina Illegal Immigration act, 2008 S.C. Act No. 280) and agrees to provide upon request any documentation required to establish either: (a) the applicability of Title 8, Chapter 14 to Bidder and any subcontractor or sub-subcontractors; or (b) the compliance with Title 8, Chapter 14 by Bidder and any subcontractors or sub-subcontractors. Pursuant to Section 8-14-60, "A person who knowingly makes or files any false, fictitious, or fraudulent document, statement, or report pursuant to this chapter is guilty of a felony and, upon conviction, must be fined within the discretion of the court or imprisoned for not more than five years, or both". Bidder agrees to include in any contracts with its sub-contractor's language requiring the subcontractors to (a) comply with the applicable requirements of Title 8, Chapter 14, and (b) include in any contracts with the sub-sub-contractor's language requiring the sub-subcontract to comply with the applicable requirements of Title 8, Chapter 14.

**Scope of Work:**

Location: Town Hall Whitmire 210 Main Street, Whitmire, SC 29178

**General Information:**

The scope is to replace the old garage structure at the referenced location with a new metal frame building and complete the interior, per the attached drawings. This is the last phase of the previous Town Hall renovation project. The existing structure and concrete slab have been demolished, leaving a "ready to build" site. A new metal frame structure and monolithic concrete slab will be constructed. The drawings and specifications for the metal frame structure will be supplied by the vendor for approval by the Owner. The new structure guidelines are detailed in this scope.

The remainder of the project will be constructed per the listed drawings and specifications, provided by Johnson, Laschober & Associates. These documents are included in this solicitation and are available for downloading from the purchasing link on the County's website at [www.newberrycounty.net/departments/purchasing](http://www.newberrycounty.net/departments/purchasing) . The drawings include the work for electrical, plumbing, mechanical and architectural finishes.

The contractor will provide all required submittals to the Owner for approval prior to installation.

The site shall be fenced / barricaded for safety purposes to ensure the safety of the public.

Site access and parking will be located on the adjacent vacant lot on Setzler Alley. Traffic on Gilliam Street will not be impeded without approval from the Town of Whitmire's Police Department.

All existing conditions and dimensions shall be verified by the contractor prior to submitting a response.

The contractor will provide a project schedule and a schedule of values prior to the first payment application approval.

All warranties, as built drawings and closeout documents will be provided prior to final payment to the contractor.



**Specific Information:**

The project drawings listed below are attached and are also available on webpage [www.newberrycounty.net/purchasing](http://www.newberrycounty.net/purchasing) for review and printing.

A 601

A701

AALT 02

PALT 02

MALT 02

EALT 02

G 003

The chosen contractor will submit a complete set of drawings and specifications that meet all IBC, AWC, ASTM and County requirements for the metal framed structure. A PE stamped set will be required by the County Building Official. Delivery times will be given once owner approves all submittals.

The floor plan is as shown on drawing AALT 02. The drawing shows two overhead door openings at 12 feet wide by 10 feet high and one overhead door opening at 10 feet wide by 10 feet high.

There will be three exterior door openings per the referenced drawing.

The overhead and personnel doors will be supplied per the drawing (A-701); door, window, schedule, details, finish schedule drawing.

The contractor's submittal drawings will detail the anchoring of the new building to the concrete slab. Dimensions of concrete slab shall be verified by the contractor and so noted on submittal drawings.

The submittal will include all details for sealing the structure to the new concrete slab.

The eave height will be 12 feet and roof slope will be 3:12 or better.

The structure submittal will include, but not limited to product data, frame member sizes, stress grades, species and anchor bolt layout, structural framing details with spans and spacing.

Design loading will be provided for wind and snow loads, live and dead loads for all chords and trusses.

The exterior panels will be 26- gauge galvanized steel with a baked enamel finish with a 40- year warranty. Colors to be selected by the Owner from the manufacturer's standard selection.

Trim package will be standard for all ridge lines, corners, rakes, eaves and panel bases.

All metal will be fastened with hot dipped galvanized screws with neoprene washers.

The submittal will provide all vented ridge and soffit, gutter and downspout details.

The perimeter walls and the roof will be insulated to meet governing code requirements and will be rolled faced fiberglass with all edges sealed. A vapor barrier and building wrap, will be installed on all exterior faces.

The minimum insulation value will be R-19 for walls and R-30 for the roof.

The submittal shall include sample 50-year warranty for structure and 40 years for panels.

The contractor shall include all labor, tools, material, and equipment to construct a new monolithic concrete slab with approved vapor barrier to support the structure. Coordination will be essential between the structure supplier and the general contractor. Also included will be the concrete drive apron as shown on drawing G-003. The ramp will be 6" thick fiber reinforced, 4,000 psi concrete from end to end of building.

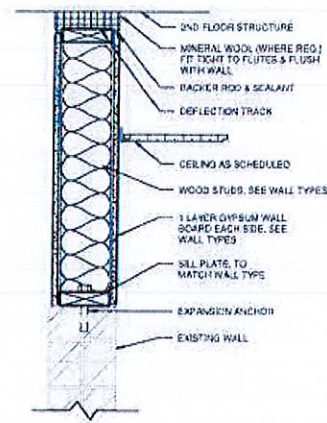
Site Work will include the items below to create a stable base for construction and ensure proper drainage, aesthetics, and functionality of the site.

- Regrading
- Rough Grading
- Finished Grading
- Final Grade
- Backfilling
- Importing and Exporting of Fill Material
- Inspections of Compaction
- Cleanup

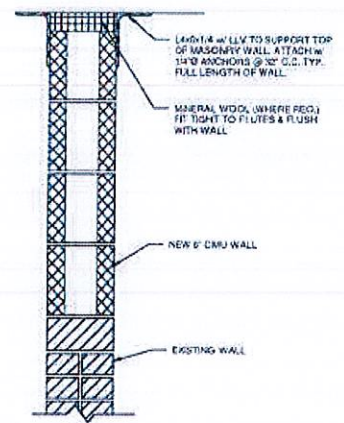
Site visits are recommended since the demo of the existing building and concrete slab have been performed.

Any questions regarding the scope requirements may be sent to [cwaldrop@newberrycounty.net](mailto:cwaldrop@newberrycounty.net)

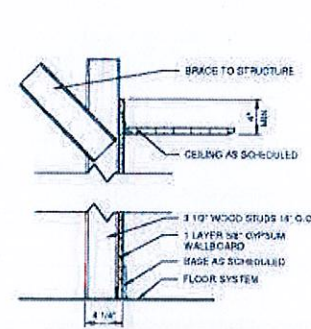
It is the bidder's responsibility to verify exact existing conditions. Currently, the site is open without restrictions for access.



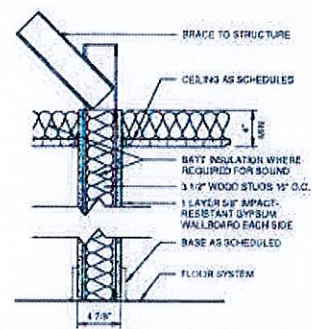
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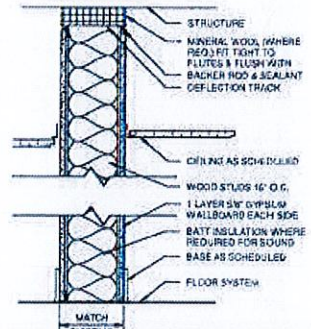
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SCALE: 1/4" = 1'-0"



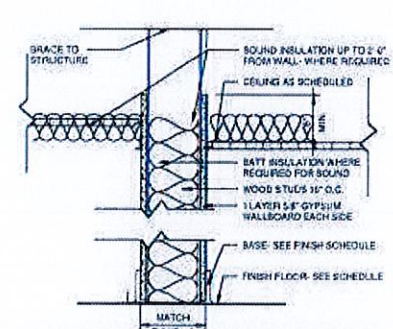
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	N/A	N/A	N/A



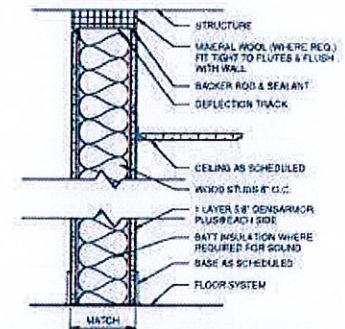
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	N/A	N/A	N/A



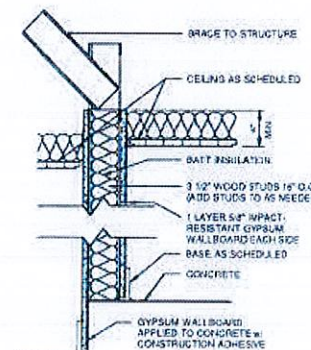
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	N/A	N/A	N/A



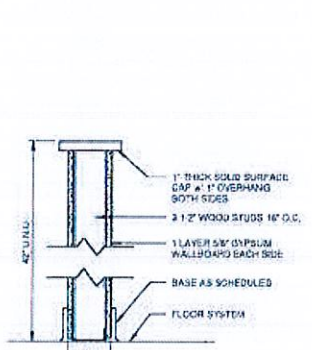
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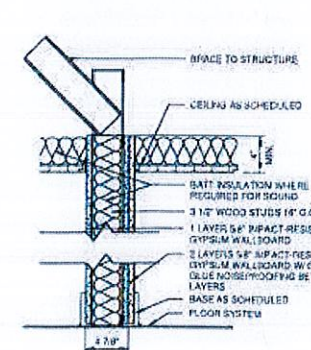
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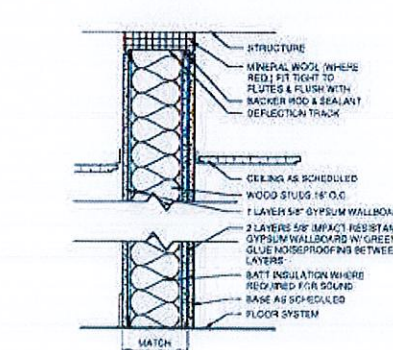
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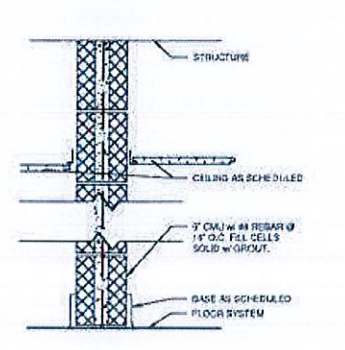
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NEWBERRY COUNTY  
NEWBERRY, SOUTH CAROLINA  
**TOWN HALL POLICE -  
CITY OF WHITMIRE**  
PROJECT LOCATION: 210 MAIN STREET, WHITMIRE, SC 29178



DATE	12/11/17
BY	WLD
CHECKED BY	CHW
PROJECT NO.	3606.1704
DRAWN BY	CHW
CHECKED BY	WLD
DATE	12/11/17
SHEET TITLE	WALL TYPES

SCALE: AS NOTED  
DRAWING NO. **A-601** REV 0



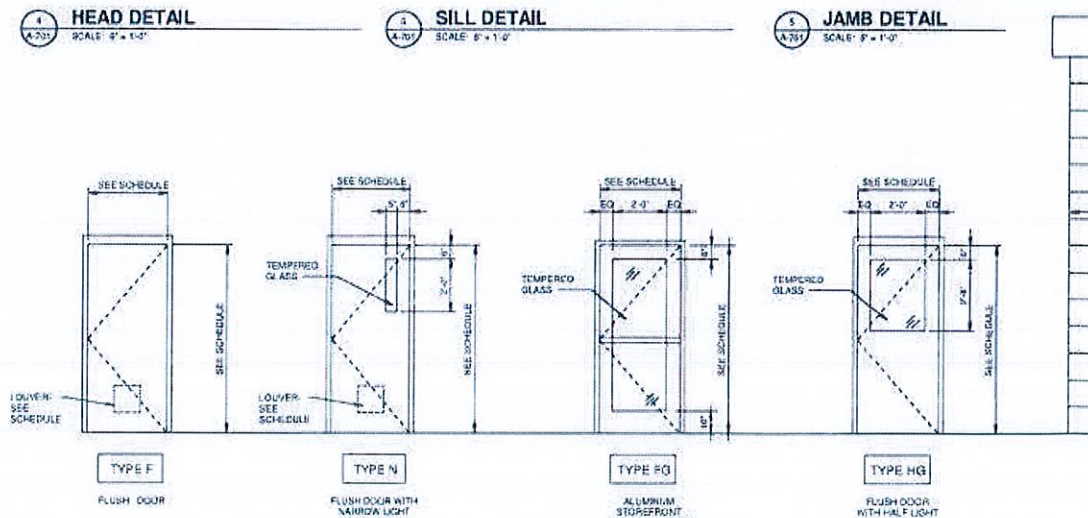
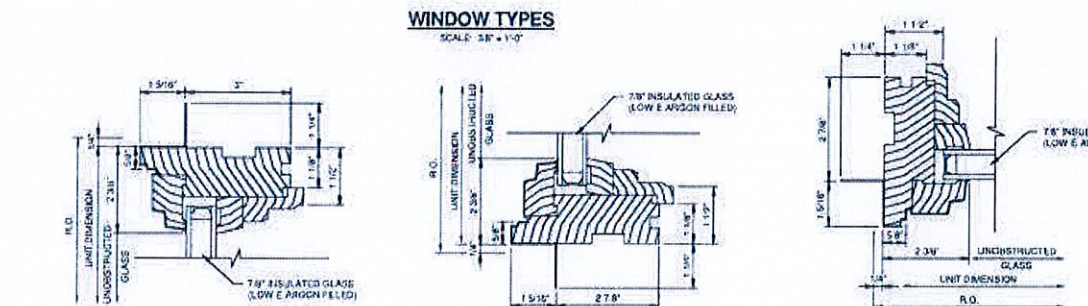
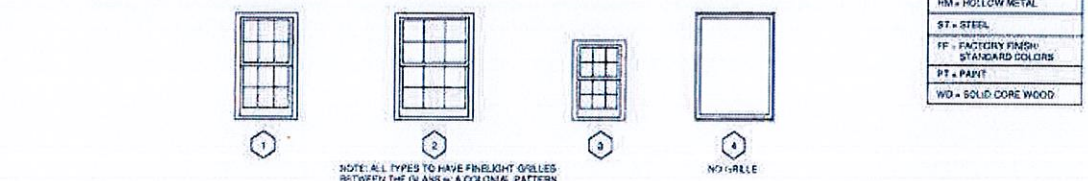
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121B	NL	2'-0"	7'-0"	0'-1 3/4"	ALU	PT	
122	EX	2'-0"	7'-0"	0'-1 3/4"	ALU	PT	
123	EX	2'-0"	7'-0"	0'-1 3/4"	ALU	PT	
124	EX	2'-0"	7'-0"	0'-1 3/4"	ALU	PT	
125	EX	2'-0"	7'-0"	0'-1 3/4"	ALU	PT	
126	EX	2'-0"	7'-0"	0'-1 3/4"	ALU	PT	
127	EX	2'-0"	7'-0"	0'-1 3/4"	ALU	PT	
128	EX	2'-0"	7'-0"	0'-1 3/4"	ALU	PT	
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NUMBER	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	COMMENTS
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119	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
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121	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
122	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
123	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
124	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
125	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
126	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
127	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
128	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
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130	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
131	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
132	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
133	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
134	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
135	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
136	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
137	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
138	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
139	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	
140	EX	2'-0"	7'-0"	0'-1 3/4"	ST	PT	

NUMBER	NAME	FLOOR FINISH	BASE	WALL FINISH	CEILING MATERIAL	CEILING FINISH	CEILING HEIGHT	COMMENTS
120	ENTRY	LVT-1	RB-1	PT-1	CS-1	PT-5	8'-0"	WALL PAINT COLOR TO BE DETERMINED, TYP.
121	POLICE	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
122	CONF.	LVT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
123	MEN	LVT-1	RB-1	PT-3	ACT	PT-5	8'-0"	ALUMINUM GRID w/ V.W.K. FACED GYP.
124	WOMEN	LVT-1	RB-1	PT-3	ACT	PT-5	8'-0"	ALUMINUM GRID w/ V.W.K. FACED GYP.
125	CORRIDOR	LVT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
126	CORRIDOR	LVT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
127	EVIDENCE	SO	RB-1	PT-1	ACT	PT-5	8'-0"	OPEN TO STRUC. ABOVE
128	STORAGE	SO	RB-1	PT-1	ACT	PT-5	8'-0"	OPEN TO STRUC. ABOVE
129	Vault	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
130	CPW CLERK	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
131	TOWNSHIP L.G. FRM.	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
132	VESTIBULE	LVT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
133	FILE	SO	RB-1	PT-1	ACT	PT-5	8'-0"	
134	JAN	LVT-1	RB-1	PT-3	ACT	PT-5	8'-0"	
135	STORAGE	LVT-1	RB-1	PT-1	ACT	PT-5	8'-0"	OPEN TO STAIRS ABOVE
136	INTERVIEW	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
137	PROPERTY	SC	RB-1	PT-1	ACT	PT-5	8'-0"	OPEN TO STRUC. ABOVE
138	HIGH SECURITY EVIDENCE	SC	RB-1	PT-1	ACT	PT-5	8'-0"	
139	STAIRS	LVT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
140	VESTIB.	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
201	OFFICE	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
202	OFFICE	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
203	OFFICE	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
204	OFFICE	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
205	CORRIDOR	LVT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
206	OFFICE	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
207	OFFICE	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
208	FUTURE OFFICE	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
209	CONFERENCE AREA	CONG	RB-1	PT-1	ACT	PT-5	8'-0"	
210	CORRIDOR	LVT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
211	CORRIDOR	LVT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
212	BREAK ROOM	FB-1	PT-1	ACT	PT-5	8'-0"		
213	OFFICE	OPT-1	RB-1	PT-1	ACT	PT-5	8'-0"	
214	ADA TOILET	FB-1	PT-1	ACT	PT-5	8'-0"		
215	STORAGE	WDOO	PT-1	ACT	PT-5	8'-0"		

TYPE MARK	WIDTH	HEIGHT	MANUFACTURER	SERIES	INTERIOR FINISH	EXTERIOR FINISH	GLAZING THICKNESS	GLAZING TYPE	SILL HEIGHT	COMMENTS
1	2'-1 1/2"	2'-11 1/2"	Andean Corporation	201	WOOD	WHITE ALUM	7/8"	W	2'-8"	
2	2'-11 1/2"	3'-11 1/2"	Andean Corporation	201	WOOD	WHITE ALUM	7/8"	W	2'-8"	
3	1'-11 1/2"	2'-11 1/2"	Andean Corporation	201	WOOD	WHITE ALUM	7/8"	W	4'-3"	
4	3'-8"	4'-0"	Andean Corporation	201	WOOD	WOOD	7/8"	W	4'-0"	

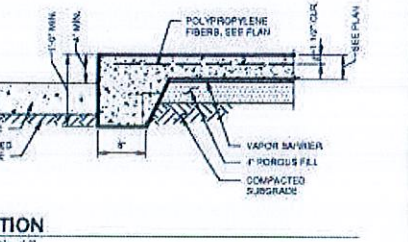
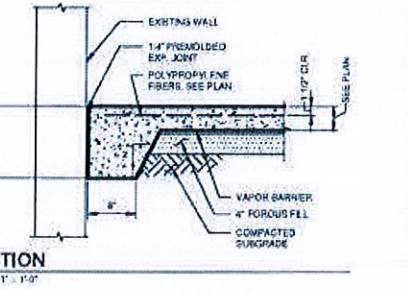
DOOR LEGEND:  
 EX - EXISTING  
 CO - GASED OPENING  
 FS - FLUSH STEEL  
 ALUM - ALUMINUM  
 HM - HOLLOW METAL  
 ST - STEEL  
 FF - FACTORY FINISH  
 STD - STANDARD COLORED  
 PT - PAINT  
 WD - SOLID CORE WOOD



DESCRIPTION	MANUFACTURER / SPEC	CONTACT
OPT-1 - CARPET TILE	MANUFACTURER SHAW CONTRACT	
PT-1 - WALL PAINT	MANUFACTURER SHERWIN-WILLIAMS	
SS-1 - SOLID SURFACE	MANUFACTURER DUPONT	
LVT-1 - LUXURY VINYL TILE	MANUFACTURER SHAW CONTRACT	
PT-2 - WALL PAINT	MANUFACTURER SHERWIN-WILLIAMS	
PL-1 - PLASTIC LAMINATE	MANUFACTURER WILSONART	
PT-3 - WALL PAINT	MANUFACTURER SHERWIN-WILLIAMS	
PL-2 - PLASTIC LAMINATE	MANUFACTURER WILSONART	
PT-4 - TRIM PAINT	MANUFACTURER SHERWIN-WILLIAMS	
PT-5 - GYP CEILING PAINT	MFR: SHERWIN-WILLIAMS	

ACT	RR
ACT - ADJUSTABLE CEILING TILE	RR - RUBBER / VINYL BASE
CONC - CONCRETE	RF - RUBBER FLOOR
CPT - CARPET	RN - RUBBER MDSNG
CT - CERAMIC TILE	RT - RUBBER TILE
CTR - CERAMIC TILE BASE	RSTR - RUBBER STAIR TREAD/RISER
CW - CERAMIC WALL TILE	SC - SEALED CONCRETE
EPR - EPOXY FLOORING	SFP - SPORTS FLOORING
EPC - EPOXY COATING	SKR - SKR SURFACE
EPX - EPOXY PAINT	ST - STAIR
ETR - EXISTING TO REMAIN	STC - STAMPED CONCRETE
EXP - EXPOSED STRUCTURE	SV - SHEET VINYL
FRP - FIBER REINFORCED PANEL	TBD - TO BE DETERMINED
GB - GYPSUM BOARD ALL SPS	TR - TRANSITION STRIP
DL - TO RECEIVE KNOWN/KNOWN	WC - WALL COVERING
DRYWALL FINISH	WCB - WOOD BASE
GR - GROUT	WDF - WOOD FLOORING
LVT - LUXURY VINYL TILE	WAF - WOOD ATHLETIC FLOORING
PL - PAINT	VCT - VINYL COMPOSITION TILE
PC - PAINTED CONCRETE	VP - VINYL PLANK FLOORING
PL - PLASTIC LAMINATE	VRB - WATER RUBBER BASE

NOTES:  
 1. PRIME AND PAINT ALL EXPOSED STRUCTURE, FRAMING, BRACING, DUCT WORK, CONDUIT  
 2. ALL GYPSUM BOARD WALLS TO RECEIVE KNOCK DOWN FINISH TO MATCH EXISTING  
 3. ALL CONCRETE MASONRY WALLS TO RECEIVE EPOXY PAINT  
 4. SHOWER WALLS TO RECEIVE EPOXY WALL COATING

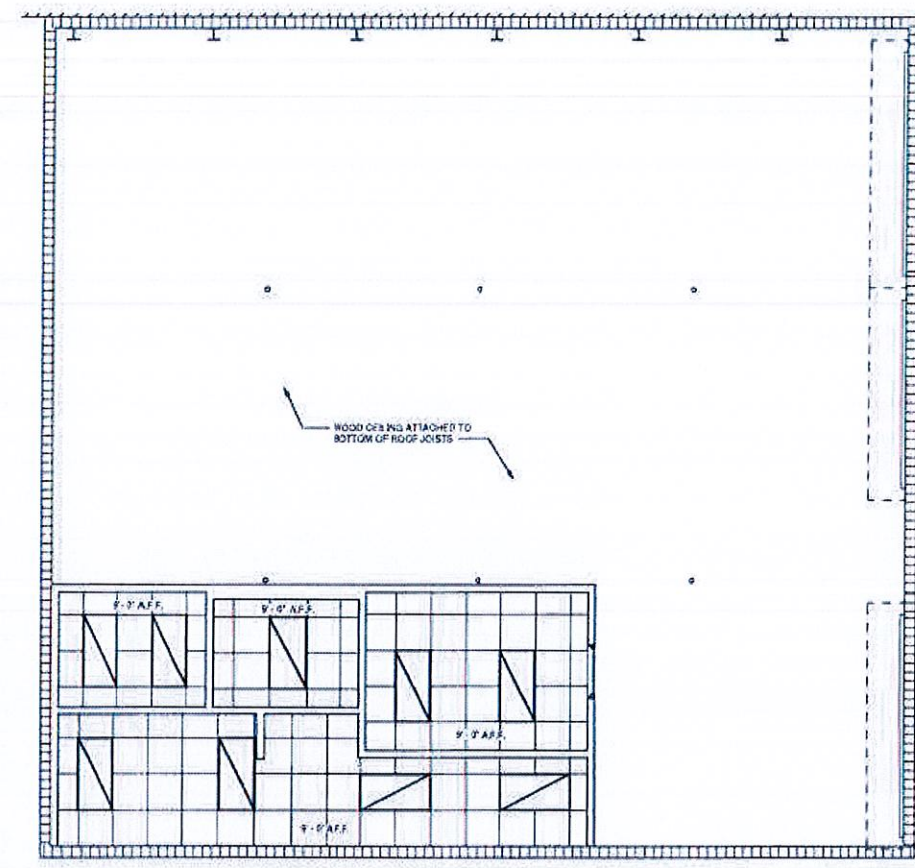
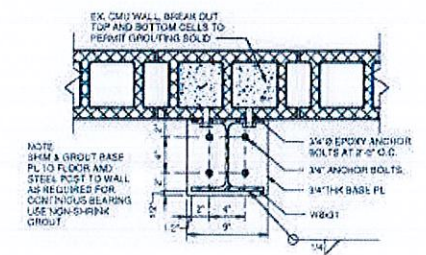
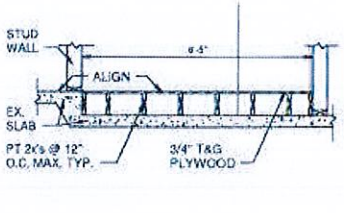
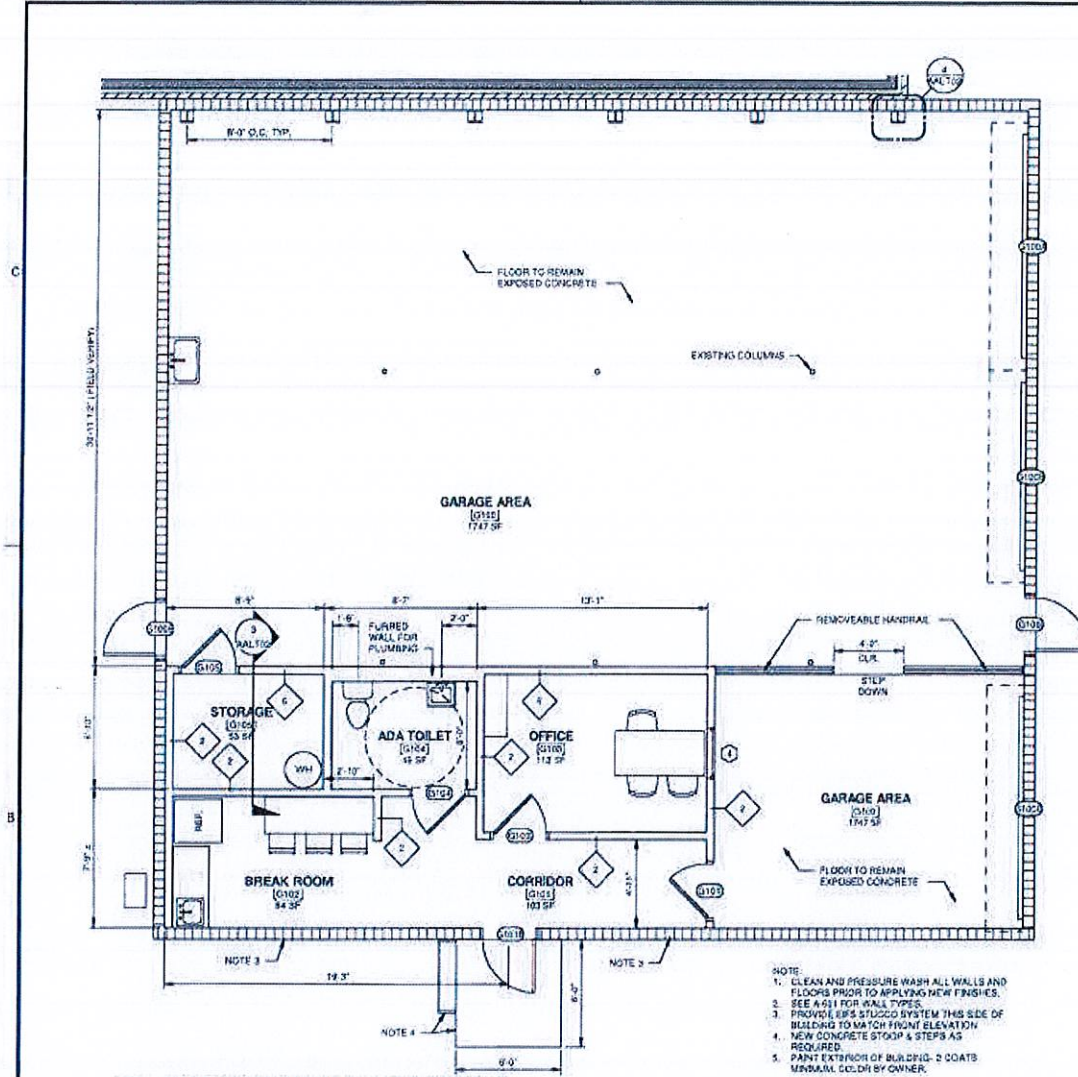


NEWBERRY COUNTY  
 NEWBERRY, SOUTH CAROLINA  
**TOWN HALL POLICE -  
 CITY OF WHITMIRE**  
 PROJECT LOCATION: 210 MAIN STREET, WHITMIRE, SC 29178



PROJECT NO: 3606.1704  
 DRAWN BY: CTHOPT  
 CHECKED BY: WLD  
 DATE: 12/11/17  
 SHEET TITLE:  
**DOOR, WINDOW  
 SCHEDULE,  
 DETAILS, ROOM  
 FINISH SCHEDULE**  
 SCALE: AS NOTED  
 DRAWING NO: A-701  
 REV: 0





CEILING LEGEND			
	ACOUSTICAL CEILING TILE 2X2 LAY IN CEILING PANEL WITH SUSPENDED GRID		MECH DIFFUSER - RETURN GRILLE SEE MECH DWGS
	HARD CEILING- PAINTED GYP GYP/PLUM BOARD PAINTED		LAY-IN FIXTURE 1 X 4 LIGHT FIXTURE
	WOOD CEILING- PAINTED TONGUE & GROOVE PLYWOOD PAINTED		LAY-IN FIXTURE 2 X 4 LIGHT FIXTURE
	METAL PANEL GOFFIT		RECESSED LIGHT FIXTURE
			SUSPENDED FIXTURE
			WALL MOUNTED FIXTURE
			CEILING CAP SOUND BARRIER INSULATION PLATE ABOVE CEILING 2'-0" FROM PERIMETER WALLS
			HVAC RETURN SEE HVAC DWGS.
			EXIT LIGHT
			EMERGENCY FIXTURE
			HVAC DIFFUSER SEE HVAC DWGS.
			HIGH BAY FLUORESCENT

NOTES:  
 1. SEE ALL ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL RELATED ITEMS.  
 2. SEE ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE.

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 WWW.JLASCHNER.COM

CLIENT: NEWBERRY COUNTY, NEWBERRY, SOUTH CAROLINA  
 PROJECT NAME: TOWN HALL POLICE - CITY OF WHITMIRE  
 PROJECT LOCATION: 210 MAIN STREET, WHITMIRE, SC 29178



PROJECT NO.	3606.1704
DRAWN BY:	CSW
CHECKED BY:	WLD
DATE:	12/11/17
SHEET TITLE:	GARAGE BUILDING PLANS- ALTERNATE #2
SCALE:	AS NOTED
DRAWING NO.	AALT02
REV	0

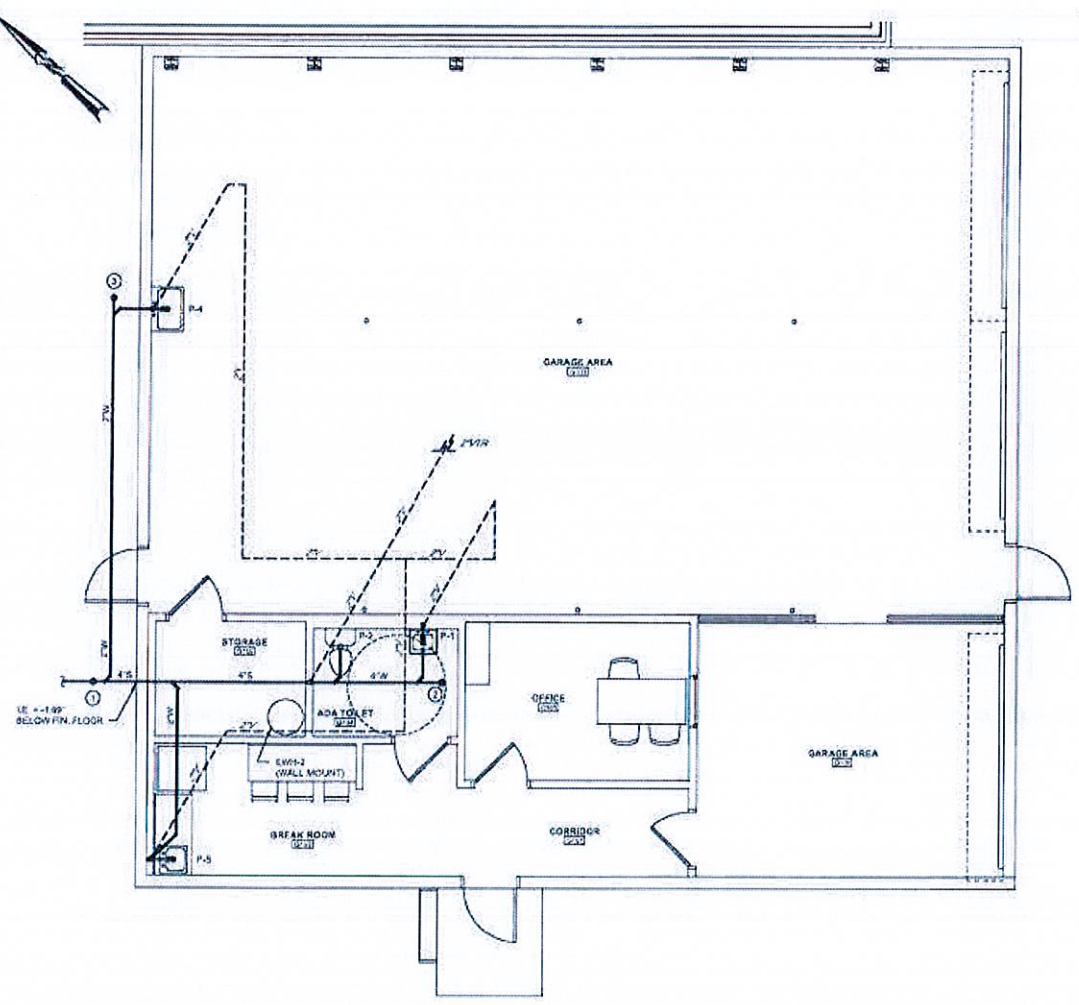


**WASTE PIPING NOTES:**

- ① - P-GC0
- ② - P-FG0
- ③ - P-GC0

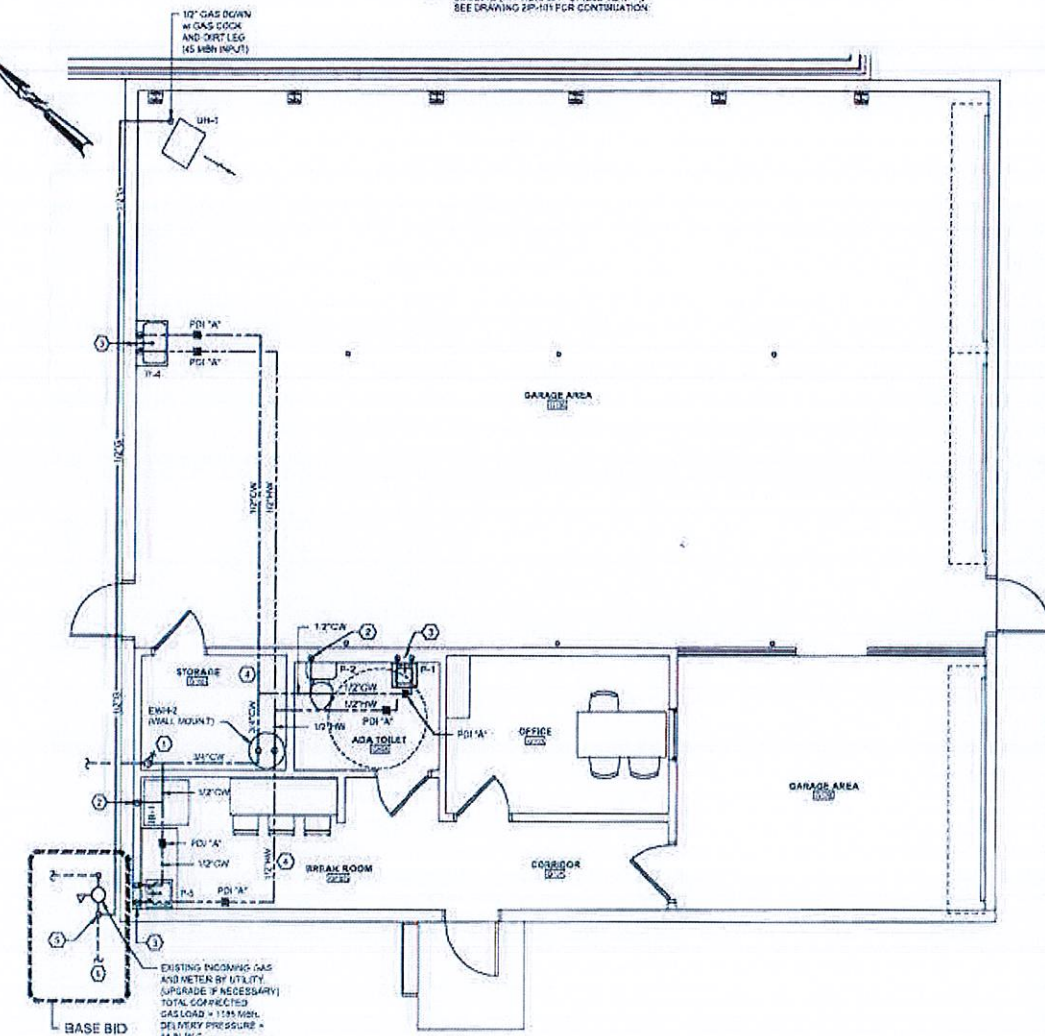
**POTABLE WATER & GAS PIPING NOTES:**

- ① - 1" WATER UP THRU SLAB W/ SLEEVE, COORDINATE W/ GENERAL CONTRACTOR. PROVIDE SHUT-OFF VALVE AND B.F.P. PROVIDE P.V.V. IF WATER PRESSURE  $\geq$  80 PSI. PLUMBING CONTRACTOR TO VERIFY WATER PRESSURE IN THE FIELD.
- ② - 1/2" CW DOWN.
- ③ - 1/2" CW & HW DOWN.
- ④ - POTABLE WATER PIPING IS LOCATED ABOVE CEILING (TYP. UNL.S.).
- ⑤ - NEW 1/2" G UP AND 2 1/2" G DOWN.
- ⑥ - NEW 2 1/2" G (UNDERGROUND) TO MAIN BUILDING (APPROX. 16 FT., FIELD VERIFY). SEE DRAWING 2P-111 FOR CONTRIBUTION.



NOTES:  
 1. SEE PLUMBING FIXTURE SCHEDULE FOR INDIVIDUAL FIXTURE RUN-OUT SIZES.  
 2. PLUMBING CONTRACTOR SHALL COORDINATE UNDERGROUND PIPING WITH STRUCTURAL COLLAR AND FOOTING LOCATIONS. REROUTE PIPING AS NECESSARY TO AVOID INTERFERENCES.

**1 WASTE PIPING PLAN**  
 SCALE: 1/4" = 1'-0"



NOTE:  
 SEE PLUMBING FIXTURE SCHEDULE FOR INDIVIDUAL FIXTURE RUN-OUT SIZES.

**2 POTABLE WATER AND GAS PIPING PLAN**  
 SCALE: 1/4" = 1'-0"



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**NEWBERRY COUNTY**  
 NEWBERRY, SOUTH CAROLINA  
**TOWN HALL POLICE - CITY OF WHITMIRE**  
 PROJECT LOCATION: 270 MAIN STREET, WHITMIRE, SC 29178

PROJECT NO. 3606.1704  
 DRAWN BY: WBR  
 CHECKED BY: CVW  
 DATE: 12/11/17

**ALTERNATE #2 REAR BUILDING PLUMBING PLANS**

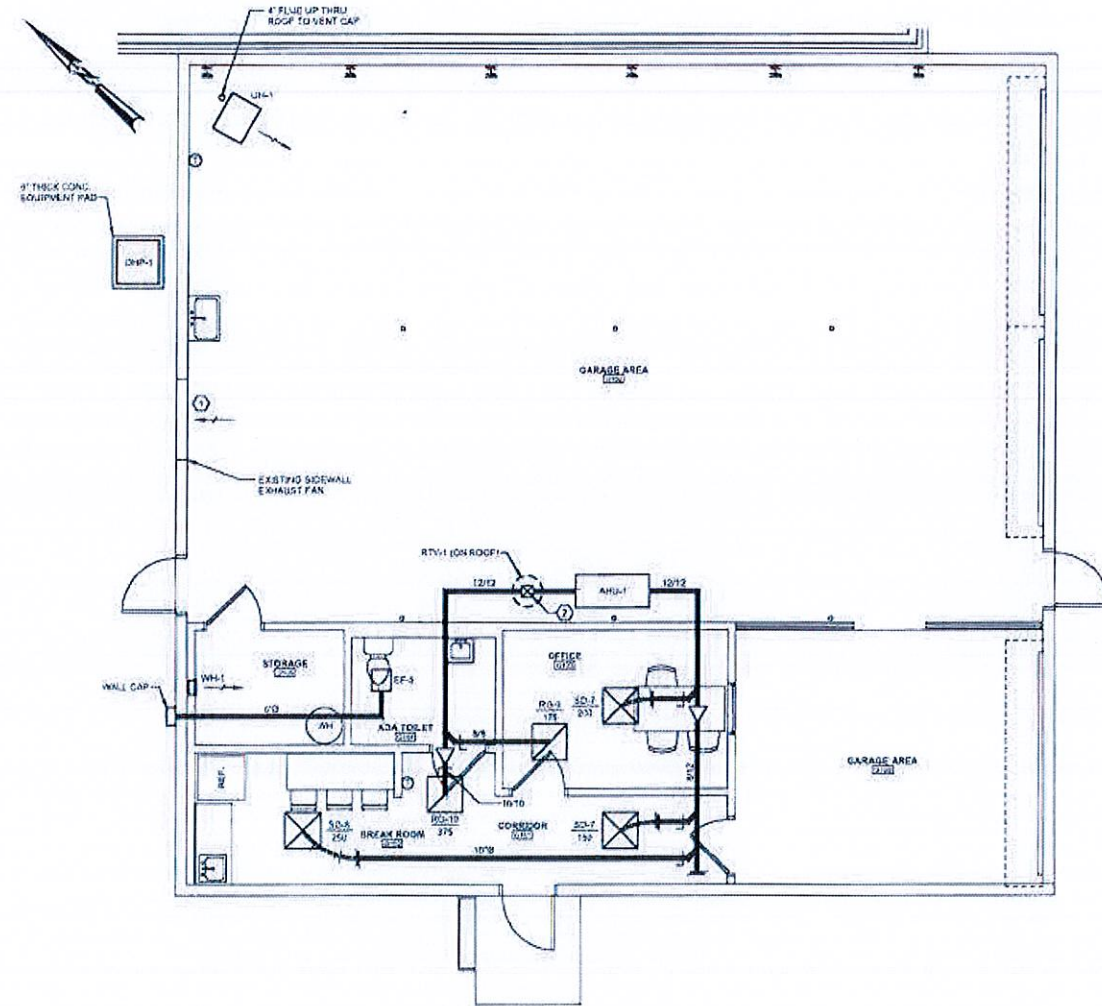
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 DRAWING NO. **PALT02** REV. 0

NO.	DATE	ISSUED FOR CONSTRUCTION	DESCRIPTION
1	12/11/17	ISSUED FOR CONSTRUCTION	ISSUED FOR CONSTRUCTION



**HVAC CONSTRUCTION NOTES:**

- ① EXISTING SIDEWALL EXHAUST FAN TO REMAIN. REMOVE AND REPLACE BACKDRAFT DAMPER.
- ② 6" DA DUCT DOWN FROM RTV-1 ON ROOF. PROVIDE MANUAL VOLUME DAMPER IN DA DUCTWORK.



1 HVAC PLAN  
SCALE 1/4" = 1'-0"

AIR HANDLING UNIT SCHEDULE										
MARK	BASIS OF DESIGN		NOM. CFM	MAX. O/A	E.S.P. "W.C.	EMERGENCY STRIP HEAT KW @ 240V	ELECTRICAL (SINGLE POINT CONN.)			NOTES
	MANUFACTURER	MODEL NO.					MCA	MOCP	V/Ø/Hz	
AHU-1	TRANE	9AW5041R2	530	70	3.5	3.54	34	25	250/1/60	①②③

- ① FIELD ROUTE CONDENSATE DRAIN PIPING TO OUTDOORS
- ② FIELD ROUTE REFRIGERANT PIPING TO CORRESPONDING CHP U/I.C.
- ③ MIN. BERV EXETER

OUTDOOR HEAT PUMP UNIT SCHEDULE											
MARK	BASIS OF DESIGN		COOLING MBH		HEATING BTU/HR HI TEMP.	REFRIG. O.D.		SEER M.I.N.	ELECTRICAL		NOTES
	MANUFACTURER	MODEL NO.	TOTAL	SENSIBLE		LIQUID	SUCTION		MCA	MOCP	
CHP-1	TRANE	4TWS411R2	17.8	13.7	11,200	3.8	3.4	14.3	12	20	230/1/60

GAS UNIT HEATER SCHEDULE									
MARK	BASIS OF DESIGN (REZNOR P/N)	HEATING		CFM	ELEVATION (A.F.F.)	ELECTRICAL		QUANTITY	NOTES
		INPUT MBH	MIN. EFF.			AMPS	V/Ø/Hz		
UH-1	UGAS-45	45.0	83.8	800	10'-0"	2.4	115/100	1	①②③

- ① HORIZONTAL DISCHARGE.
- ② POWER DISCONNECT SWITCH
- ③ PROVIDE SINGLE STAGE ROOM THERMOSTAT WITH SUMMER WINTER SWITCH.

ELECTRIC WALL HEATER SCHEDULE						
MARK	BASIS OF DESIGN (QMARK P/N)	BTU/HR	WATTS	AMPS	ELECTRICAL V/Ø/Hz	NOTES

- ① DISCONNECT SWITCH
- ② CONTROLLED BY INTEGRAL TAMPER RESISTANT THERMOSTAT

EXHAUST FAN SCHEDULE										
MARK	BASIS OF DESIGN		TYPE	ESP (IN W.C.)	NOM. CFM	FRPM	WATTS	SONES	ELECTRICAL V/Ø/Hz	NOTES
	MANUFACTURER	MODEL NO.								
EF-1	GREENHECK	EF-L80	CEILING	8.25	70	608	27	2.7	115/100	①②

- ① INTERLOCK WITH LIGHTS
- ② BACKDRAFT DAMPER

AIR DISTRIBUTION DEVICE SCHEDULE														
MARK	SIZE (INCHES)		MOUNTING			THROW	MATERIAL		DEVICE CONN.			BASIS OF DESIGN	NOTES	
	FACE	NECK	SIDEWALL	CEILING	DUCT		STEEL	ALUM.	1	2	3			MANUF.
SD-1	24/24	12/0		X		4	X		X			TITUS	TMS	①②
SD-2	24/24	10/0		X		1	X		X			TITUS	TMS	①②
RD-1	24/24	8/0		X		-	X			X		TITUS	PAR	①②
RD-2	24/24	12/12		X		-	X			X		TITUS	PAR	①②

- LEGEND**
- 1. SYMBOL, REV - FIRST LETTER S-SUPPLY, R-RETURN, E-EXHAUST, T-TRANSFER AND D-DOOR. SECOND LETTER D-DIFFUSER, R-REGISTER AND G-GRIFFLE.
  - 2. CONNECTIONS - 1. ROUND DUCT TO ROUND NECK. 2. ROUND DUCT TO RECTANGULAR NECK. 3. RECTANGULAR DUCT TO RECTANGULAR NECK.
  - 3. FIELD PRINT ALL SUPPLIES AND RETURNS TO MATCH CEILING AND/OR WHITE FINISH OTHERWISE.
  - 4. 1, 2, 3 AND 4-WAY AND DOUBLE DEFLECTION (DD) AIR DEVICES ARE INDICATED IN "THROW" COLUMN.
  - ① DUCT HANGOUT SIZE SAME AS NECK CONNECTION SIZE U/I.C.
  - ② PROVIDE WITH INS FOR BACKDRAFT DAMPER

ROOFTOP VENTILATOR SCHEDULE							
MARK	BASIS OF DESIGN (GREENHECK P/N)	TYPE	CFM	THROAT SIZE	THROAT AREA (FT <sup>2</sup> )	QTY	NOTES
RTV-1	GRS1-8	INTAKE	50	8" x 8"	1.3	1	①②③④

- ① BRICK/CLIN
- ② FLASHING FLANGE
- ③ PAINT TO MATCH ROOF COLOR
- ④ BACKDRAFT DAMPER



NEWBERRY COUNTY  
NEWBERRY, SOUTH CAROLINA

**TOWN HALL POLICE -  
CITY OF WHITMIRE**

PROJECT LOCATION:  
210 MAIN STREET, WHITMIRE, SC 29178



NO.	DATE	BY	DESCRIPTION
0	12/11/17	CWV	ISSUED FOR CONSTRUCTION

PROJECT NO. 3606.1704  
DRAWN BY: MNB  
CHECKED BY: CWV  
DATE: 12/11/17

SHEET TITLE:  
**ALTERNATE #2  
REAR BUILDING  
HVAC PLAN**

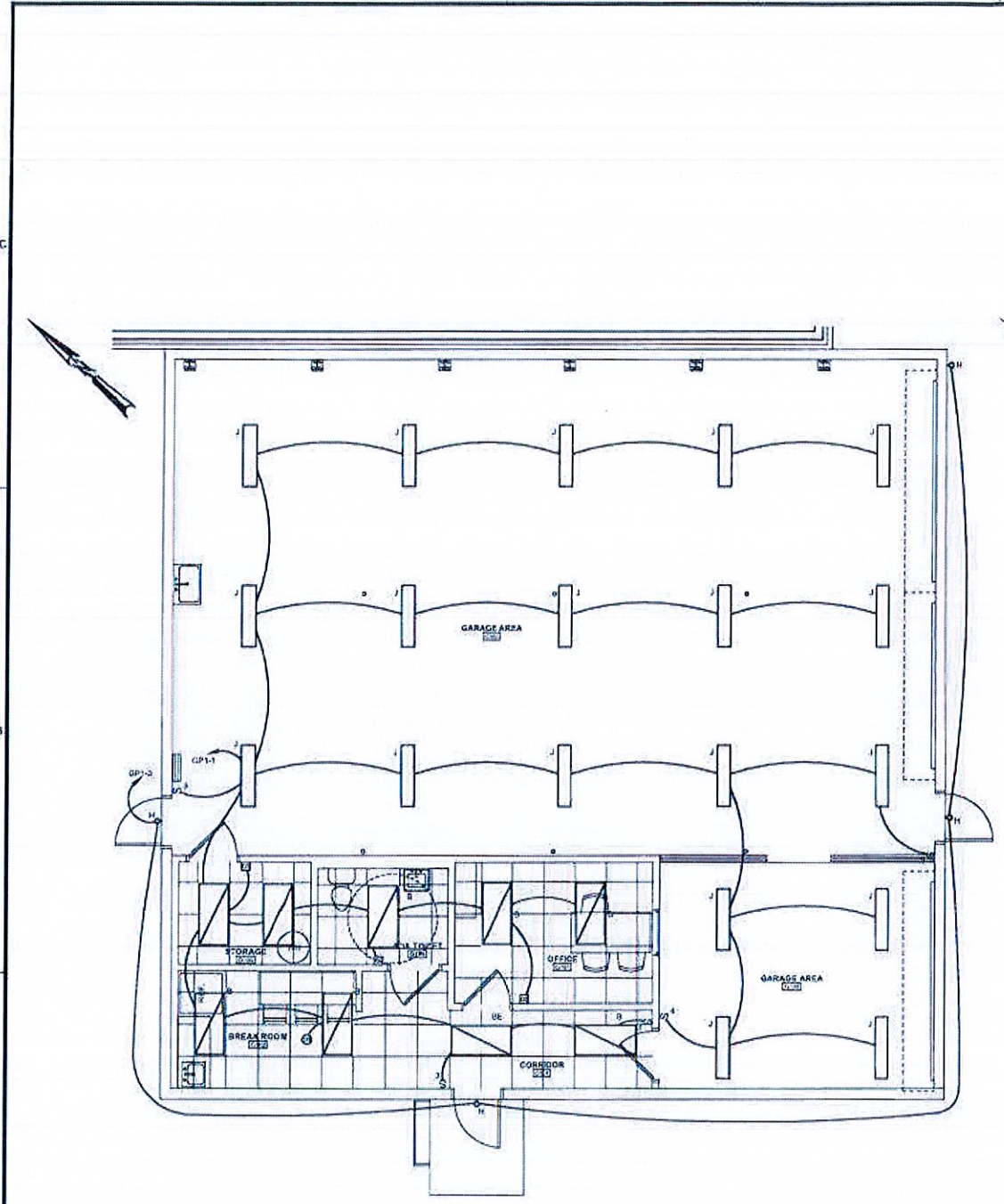
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DRAWING NO. **MALT02** REV 0

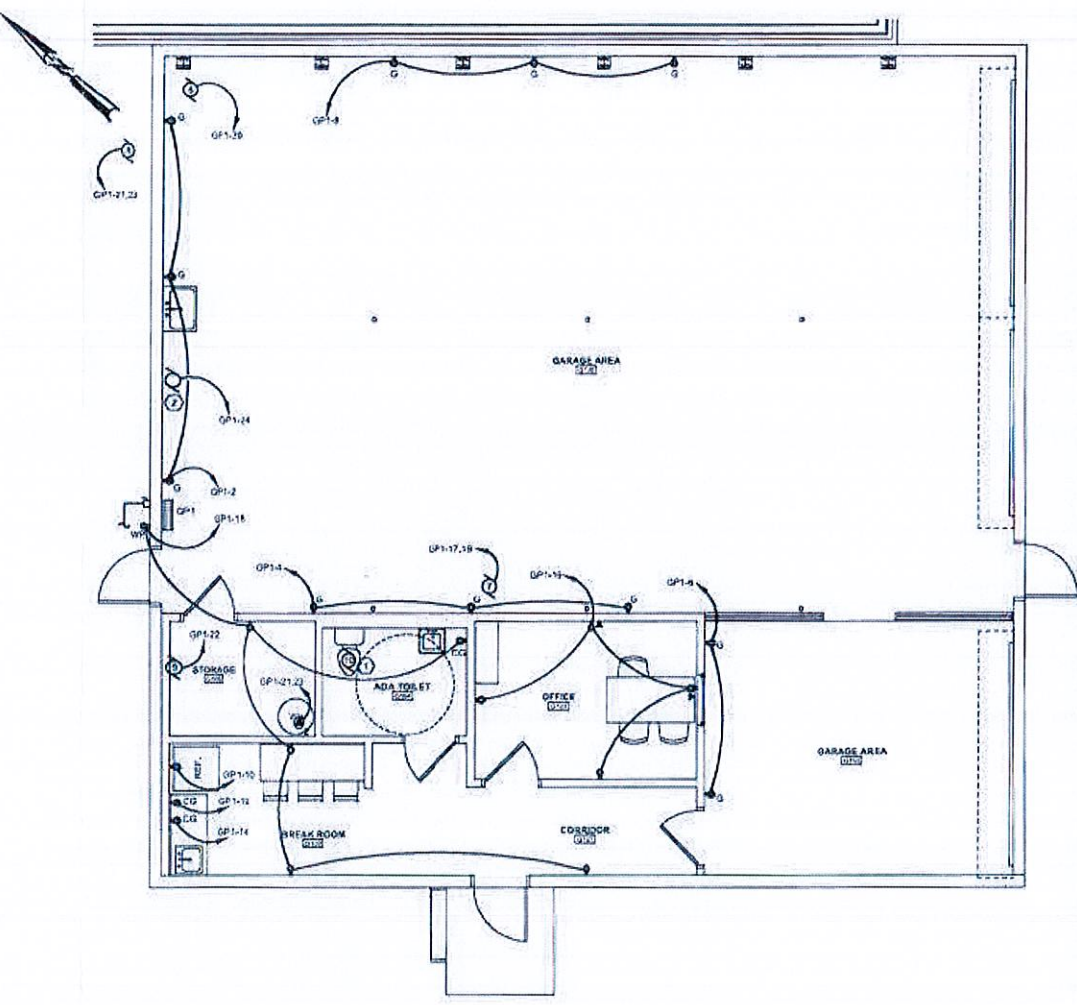


**ELECTRICAL DEMOLITION NOTES:**  
 1. REMOVE ALL EXISTING ELECTRICAL ITEMS IN THEIR ENTIRETY IN THIS AREA.

**ELECTRICAL KEYED NOTES:**  
 1. INTERLOCK PAN WITH LIGHTS.  
 2. APPROXIMATE LOCATION OF EXISTING PROJECT PANS TO REMAIN.



**1 LIGHTING PLAN**  
 SCALE: 1/4" = 1'-0"



**2 POWER AND SIGNAL PLAN**  
 SCALE: 1/4" = 1'-0"



CLIENT: NEWBERRY COUNTY  
 NEWBERRY, SOUTH CAROLINA  
 PROJECT NAME: TOWN HALL POLICE - CITY OF WHITMIRE  
 PROJECT LOCATION: 270 MAIN STREET, WHITMIRE, SC 29178



NO.	DATE	BY	DESCRIPTION

PROJECT NO. 3806.1704  
 DRAWN BY JFP  
 CHECKED BY FAK  
 DATE 12/11/17

SHEET TITLE:  
**ALTERNATE #2  
 REAR BUILDING  
 ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"

DRAWING NO. **EALT02** REV. 0