

# ADDENDUM NUMBER ONE 09/26/2018

PROJECT: WHITMIRE TOWN HALL RENOVATIONS – 3606.1704  
95 MAIN ST.  
WHITMIRE, SC 29178.

FROM: Johnson, Laschober & Associates, P.C.  
1296 Broad Street  
Augusta, GA 30903  
(706) 724-5756

To: All Bidders

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*The following clarifications, amendments, additions, revisions, changes and/or modifications shall take precedence over the plans and specifications for the above-named project and shall become part of the Contract Documents. Where any item called for in the specifications or indicated on the drawings is not supplemented hereby, the original requirements shall remain in effect. Where any original item is amended, voided or superseded hereby, the provision of such item not specifically amended, voided or superseded shall remain in effect. Failure to acknowledge this addendum in the Form of Bid will result in Bid being deemed non-responsive.*

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## GENERAL INFORMATION:

1. Asbestos and Lead abatement and remediation will be included as part of the BASE BID. Please see Appendix A for S&ME's asbestos report.
2. Construction time for the project will be five (5) months. All front end documents have been updated accordingly. See Revised Specification Section 011800- Sample Contract & Section 001113- Bid Advertisement.
3. The project has three (3) alternates as reflected in specification 012300.
4. The contractor will have use of the owners existing power & water service during construction, as outlined in specification 015000.
5. See the addition of Specification Section 017419- Construction Waste and Disposal and Appendix 'A'- S&ME report.

6. The project will have three (3) allowances: Owner Contingency Allowance is set at **\$25,000**, Furniture Allowance set at **\$20,000**, and a Mold remediation allowance of **\$8,000**. See Specification 012100 for details.
7. See drawings revisions attached for G-001\_R1, G-002\_R2, G-003, A-002\_R1, A-201\_R1, A-301\_R1, A-401\_R1, A-601\_R1, A-701\_R1, A-801\_R1, AALT01\_R1, AALT02\_R1, EALT02\_R1 & PALT02\_R1

END OF ADDENDUM NUMBER ONE

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APPENDIX 'A'  
Asbestos & Lead-Based Paint Assessment Report by S&ME

SECTION 001113 - ADVERTISEMENT FOR BIDS

1.1 PROJECT INFORMATION

- A. Notice to Bidders: Qualified bidders may submit bids for project as described in this Document. Submit bids according to the Instructions to Bidders.
  - 1. Regulatory Requirements: Newberry County Procurement shall govern submittal, opening, and award of bids.
- B. Project Identification: **Whitmire Town Hall Renovations.**
  - 1. Project Location: **95 Main St, Whitmire, SC 29178**
- C. Owner: **Town of Whitmire South Carolina.**
  - 1. Owner's Representative: **Crystal Waldrop, Purchasing Director, 1309 College Street, Post Office Box 156, Newberry S.C. 29108, Ph: (803) 321-2100**
- D. Architect/Engineer: **Watson Lee Dorn, III, AIA, Johnson, Laschober & Associates, P.C., 1296 Broad Street, Augusta, Georgia, Ph: (706)-724-5756**
- E. Construction Manager: **Barry Evans, Vice President, Cummings Corporation, 720 Lady St., Columbia, SC 29201, Ph: (803)-726-8568**
- F. Project Description: Project consists of renovations and improvements to the existing Town Hall and Police Building to replace the mechanical HVAC, new electrical service, renovations to include the police station and town clerk offices, new ACT ceilings, painting, floor coverings, new roofing, millwork and select demolition within the building and of the building.
- G. Construction Contract: Bids will be received for the following Work:
  - 1. General Contract (all trades) as described in the Construction Documents and Project Specifications.

1.2 BID SUBMITTAL AND OPENING

- A. Owner will receive sealed lump sum bids until the bid time and date at the location given below. Owner will consider bids prepared in compliance with the Instructions to Bidders issued by Owner, and delivered as follows:
  - 1. Bid Date: **October 9, 2018.**
  - 2. Bid Time: **2:00 p.m.**, local time.
  - 3. Location: **Purchasing Office, 1309 College Street, Newberry S.C. 29108**
- B. Bids will be thereafter publicly opened and read aloud.

1.3 BID SECURITY

- A. Bid security shall be submitted with each bid in the amount of **5** percent of the bid amount. No bids may be withdrawn for a period of **60** days after opening of bids. Owner reserves the right to reject any and all bids and to waive informalities and irregularities.

1.4 PREBID MEETING

- A. Pre-bid Meeting: A Pre-bid meeting for all bidders will be held at **95 Main St, Whitmire, SC 29178 on September 27 at 12:00 p.m.**, local time. Prospective prime bidders are **encouraged** to attend.
  - 1. Bidders' Questions: Architect will provide responses at Pre-bid conference to bidders' questions received up to **two** business days prior to conference.

1.5 DOCUMENTS

- A. Online Procurement and Contracting Documents: Obtain access through the County of Newberry website. Go to **Department/Purchasing/Solicitations**. **New bidders may be asked to create a password for access**. Online access will be provided to all registered bidders and suppliers.

1.6 TIME OF COMPLETION AND LIQUIDATED DAMAGES

- A. Successful bidder shall begin the Work on receipt of the Notice to Proceed and shall complete the Work within the Contract Time. **Work is subject to liquidated damages in the amount of \$200/day past the anticipated construction time of five (5) months.**

1.7 BIDDER'S QUALIFICATIONS

- A. Bidders must be properly licensed under the laws governing their respective trades and be able to obtain insurance and bonds required for the Work. **A Performance Bond, separate Labor and Material Payment Bond, and Insurance in a form acceptable to Owner will be required of the successful Bidder.**

END OF DOCUMENT 001113

STATE OF SOUTH CAROLINA    )                   SERVICE AGREEMENT  
COUNTY OF NEWBERRY        )

This AGREEMENT is made and entered into on this \_\_\_\_ day of September 2018, by and between the County of Newberry, a political subdivision of the State of South Carolina, having its principal place of business at 1309 College Street, Newberry, SC 29108 (“County”), and \_\_\_\_\_ (“Contractor”).

In consideration of the covenants hereinafter set forth, the parties mutually agree as follows:

1.     CONTRACT PERIOD.       This Agreement shall begin on the effective date of this agreement and shall remain in effect until completion of work as stated in Invitation for Bid (“IFB”) #2018-19, **Whitmire Town Hall Renovations.**

2.     SCOPE OF SERVICES.     County is employing Contractor to provide all labor to demolish and remove and add to the existing systems as specified in solicitation. The scope of services to be provided by Contractor is set forth more fully in the County Invitation for Bid (“IFB”) #2018-19.

3.     PRICE.           County agrees to pay Contractor a total sum not to exceed \_\_\_\_\_, unless agreed upon by both parties.

4.     STANDARD OF CARE.     Services performed by Contractor will be conducted in a manner consistent with that level of care and skill exercised by members of the profession with Contractor’s experience and qualifications currently providing similar services.

5.     PAYMENT TERMS.   Payments shall be made to Contractor when work has been completed and accepted by Newberry County as meeting the scope of work described within in the solicitation.

6.     Successful bidder shall begin the Work on receipt of the Notice to Proceed and shall complete the Work within the Contract Time. **Work is subject to liquidated damages in the amount of \$200/day past the anticipated construction time of five (5) months.**



7. **NON-APPROPRIATION.** It is understood and agreed by the parties that in the event funds are not appropriated in the current fiscal year or any subsequent fiscal years, this contract will become null and void and the County will only be required to pay for services completed to the satisfaction of the County. As stated in Section 34.86 of the Procurement Ordinance such a clause essentially provides that if a future Council fails to appropriate sufficient funds to meet a contractual obligation for that future budget year, the contract can be terminated without penalty to the County, and without limiting the County's ability to appropriate other funds for the provision of similar goods or services in that future budget year or years.

8. **WARRANTY.** Contractor warrants to County that all services and labor furnished to progress the work under this contract will be performed in accordance with the standard of care and diligence normally practiced by recognized firms of this type in performing services of a similar nature, free from defects which would not normally be found in work of this nature, and that the work will be of good quality, and in strict conformance with this contract. All work not conforming to these requirements may be considered defective. As per bid specifications, and contractor's response to bid specifications, special warranties will be incorporated into this contract.

9. **INSURANCE AND BONDING.**

**The contractor shall not commence work under this contract until it has obtained all insurance required, and such insurance has been approved in writing by the County, nor shall the contractor allow any subcontractor to commence work on its subcontract until all similar insurance required of the subcontractor has been obtained. All insurance policies shall be maintained for the life of the contract.**

A. THE COUNTY SHALL BE NAMED AS "ADDITIONAL INSURED" FOR IT'S INTEREST on all policies of insurance, except Worker's Compensation, Automobile Liability regarding ongoing operations, products and completed operations, and this shall be noted on the face of the Certificate of Insurance.

B. Certificates for all such policies of insurance shall be provided by the contractor's insurance agent or broker to the County prior to the Notice to Proceed. Accordingly, Performance and Payment Bonds shall also be provided in the amount of 100% of the contract before commencement of work.

C All Certificates of Insurance submitted shall provide on the face of the certificate reference to County's IFB # 2018-19.

D. Contractor will provide County a minimum of 30 days advance notice in the event the insurance policies (or an insurance policy) are canceled.

E. Subcontractors approved to perform work on this project are subject to all of the requirements in this Section.

F. Contractor agrees to maintain and keep in force during the life of this Agreement, with a company or companies authorized to do business in South Carolina, the following insurance policies:

Comprehensive General Liability:

\$1,000,000 per occurrence - combined single limit / \$2,000,000 general aggregate, to include products and completed operations.

Automobile Liability:

\$1,000,000 per occurrence - combined single limit (Coverage shall include bodily injury and property damage and cover all vehicles including owned, non-owned and hired)

Statutory Worker's Compensation:

Coverage A - State of SC

Coverage B - Employers liability

\$1,000,000 Each Accident

\$1,000,000 Disease, Per Employee

\$1,000,000 Disease, Policy Limit

**No deviation from these coverages will be accepted unless, in the County's sole discretion, it is more advantageous to the County, i.e., \$1,000,000 - a \$2,000,000 or \$5,000,000 limit would be acceptable.**

10. INDEMNIFICATION. Contractor agrees to defend, indemnify and save harmless the County and all County officers, agents and employees from and against any loss, damage, claim or action, including all expenses incidental to such claim and action, to the extent arising from any negligent acts or omissions by Contractor, its agents, staff, consultants and contractors employed by it, in the performance of the services under this Agreement. Contractor shall not be responsible for any loss, damage, or liability to the extent arising from acts of the County, its agents, staff, and other consultants employed by it.

11. RIGHT OF ENTRY. The County will provide for the right of entry for Contractor, its subcontractors, and all necessary equipment in order to complete the work under this Agreement. Contractor agrees to be responsible for any damage to property that is caused by Contractor, its subcontractors and/or equipment and further agrees to take all necessary corrective action for any damage to property that is caused by Contractor, its subcontractors and/or equipment.

12. CONTROL OF JOB SITE AND ACTIVITY. Contractor shall be responsible for its activities, that of its employees on the site and the activities of its consultants, contractors and/or subcontractors for maintaining a safe job site.

13. COMPLIANCE WITH CODES AND STANDARDS. Contractor's professional services shall incorporate those federal, state and local laws, regulations, codes and standards that are applicable at the time Contractor rendered its services. Contractor shall not be responsible for any claim or liability for injury or loss allegedly arising from Contractor's failure to abide by federal, state or local laws, regulations, codes and standards that were not in effect or publicly announced at the time Contractor rendered its services.

14. ILLEGAL IMMIGRATION REFORM ACT COMPLIANCE. By submitting an offer, Contractor certifies that it will comply with the applicable requirements of Title 8, Chapter 14 of the South Carolina Code of Laws (originally enacted as Section 3 of The South Carolina Illegal Immigration Reform Act, 2008 S.C.

Act No. 280) and agrees to provide upon request any documentation required to establish either: (a) the applicability of Title 8, Chapter 14 to Contractor and any subcontractors or sub-subcontractors; or (b) the compliance with Title 8, Chapter 14 by Contractor and any subcontractor or sub-subcontractor. Pursuant to Section 8-14-60, "A person who knowingly makes or files any false, fictitious, or fraudulent document, statement, or report pursuant to this chapter is guilty of a felony and upon conviction, must be fined within the discretion of the court or imprisoned for not more than five years, or both." Contractor agrees to include in any contracts with its sub-contractor's language requiring the subcontractors to (a) comply with the applicable requirements of Title 8, Chapter 14, and (b) include in any contracts with the sub-sub-contractor's language requiring the sub- subcontractor to comply with the applicable requirements of Title 8, Chapter 14. In the event any contractor, subcontractor and/or sub-subcontractor is found not to be in compliance with the SC Immigration Reform Act [hereinafter "The Act"], the contractor agrees to fully indemnify the County for any loss suffered by the County as a result of such contractor, subcontractor or sub-subcontractor's failure to comply with the Act.

15. PUBLIC RESPONSIBILITY. The County has a duty to conform to applicable codes, standards, regulations and ordinances with regard to public health and safety. Contractor will at all times alert the County to any matter of which Contractor becomes aware and believes requires the County to issue a notice or report to certain public officials, or to otherwise conform with applicable codes, standards, regulations or ordinances. If the County decides to disregard Contractor's recommendations in these respects, Contractor shall employ its best judgment in deciding whether or not it should notify public officials.

16. CLIENT LITIGATION. Contractor agrees to produce documents, witnesses and/or general assistance to any litigation, arbitration or mediation involving the County, if the County requests such documents, witnesses and/or general assistance. The County shall reimburse Contractor for all direct expenses incurred and time according to Contractor's rate schedule as of the date of the execution of this Agreement.

17. CONFIDENTIALITY. Contractor will maintain as confidential any documents or information provided by the County and will not release, distribute or publish same to any third party without prior permission from the County, unless compelled by law or order of a court or regulatory body of competent jurisdiction. Such release will occur only after prior notice to the County.

18. NOTICES. All notices made pursuant to this Agreement shall be in writing and delivered personally or sent by registered or certified mail, return receipt requested, to the parties at their respective addresses set forth below:

COUNTY

CONTRACTOR

Wayne Adams, County Administrator  
County of Newberry  
1309 College Street  
Newberry SC 29108

ABC Contractor

Any party may change the person to whom notices are to be sent by giving ten (10) calendar days written notice of such change to the other party.

19. TERMINATION. This contract is subject to termination for failure to comply with the specifications, terms and conditions by the County or the Contractor upon written notice by registered mail. Such termination will be effective not less than ten (10) days nor more than sixty (60) days after Contractor's receipt of such notice from the County, nor less than thirty (30) days nor more than sixty (60) days after receipt by the County from the Contractor. Receipt of notice by one party to terminate the contract will nullify any subsequent reciprocal notice by the receiving party prior to the announced termination date. In the event of termination, the County shall be responsible to pay the Contractor only for work satisfactorily completed upon the effective date of termination, and the County shall not be responsible for any other charges.

Should the County fail to make payment on any undisputed invoice amount within sixty (60) business days upon receipt of such invoice, Contractor may elect to either suspend the services provided or terminate this Agreement; provided, however, prior to termination, the County shall be given notice of the default and an opportunity to cure such default within seven (7) business days after receipt of the notice of default. Should this Agreement be terminated by Contractor, Contractor shall be entitled to be paid only for the services actually completed to the satisfaction of the County as of the date of termination.

The County may terminate this contract for convenience by providing sixty (60) calendar days advance written notice to the Contractor.

This Agreement may also be terminated pursuant to the pertinent portions of Section 7 herein.

This Agreement may also be terminated by the prior written mutual consent of both parties.

20. CONTRACT DOCUMENTS. This Agreement, along with the provisions contained in County IFB #2018-19 and Contractor's Response to County IFB #2018-19 represents the entire agreement between the parties and supersedes any and all prior agreements, whether written or oral, that may exist between the parties regarding same. If there is a conflict between any of the terms of these contract documents the order of precedence of these contract documents shall be;

- A. Any amendment signed after the execution date of this agreement;
- B. This Agreement;
- C. Contractor's Response to County IFB #2018-19;
- D. County IFB #2018-19;

21. ASSIGNMENT. This Agreement may not be assigned by either party without the prior written consent of the other party.

22. SEVERABILITY. Should any section, paragraph, clause, phrase, or provision of this Agreement be determined invalid or held unconstitutional by a court of competent jurisdiction, such declaration shall not affect the validity of this Agreement as a whole or any part or provision thereof, other than the part so decided to be invalid or unconstitutional.

23. APPLICABLE LAW AND VENUE. The construction, interpretation and performance of this Agreement shall be governed by and construed in accordance with the laws of the State of South Carolina.

The County and Contractor further agree that this Agreement shall be deemed to be made and performed in Newberry County, South Carolina. For the purposes of venue, all suits or causes of action arising out of this Agreement shall be brought in the courts of Newberry County, South Carolina.

24. AFFIRMATIVE ACTION: Contractor will take affirmative action in complying with all Federal and State requirements concerning fair employment of the handicapped, and concerning the treatment of all employees, without regard or discrimination by reason of race, color, religion, sex, national origin or physical handicap.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date first above written.

WITNESSES:

CONTRACTOR

\_\_\_\_\_  
\_\_\_\_\_

By: \_\_\_\_\_

Its: \_\_\_\_\_

TOWN OF WHITMIRE

COUNTY OF NEWBERRY

By: \_\_\_\_\_

By: \_\_\_\_\_

Billy Hollingsworth  
Mayor of Whitmire

Wayne Adams  
County Administrator

ATTEST: \_\_\_\_\_

Laurie Renwick, Clerk to Council



## SECTION 012100 - ALLOWANCES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
  - 1. Certain items are specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
  - 1. Lump-sum allowances.
  - 2. Unit-cost allowances.
  - 3. Quantity allowances.
  - 4. Contingency allowances.
  - 5. Testing and inspecting allowances.
- C. Related Requirements:
  - 1. Section 014000 "Quality Requirements" for procedures governing the use of allowances for testing and inspecting.

#### 1.3 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

#### 1.4 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.

1.5 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

1.6 COORDINATION

- A. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

1.7 LUMP-SUM, UNIT-COST, AND QUANTITY ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes, freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
  - 1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.8 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's overhead, profit, and related costs for products and equipment ordered by Owner under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include delivery, installation, taxes, insurance, equipment rental, and similar costs.
- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit margins.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

1.9 TESTING AND INSPECTING ALLOWANCES

- A. Testing and inspecting allowances include the cost of engaging testing agencies, actual tests and inspections, and reporting results.
- B. The allowance does not include incidental labor required to assist the testing agency or costs for retesting if previous tests and inspections result in failure. The cost for incidental labor to assist the testing agency shall be included in the Contract Sum.
- C. Costs of services not required by the Contract Documents are not included in the allowance.
- D. At Project closeout, credit unused amounts remaining in the testing and inspecting allowance to Owner by Change Order.

1.10 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
  - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
  - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other margins claimed.
  - 3. Submit substantiation of a change in scope of work, if any, claimed in Change Orders related to unit-cost allowances.
  - 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.
- B. Submit claims for increased costs because of a change in scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.
  - 1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of work has changed from what could have been foreseen from information in the Contract Documents.
  - 2. No change to Contractor's indirect expense is permitted for selection of higher- or lower-priced materials or systems of the same scope and nature as originally indicated.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. **Allowance No. 1:** Owner Contingency Allowance: Include a contingency allowance of **\$25,000** including overhead and profit for use according to Owner's written instructions.
- B. **Allowance No. 2:** Furniture Allowance of **\$20,000**: Includes all labor and equipment for new computer desk and workstations per the proposed furniture plan.
- C. **Allowance No. 3:** Mold Remediation of **\$8,000**: Includes all labor and materials to remove mold in areas where new construction will be performed.

END OF SECTION 012100

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
  - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other work of the Contract.
- C. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

- 3.1 SCHEDULE OF ALTERNATES – (See Contract Documents for a Full Description of the Work to be provided for each Alternate listed below)
- A. **ADD ALTERNATE NO. 1:** GARAGE ROOF. PROVIDE ALL WORK AS IT PERTAINS AND IS DESCRIBED IN THE CONTRACT DOCUMENTS. THIS IS TO INCLUDE BUT NOT LIMITED TO ROOF MEMBRANE, SHEATHING, INSULATION BOARD AND ROOF JOISTS.
  - B. **ADD ALTERNATE NO. 2:** GARAGE MODIFICATIONS. PROVIDE ALL WORK AS DESCRIBED IN CONTRACT DOCUMENTS AS IT RELATES TO THE RENOVATIONS OF THE PORTION OF THE TOWN GARAGE BUILDING THAT IS TO REMAIN. THIS WORK IS TO INCLUDE, DEMOLITION, FRAMING, PLUMBING, ELECTRICAL, HVAC AND FINISHES. INTERIOR & EXTERIOR.
  - C. **ADD ALTERNATE NO. 3:** PROVIDE NEW FLOOR FINISHES AND BASE IN ROOMS 203, 204, 205, 206, 207 AND 208

END OF SECTION 012300

## SECTION 015000 - TEMPORARY FACILITIES AND CONTROLS

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

#### 1.2 INFORMATIONAL SUBMITTALS

- A. Fire-Safety Program: Show compliance with requirements of NFPA 241 and authorities having jurisdiction. Indicate Contractor personnel responsible for management of fire-prevention program.
- B. Dust- and HVAC-Control Plan: Submit coordination drawing and narrative that indicates the dust- and HVAC-control measures proposed for use, proposed locations, and proposed time frame for their operation. Identify further options if proposed measures are later determined to be inadequate. Include the following:
  - 1. Locations of dust-control partitions at each phase of work.
  - 2. HVAC system isolation schematic drawing.
  - 3. Location of proposed air-filtration system discharge.
  - 4. Waste handling procedures.
  - 5. Other dust-control measures.

#### 1.3 QUALITY ASSURANCE

- A. Electric Service: Comply with NECA, NEMA, and UL standards and regulations for temporary electric service. Install service to comply with NFPA 70.
- B. Tests and Inspections: Arrange for authorities having jurisdiction to test and inspect each temporary utility before use. Obtain required certifications and permits.
- C. Accessible Temporary Egress: Comply with applicable provisions in the U.S. Architectural & Transportation Barriers Compliance Board's ADA-ABA Accessibility Guidelines and ICC/ANSI A117.1.

#### 1.4 PROJECT CONDITIONS

- A. Temporary Use of Permanent Facilities: Engage Installer of each permanent service to assume responsibility for operation, maintenance, and protection of each permanent service during its use as a construction facility before Owner's acceptance, regardless of previously assigned responsibilities.

## PART 2 - PRODUCTS

### 2.1 MATERIALS

- A. Polyethylene Sheet: Reinforced, fire-resistive sheet, 10-mil (0.25-mm) minimum thickness, with flame-spread rating of 15 or less per ASTM E 84 and passing NFPA 701 Test Method 2.
- B. Dust-Control Adhesive-Surface Walk-off Mats: Provide mats minimum 36 by 60 inches (914 by 1624 mm).
- C. Insulation: Unfaced mineral-fiber blanket, manufactured from glass, slag wool, or rock wool; with maximum flame-spread and smoke-developed indexes of 25 and 50, respectively.

## PART 3 - EXECUTION

### 3.1 TEMPORARY ACCOMMODATIONS

- A. Sanitary Facilities: Toilets: Use of Owner's existing toilet facilities will be permitted, as long as facilities are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore these facilities to condition existing before initial use.
- B. Contractor will be allowed to use the owner's existing power and water service for the duration of construction.
- C. Isolation of Work Areas in Occupied Facilities: Prevent dust, fumes, and odors from entering occupied areas.
  - 1. Prior to commencing work, isolate the HVAC system in area where work is to be performed according to coordination drawings.
    - a. Disconnect supply and return ductwork in work area from HVAC systems servicing occupied areas.
  - 2. Maintain dust partitions during the Work. Use vacuum collection attachments on dust-producing equipment. Isolate limited work within occupied areas using portable dust-containment devices.
  - 3. Perform daily construction cleanup and final cleanup using approved, HEPA-filter-equipped vacuum equipment.

### 3.2 SITE USE COORDINATION

- A. General: Comply with the following:
- B. Traffic Controls: Comply with requirements of authorities having jurisdiction (AHJ).
  - 1. Protect existing site improvements including curbs, pavement, and utilities.
  - 2. Maintain access for fire-fighting equipment and access to fire hydrants.



- C. Parking: Provide temporary parking areas for construction personnel in accordance with AHJ.

### 3.3 SECURITY AND PROTECTION

- A. Protection of Existing Facilities: Protect existing vegetation, equipment, structures, utilities, and other improvements at Project site and on adjacent properties, except those indicated to be removed or altered. Repair damage to existing facilities.
- B. Barricades, Warning Signs, and Lights: Comply with requirements of authorities having jurisdiction for erecting structurally adequate barricades, including warning signs and lighting.
- C. Temporary Egress: Maintain temporary egress from existing occupied facilities as indicated and as required by authorities having jurisdiction.
- D. Temporary Partitions: Provide floor-to-ceiling dustproof partitions to limit dust and dirt migration and to separate areas occupied by Owner from fumes and noise.
  - 1. Construct dustproof partitions with two layers of 6-mil (0.14-mm) polyethylene sheet on each side. Cover floor with two layers of 6-mil (0.14-mm) polyethylene sheet, extending sheets 18 inches (460 mm) up the sidewalls. Overlap and tape full length of joints.
  - 2. Provide walk-off mats at each entrance through temporary partition.
- E. Temporary Fire Protection: Install and maintain temporary fire-protection facilities of types needed to protect against reasonably predictable and controllable fire losses. Comply with NFPA 241; manage fire-prevention program.
  - 1. Prohibit smoking in construction areas.
  - 2. Supervise welding operations, combustion-type temporary heating units, and similar sources of fire ignition according to requirements of authorities having jurisdiction.
  - 3. Develop and supervise an overall fire-prevention and -protection program for personnel at Project site. Review needs with local fire department and establish procedures to be followed. Instruct personnel in methods and procedures. Post warnings and information.

END OF SECTION 015000

## SECTION 017419 - CONSTRUCTION WASTE DISPOSAL

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section includes administrative and procedural requirements for the following:
  - 1. Salvaging nonhazardous demolition waste.
  - 2. Disposing of nonhazardous demolition and construction waste.

#### 1.3 DEFINITIONS

- A. Construction Waste: Building, structure, and site improvement materials and other solid waste resulting from construction, remodeling, renovation, or repair operations. Construction waste includes packaging.
- B. Demolition Waste: Building, structure, and site improvement materials resulting from demolition operations.
- C. Disposal: Removal of demolition or construction waste and subsequent salvage, sale, recycling, or deposit in landfill, incinerator acceptable to authorities having jurisdiction, or designated spoil areas on Owner's property.
- D. Salvage: Recovery of demolition or construction waste and subsequent sale or reuse in another facility.

#### 1.4 MATERIALS OWNERSHIP

- A. Unless otherwise indicated, demolition and construction waste become property of Contractor.
- B. Mechanical units to be removed to be offered to owner.
- C. Historic items, relics, antiques, and similar objects including, but not limited to, cornerstones and their contents, commemorative plaques and tablets, and other items of interest or value to Owner that may be uncovered during demolition remain the property of Owner.
  - 1. Carefully salvage in a manner to prevent damage and promptly return to Owner.

PART 2 - EXECUTION

2.1 WASTE HANDLING

- A. General: Provide handling, containers, storage, signage, transportation, and other items as required to implement waste removed during the entire duration of the Contract.
  - 1. Comply with operation, termination, and removal requirements in Section 015000 "Temporary Facilities and Controls."
- B. Site Access and Temporary Controls: Conduct waste operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.
  - 1. Comply with Section 015000 "Temporary Facilities and Controls" for controlling dust and dirt, environmental protection, and noise control.

2.2 DISPOSAL OF WASTE

- A. General: Except for items or materials to be salvaged or recycled, remove waste materials from Project site and legally dispose of them in a landfill or incinerator acceptable to authorities having jurisdiction.
  - 1. Except as otherwise specified, do not allow waste materials that are to be disposed of accumulate on-site.
  - 2. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- B. General: Except for items or materials to be salvaged or recycled, remove waste materials and legally dispose of at designated spoil areas on Owner's property.
- C. Burning: Do not burn waste materials.

END OF SECTION 017419

## SECTION 017419 - CONSTRUCTION WASTE DISPOSAL

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section includes administrative and procedural requirements for the following:
  - 1. Salvaging nonhazardous demolition waste.
  - 2. Disposing of nonhazardous demolition and construction waste.

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- D. Salvage: Recovery of demolition or construction waste and subsequent sale or reuse in another facility.

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- A. Unless otherwise indicated, demolition and construction waste become property of Contractor.
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  - 1. Comply with Section 015000 "Temporary Facilities and Controls" for controlling dust and dirt, environmental protection, and noise control.

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  - 1. Except as otherwise specified, do not allow waste materials that are to be disposed of accumulate on-site.
  - 2. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- B. General: Except for items or materials to be salvaged or recycled, remove waste materials and legally dispose of at designated spoil areas on Owner's property.
- C. Burning: Do not burn waste materials.

END OF SECTION 017419



**Asbestos & Lead-Based Paint  
Assessment Report  
Whitmire Town Hall  
Whitmire, South Carolina  
S&ME Project No. 4261-18-009**

**PREPARED FOR:**

**Newberry County  
1301 College Street  
Newberry, SC 29108  
(803) 321-2100**

**PREPARED BY:**

**S&ME, Inc.  
134 Suber Road  
Columbia, SC 29210  
(803) 561-9024**

**ASSESSMENT PERFORMED BY:**

**Bobby McAllister & Travis Knight, CHMM, CIEC  
SCDHEC Lic. #BI-01429 & BI-00885  
Assessment date: January 24, 2018**

**February 5, 2018**



February 5, 2018

Newberry County  
1301 College Street  
Newberry, South Carolina 29108

Attention: Mr. Ervin West  
[ewest@newberrycounty.net](mailto:ewest@newberrycounty.net)

Reference: **Asbestos & Lead-Based Paint Assessment**  
**Whitmire Town Hall**  
210 Main Street  
Whitmire, South Carolina  
S&ME Project No. 4261-18-009

Dear Mr. West:

S&ME, Inc. (S&ME) is pleased to provide the enclosed report detailing our asbestos and lead-based paint assessment at the referenced site. The purpose of the assessment was to identify, to the extent feasible, potential asbestos-containing materials (ACMs) and lead-based paint (LBP) associated with the structures which are scheduled for renovations and demolition. Our services were performed in general accordance with S&ME Proposal No. 42-1800004, dated January 3, 2018 and the Master Services Agreement between S&ME and Newberry County dated March 25, 2011. The following report includes the project background, sampling and analysis procedures, findings and results, and conclusions and recommendations as necessary.

This report is provided for the use of the client. Use of this report by any other parties will be at such party's sole risk and S&ME, Inc. disclaims liability for any such use or reliance by third parties. The results presented in this report are indicative of conditions only during the time of the assessment and of the specific areas referenced.

We appreciate the opportunity to provide you with our industrial hygiene/environmental services. If you have any questions concerning this report, please call us at (803) 561-9024.

Sincerely,

**S&ME, Inc.**

Handwritten signature of Travis Knight in black ink.

Travis Knight, CHMM, CIEC  
Asbestos Building Inspector  
(SCDHEC Lic. No. BI-00885)

Handwritten signature of Tom Behnke in black ink.

Tom Behnke, P.G., CHMM  
Environmental Services Manager  
(SCDHEC Lic. No. MP-00004)



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**Asbestos & Lead-Based Paint Assessment**  
**Whitmire Town Hall**  
Whitmire, South Carolina  
S&ME Project No. 4261-18-009



**Appendix IV – Asbestos Bulk Sample Analysis Sheets and Chain of Custody Record**  
**Appendix V – Copy of SCDHEC Inspectors’ Licenses**



## ◆ Executive Summary

S&ME conducted an asbestos and lead-based paint assessment of the Whitmire Town Hall located at 210 Main Street in Whitmire, South Carolina on January 24, 2018. The building consists of a two-story masonry structure that contains various offices and storage rooms. A single story garage building with a stucco exterior is attached on the northeast end of the Town Hall. The purpose of the assessment was to identify asbestos-containing materials (ACMs) and lead-based paint coatings associated with the structures prior to renovations and demolition activities.

The Town Hall building is a two-story wood frame structure with stucco over masonry exterior. The building consists of Town Clerk, Police Department, Mayors Office and Public Works Office. The attached garage building is a single-story wood framed structure that is used as storage space. The Town Hall building contains approximately 4,269 square feet of interior space. The attached garage building contains approximately 4,000 square feet of space. The subject building was occupied at the time of the assessment. We understand that renovations are planned for the Town Hall and the attached garage building will be demolished.

### Asbestos

The asbestos assessment was performed in general accordance with the South Carolina Department of Health and Environmental Control (SCDHEC) Regulation 61-86.1, *Standards of Performance for Asbestos Projects* effective May 27, 2011 and with the National Emission Standards for Hazardous Air Pollutants (NESHAP) and the Asbestos Hazard Emergency Response Act (AHERA). The

The asbestos assessment included the bulk sampling and analysis of suspect ACMs from the subject building. The suspect materials identified in the building consist of various styles of vinyl floor tiles and floor tile mastic, linoleum, spray-applied ceiling texture, suspended ceiling tiles, drywall, drywall joint compound, plaster and skim coat, two styles of duct sealant, sink coating, exterior stucco and roofing materials.

The Environmental Protection Agency (EPA) and SCDHEC define materials as asbestos-containing if an asbestos content of greater than one percent (>1%) is detected in a representative sample. *Asbestos, in concentrations greater than one percent, was identified as a result of the assessment.* Below is a summary of ACMs identified in the structures:

**Table E-1 Town Hall ACM Summary**

Material	<sup>1</sup> Material Location	<sup>2</sup> Type	Asbestos Type & Percent	<sup>3</sup> Condition	<sup>4</sup> Approx. Quantity
12-inch gray vinyl floor tile & Black mastic	North side corridor and Police Department	Misc.	Chrysotile 3%	Good, NF	280 SF
Black vinyl floor tile	Beneath vinyl floor tile in lobby and carpet in clerk's office	Misc.	Chrysotile 10%	Good, NF	250 SF



Material	<sup>1</sup> Material Location	<sup>2</sup> Type	Asbestos Type & Percent	<sup>3</sup> Condition	<sup>4</sup> Approx. Quantity
Tan/Black floor tile mastic	Beneath self-adhesive tile in women's restroom.	Misc.	Chrysotile 5%	Good, NF	15 LF

NF = Non-friable F = Friable SF = Square feet LF = Linear feet

<sup>1</sup>Refer to Appendix I for specific sample locations.

<sup>2</sup>Type: Misc. = Miscellaneous Surf. = Surfacing TSI = Thermal System Insulation

<sup>3</sup>Cond = Condition: Good, Damaged or Significantly Damaged

<sup>4</sup>Quantities are approximate and should not be used for cost estimates or bidding purposes.

**Table E-2 Garage Building ACM Summary**

Material	Material Location	Type	Asbestos Type & Percent	Condition	*Approx. Quantity
No Asbestos-Containing Materials Identified.					

**Lead-Based Paint**

Painted surfaces throughout the interior and exterior of the subject buildings were considered suspect and analyzed for lead content. The coated surfaces exceeding the SCDHEC disposal criteria of 0.7 milligrams per square centimeter (mg/cm<sup>2</sup>) were considered lead-based paint for the purpose of this assessment. The below tested surfaces exceeded the 0.7 mg/cm<sup>2</sup> threshold.

- Gray metal door to old jail area (Town Hall);
- Tan wooden door located under the stairway in the lobby (Town Hall).

Destructive actions to paint containing detectable levels of lead (e.g. paint preparation, component removal, demolition, sanding, grinding, burning, etc.) may require the contractor to comply with the standards of the OSHA regulations 29 CFR 1926.62 (Lead in Construction), including but not limited to training, initial exposure monitoring, the use of personal protective equipment, and medical surveillance. The determination of OSHA applicability is the responsibility of the contractor and dependent upon the paint condition and the planned treatment of the finishes.

This summary is for convenience only and should not be relied upon without first reading the full contents of this report, including appended materials.



## **1.0 Introduction**

Newberry County retained S&ME to conduct an asbestos and lead-based paint assessment of the Whitmire Town Hall building located at 210 Main Street in Whitmire, South Carolina. The assessment was performed by Travis Knight, CHMM, CIEC and Bobby McAllister of S&ME on January 24, 2018. Mr. Knight and Mr. McAllister are Asbestos Building Inspectors licensed by the South Carolina Department of Health and Environmental Control (SCDHEC). An Asbestos-Containing Material (ACM) is defined by State and Federal regulations as a building material containing greater than one percent (>1%) of one of the six asbestos minerals regulated by the Environmental Protection Agency (EPA) and the Occupational Safety and Health Administration (OSHA).

This Asbestos and Lead-Based Paint Assessment was performed in general accordance with S&ME Proposal No. 42-1800004, dated January 3, 2018 and SCDHEC Regulation 61-86.1.

Demolition and renovation activities in public and commercial buildings are regulated by OSHA, EPA and SCDHEC. The EPA and SCDHEC require asbestos assessments, conducted by licensed individuals, prior to renovation and/or demolition projects. Code 40 of Federal Regulations Part 61, Subpart M, Final Rule, National Emissions Standards for Hazardous Air Pollutants (NESHAP) and SCDHEC Regulation 61-86.1 require asbestos assessments, followed by the proper removal, and disposal of ACM that is affected by renovation or demolition. The identification of ACMs will aid in the prevention of occupational exposures and/or environmental releases of airborne asbestos. Identification of ACM is also required by OSHA 1926.1101. The EPA, OSHA and SCDHEC define ACM as materials containing greater than one (1) percent asbestos in a representative sample. However, OSHA also regulates materials containing less than or equal to one percent asbestos.

## **2.0 Asbestos Assessment**

### **2.1 Purpose**

The purpose of the asbestos assessment was to identify the presence and quantity of asbestos-containing materials associated with the interior and exterior of the subject buildings prior to renovation and demolition activities. The identification of ACMs will aid in the prevention of occupational exposures and/or environmental releases of airborne asbestos. Identification of ACMs also complies with Title 40 Code of the Federal Regulations, part 61, and State Regulation 61-86.1 enforced by the SCDHEC, along with Title 29 Code of Federal Regulations, part 1926 enforced by OSHA.

### **2.2 Site Description**

The Town Hall building is a two-story wood frame structure with stucco over masonry exterior. The building consists of Town Clerk, Police Department, Mayors Office and Public Works Office. The attached garage building is a single-story wood frame structure and is used as storage space. The Town Hall building contains approximately 4,269 square feet of interior space. The attached garage building contains approximately 4,000 square feet of space. The subject building was occupied at the time of the assessment. We understand that renovations are planned for Town Hall and the attached garage building will be demolished.



The following sections describe the assessment procedures used, results of the suspect ACMs sampled and analyzed, and conclusions and recommendations regarding the subject site as related to ACMs.

### **2.3 Investigative Procedures and Analysis**

A visual assessment of the referenced structures was performed to determine the homogeneous areas (HAs) of suspect ACMs. Based on EPA definitions used in the Asbestos Hazard Emergency Response Act (AHERA), 40 CFR 763, an HA of suspect asbestos-containing building material has the same color and texture and is thought to be installed within the same timeframe. S&ME assessed the interior and exterior of the building, including roofing materials for suspect ACMs, including thermal system insulation (TSI), surfacing materials, and miscellaneous materials. Significant destructive investigative techniques and sampling were not performed as part of this assessment. Consequently, the possibility exists that suspect materials were not detected in inaccessible areas such as flooring overlays, pipe chases, locked rooms, or wall voids or in areas deemed unsafe to enter by the asbestos inspectors. If additional suspect materials are discovered during future renovation or demolition activities, bulk samples should be collected and analyzed for asbestos content.

Suspect flooring materials identified in the building consist of two colors of 12-inch vinyl floor tiles and associated mastics and linoleum. Suspect surfacing materials consisted of limited plaster walls and joint compound associated with the drywall wall systems. Additional suspect ACMs that were observed and sampled include vinyl baseboard and mastic, suspended ceiling tiles, drywall, two colors of sealant on fiberglass HVAC duct insulation, texture ceiling, exterior stucco and roofing materials.

A sampling strategy was developed to provide representative samples of suspect asbestos-containing materials in accordance with OSHA, SCDHEC and EPA. Bulk samples were then extracted from suspect ACMs and recorded on a chain of custody record and submitted to an asbestos laboratory. The samples were submitted to EMSL Analytical's laboratory in Pineville, North Carolina for analysis via the following methods.

#### *Polarized Light Microscopy (PLM)*

The suspect materials were analyzed by trained microscopists using PLM techniques coupled with dispersion staining in accordance with EPA Test Method Title 40 Code of Federal Regulations, Chapter I (1-1-87 edition), Part 763, Subpart F-APPENDIX A. This method identifies asbestos mineral fibers based on six optical characteristics: morphology, birefringence, refractive index, extinction angle, sign of elongation and dispersion staining colors. The laboratory analysis reports the specific type of asbestos identified (there are six asbestos minerals) and the percentage of asbestos present.

#### *Transmission Electron Microscopy (TEM)*

In accordance with SCDHEC Regulation 61-86.1, Transmission Electron Microscopy (TEM) confirmation analysis is required to be performed on one sample of any non-friable organically bound material (NOB) that tests negative via PLM analysis. The TEM analysis was performed using EPA 600 Method in accordance with ASTM E2356.

Both the PLM and the TEM laboratories are accredited by the National Voluntary Laboratory Accreditation Program (NVLAP), which is administered by the National Institute of Standards and Technology.



## 2.4 Assessment

Identified ACMs were assessed based on the observed condition (good, damaged or significantly damaged) and potential for disturbance. Identified ACMs were also categorized based on the EPA's NESHAP regulation categories. A friable ACM is classified as an ACM that can be crumbled to a powder by moderate hand pressure. A non-friable ACM is classified as either Category I or Category II non-friable ACM. Category I and Category II non-friable ACMs are distinguished from each other by their fiber release potential when damaged. Generally, Category I non-friable ACM, which by definition includes intact asbestos-containing roofing materials, gaskets, packing, and resilient floor coverings is less likely to become friable and release fibers in a damaged state. Category II non-friable ACM include all other non-friable ACMs excluding Category I that have a high probability of being rendered friable during removal activities or demolition. All Friable ACM, Category I non-friable ACM that has become friable, Category I non-friable ACM that will be or has been subjected to sanding, grinding, cutting or abrading, or Category II non-friable ACM that has a high probability of becoming or has become crumbled, pulverized, or reduced to powder by the forces expected to act on the material in the course of demolition or renovation operations are considered to be a Regulated Asbestos-Containing Material (RACM).

## 2.5 Findings and Results

The asbestos assessments conducted on January 24, 2018 included the quantification and random bulk sampling of various suspect asbestos-containing materials located on the interior and exterior of the subject buildings. Of the representative materials sampled and analyzed during this assessment, asbestos in concentrations >1% was identified in the following materials summarized below. Photographs of general site conditions are presented in **Appendix II**.

**Table 2-1 Town Hall ACM Summary**

Material	<sup>1</sup> Material Location	<sup>2</sup> Type	Asbestos Type & Percent	<sup>3</sup> Condition	<sup>4</sup> Approx. Quantity
12-inch gray vinyl floor tile & Black mastic	North side corridor and Police Department	Misc.	Chrysotile 3%	Good, NF	280 SF
Black vinyl floor tile	Beneath vinyl floor tile in lobby and carpet in clerk's office	Misc.	Chrysotile 10%	Good, NF	250 SF
Tan/Black floor tile mastic	Beneath self-adhesive tile in women's restroom.	Misc.	Chrysotile 5%	Good, NF	15 SLF

NF = Non-friable F = Friable SF = Square feet LF = Linear feet

<sup>1</sup>Refer to Appendix I for specific sample locations.

<sup>2</sup>Type: Misc. = Miscellaneous Surf. = Surfacing TSI = Thermal System Insulation

<sup>3</sup>Cond = Condition: Good, Damaged or Significantly Damaged

<sup>4</sup>Quantities are approximate and should not be used for cost estimates or bidding purposes.



**Table 2-2 Garage Building ACM Summary**

Material	Material Location	Type	Asbestos Type & Percent	Condition	*Approx. Quantity
No Asbestos-Containing Materials Identified.					

A material with an asbestos content less than or equal to one percent is not classified as an ACM applicable to EPA and SCDHEC; however, trace levels of asbestos (less than one percent) in a material is subject to OSHA regulatory requirements in 29 CFR 1926.1101, to include, but not limited to, worker protection, using wet methods, proper clean-up, use of proper tools/equipment, engineering controls, etc.

In accordance with SCDHEC Regulation 61-86.1, TEM analysis was performed on one sample of each of the non-friable, organically-bound (NOB) materials that displayed a result of no asbestos detected or less than 1% asbestos via PLM analysis. NOBs consist of materials such as vinyl floor tiles, vinyl baseboards and mastics. Please refer to Table I-I in **Appendix I** for more detail regarding which samples of NOB materials were submitted for TEM analysis. The TEM analysis confirmed that no asbestos is present in the samples that were analyzed at concentrations >1%.

Photographs of site conditions are provided in **Appendix II**. The laboratory reports are provided in **Appendix IV**.

### 3.0 Lead-Based Paint Assessment

#### 3.1 Investigative Procedures

The lead-based paint assessment was conducted for compliance with the SCDHEC limit of 0.7 milligrams (mg) of lead per square centimeter (cm<sup>2</sup>) of painted surface for lead-based paint coated waste. SCDHEC, Health Division defines lead-based paint as a coating containing lead in quantities  $\geq 0.7$  mg/cm<sup>2</sup> (SCDHEC, Health Division definition #4-53-1320f). Any coated surfaces meeting or exceeding the SCDHEC limit of 0.7 mg/cm<sup>2</sup> were considered lead-based paint for the purpose of this assessment.

OSHA does not recognize a threshold level of lead for definition purposes, only the presence or absence of lead. The current OSHA regulations recognize an airborne action level of thirty micrograms of lead per cubic meter of air (30  $\mu\text{g}/\text{m}^3$ ) during an eight-hour day and a permissible exposure level of fifty micrograms per cubic meter (50  $\mu\text{g}/\text{m}^3$ ).

Representative covered building components and surfaces were analyzed utilizing a Niton XLp-300A X-Ray Fluorescence (XRF) spectrum analyzer (serial #95004). The suspect painted finishes were selected based on the color of the topcoat and the underlying paint layers and/or the substrate on which it was applied. The possibility exists that lead-based paint finishes are present in inaccessible areas not tested such as pipe chases, wall voids, etc.



Attached in **Appendix III** is a summary of the paint readings analyzed by the XRF spectrum lead analyzer. The XRF summary provides the sample numbers, sample location, component, substrate, paint color, condition, and results.

### **3.2 Findings and Results**

Coated surfaces throughout the interior and exterior of the subject structures were tested for the presence of lead-based paint. Coated surfaces meeting or exceeding the SCDHEC limit of 0.7 milligrams of lead per square centimeter (0.7 mg/cm<sup>2</sup>) were considered lead-based paint for the purpose of this assessment. The below tested surfaces exceeded the 0.7 mg/cm<sup>2</sup>.

- Gray metal door at the entrance to the old jail of the Town Hall Building (2.7 mg/cm<sup>2</sup>);
- Tan wooden door located beneath the stairway in the lobby of the Town Hall Building (6.6 mg/cm<sup>2</sup>).

## **4.0 Conclusions and Recommendations**

The asbestos and lead-based paint assessment conducted on the Whitmire Town Hall located at 210 Main Street in Whitmire, South Carolina identified the presence of asbestos-containing materials and lead-based paint. Our findings and conclusions are summarized below.

### **4.1 Asbestos Conclusions**

The asbestos assessment identified the presence of asbestos-containing materials in the Town Hall building as follows:

- *12-inch Gray vinyl floor tiles and associated black mastic* (3% chrysotile) located in the Police Department and north corridor – Refer to Photograph 3. The asbestos-containing vinyl floor tiles and associated black mastic are Category I non-friable materials in good condition. Approximately 280 square feet of the floor tiles and black mastic is estimated to be present.
- *Black vinyl floor tiles* (10% chrysotile) located beneath the 12-inch dark gray vinyl floor tile in the lobby and beneath the carpeting in the clerks office – Refer to Photograph 4. The asbestos-containing vinyl floor tiles are Category I non-friable materials in good condition. Approximately 250 square feet of the floor tiles are estimated to be present.
- *Tan/black mastic* (4% chrysotile) located beneath the self-adhesive floor tiles in the women's restrooms – Refer to Photograph 5. The asbestos-containing mastic is a Category I non-friable material in good condition. Approximately 15 square feet of black mastic is estimated to be present.
- No asbestos-containing materials were identified in the Garage Building.

S&ME recommends proper removal and disposal of the ACMs by a licensed asbestos abatement contractor, prior to activities that may disturb an ACM. State and Federal regulations should be carefully considered in order to verify compliance before any actions are initiated that may disturb an ACM. If additional suspect ACMs not included in this report are discovered and will be disturbed by the renovation/demolition activities, bulk samples must be collected by a licensed asbestos inspector and analyzed for asbestos content, prior to disturbance of the suspect material(s).





Asbestos removal requires written notification to SCDHEC, specific removal procedures, proper transportation, and disposal per state and federal regulations. The identification and proper removal of ACM prior to demolition or renovation will aid in the prevention of occupational exposures and/or environmental releases of airborne asbestos. If ACMs are managed in place, OSHA requirements apply to employees that may contact or disturb ACMs, including maintenance and custodial workers.

In accordance with SCDHEC Regulation 61-86.1, project air monitoring must be performed by a SCDHEC licensed air sampler in conjunction with the removal of regulated asbestos materials (e.g. friable materials or non-friable materials rendered friable) that exceed the classification of a Small Project or are not regulated exterior removals. SCDHEC also requires a written project design when 3,000 square feet (or greater) of regulated ACMs are removed from a structure.

## **4.2 Lead-Based Paint Conclusions**

The following coatings exceed the SCDHEC 0.7 mg/cm<sup>2</sup> limit for lead-based paint:

- Gray metal door at the entrance to the old jail in the Town Hall Building (2.7 mg/cm<sup>2</sup>);
- Tan wooden door located beneath the stairway in the lobby in the Town Hall Building (6.6 mg/cm<sup>2</sup>)

The client is advised that OSHA does not recognize a threshold level of lead for definition purposes, only the presence or absence of lead. Consequently, the OSHA regulations governing worker protection for lead-based paint may apply to work practices including the disturbance of paint systems with detectable levels of lead. Destructive actions (sanding, burning, demolition, component removal, paint preparation) to the lead-containing paint surfaces will require the contractor comply with the standards of OSHA, including but not limited to initial exposure monitoring, the use of personal protective equipment, and medical surveillance.

SCDHEC Regulation 61-107.19 permits demolition materials painted with lead-based paint ( $\geq 0.7$  mg/cm<sup>2</sup>) to be disposed in a permitted Class Two (C&D) or Class Three Subtitle D, Municipal Solid Waste (MSW) landfill.

Accumulations of paint waste (chips, dust, or flakes) must be tested by the Toxicity Characteristic Leaching Procedure (TCLP) to determine if the waste is classified as hazardous, which requires disposal in a Subtitle C (hazardous waste) landfill. Lead waste, at a minimum, must be disposed in a Class Two or Three landfill.

## **5.0 Limitations**

This report is provided for the sole use of the Client. Use of this report by any other parties will be at such party's sole risk, and S&ME disclaims liability for any such use or reliance by third parties. The results presented in this report are indicative of conditions only during the time of the sampling period and of the specific areas referenced. Under no circumstances is this report to be used as a bidding document, or as a project design or specification for removal of ACM.



S&ME performed the services in accordance with generally accepted practices of reputable environmental consultants undertaking similar studies at the same time and in the same geographical area. S&ME has endeavored to meet this standard of care. No other warranty, expressed or implied, is intended or made with respect to this report or S&ME's services. Users of this report should consider the scope and limitations related to these services when developing opinions as to risks associated with the site. Additional limitations to our survey are as follows:

- Significant destructive sampling was not performed during the asbestos assessment. Additional suspect ACMs may be present in inaccessible locations such as in wall voids, pipe chases or flooring overlays. Consequently, if additional suspect materials are discovered during future renovation or demolition activities, bulk samples must be collected and analyzed for asbestos content.
- Portions of the subject building are finished with carpeting. Our assessment included observations under the carpeting in random locations; however, the complete removal of the carpeting would be necessary to account for any additional suspect ACMs that may be present.
- Portions of both subject building are finished with a suspended ceiling. Our assessment included observations above the ceiling in random locations; however, the complete removal of the ceiling and grid would be necessary to account for any additional suspect ACMs that may be present.
- The roofing system of the two-story portion of the Town Hall building was not included in this assessment as no renovations are planned at this time. Consequently, if the roofing system associated with the two-story portion of the Town Hall building is to be disturbed during future renovation or demolition activities, bulk samples must be collected and analyzed for asbestos content.

## **Appendices**

## **Appendix I – Summary of Asbestos Sampling**

## Summary of Asbestos Sampling

<b>Project Name:</b> Whitmire Town Hall	<b>Project Number:</b> 4261-18-009
<b>Location:</b> Whitmire, South Carolina	<b>Sampling Date(s):</b> January 24, 2018

### Table I-I - Summary of Asbestos Sampling

HOMOGENEOUS AREA				SAMPLE DATA					
HA Area	Material Description	Material Location	Quantity	<sup>1</sup> Cat (F/I/II)	<sup>2</sup> Type	<sup>3</sup> Condition / Potential for Disturbance	Sample Number	Sample Location	Percent and Type Asbestos
Town Hall									
FT1	12-inch Gray vinyl floor tile and black mastic	Police Department and corridor	280 SF	I	Misc.	Good/Low	FT-1	Police Department	Tile – 3% Chrysotile
									Mastic – 3% Chrysotile
							FT-2	North side corridor	Tile – 3% Chrysotile
									Mastic – 4% Chrysotile
							<sup>4</sup> FT-3	South side corridor	Positive Stop
									Positive Stop
LN1	Gray Linoleum	Hallway and office closet	120 SF	NA	Misc.	NA/NA	LN-1	Hallway	NAD
							LN-2	Hallway	Linoleum - NAD
									Mastic - NAD
							<sup>4</sup> LN-3	Office closet	Linoleum - NAD
									Mastic - NAD
TC1	Textured Ceiling	Throughout 1 <sup>st</sup> Floor, police department, and stair well.	1,100 SF	NA	Surf.	NA/NA	TC-1	Police department	NAD
							TC-2	1 <sup>st</sup> Floor Corridor	NAD
							TC-3	Stairwell	NAD
							TC-4	Office	NAD
							TC-5	Back ceiling clerk's office	NAD
DW1	Drywall		850 SF	NA	Misc.	NA/NA	DW-1	Hallway	NAD
							DW-2	Hallway	NAD

## Summary of Asbestos Sampling

<b>Project Name:</b> Whitmire Town Hall	<b>Project Number:</b> 4261-18-009
<b>Location:</b> Whitmire, South Carolina	<b>Sampling Date(s):</b> January 24, 2018

### HOMOGENEOUS AREA

### SAMPLE DATA

HA Area	Material Description	Material Location	Quantity	<sup>1</sup> Cat (F/I/II)	<sup>2</sup> Type	<sup>3</sup> Condition / Potential for Disturbance	Sample Number	Sample Location	Percent and Type Asbestos
		Hallway, women's restroom and 2 <sup>nd</sup> floor east wall					DW-3	Women's restroom	NAD
JC1	Joint Compound	Hallway, women's restroom and 2 <sup>nd</sup> floor east wall	850 SF	NA	Surf.	NA/NA	JC-1	Hallway	NAD
							JC-2	Hallway	NAD
							JC-3	Women's restroom	NAD
							JC-4	2 <sup>nd</sup> floor – east wall	NAD
							JC-5	2 <sup>nd</sup> floor – east wall	NAD
FT2	12-inch Dark gray vinyl floor tile and mastic	Lobby and clerk's office	50 SF	NA	Misc.	NA/NA	FT-4	Lobby at clerk's office	Tile - NAD Mastic - NAD
							FT-5	Lobby at clerk's office	Tile - NAD Mastic - <1% Chrysotile
							<sup>4</sup> FT-6	Lobby at clerk's office	Tile - NAD Mastic - 0.71% Chrysotile
FT3	Black VCT and mastic	Lobby beneath VCT and clerk's office beneath carpet	250 SF	I	Misc.	Good/Low	FT-7	Lobby beneath VCT	Tile - 10% Chrysotile Mastic - <1% Chrysotile
							FT-8	Clerk's office – beneath carpet	Tile - 8% Chrysotile Mastic - <1% Chrysoitle
							<sup>4</sup> FT-9		Postive Stop

## Summary of Asbestos Sampling

<b>Project Name:</b> Whitmire Town Hall	<b>Project Number:</b> 4261-18-009
<b>Location:</b> Whitmire, South Carolina	<b>Sampling Date(s):</b> January 24, 2018

### HOMOGENEOUS AREA

### SAMPLE DATA

HA Area	Material Description	Material Location	Quantity	<sup>1</sup> Cat (F/I/II)	<sup>2</sup> Type	<sup>3</sup> Condition / Potential for Disturbance	Sample Number	Sample Location	Percent and Type Asbestos		
								Clearks office – beneath carpet	Mastic – 0.77% Chrysotile		
FT4	12-inch Gray self adhesive tile, mastic and leveler	Women’s restroom	15 SF	I	Misc.	Good/Low	FT-10	Women’s restroom	Tile – NAD		
									Mastic – 3% Chrysotile		
									Leveller - NAD		
							FT-11	Women’s restroom	Tile – NAD		
									Mastic – 4% Chrysotile		
									Leveller - NAD		
4FT-12	Women’s restroom	Tile - NAD									
		Postive Stop									
		Leveller - NAD									
PL1	Plaster	Attic	750 SF	NA	Surf.	NA/NA	PL-1	Attic	Skim coat - NAD		
									Rough coat - NAD		
							PL-2	Attic	Skim coat - NAD		
									Rough coat - NAD		
							PL-3	Attic	Skim coat - NAD		
									Rough coat - NAD		
DM1	Black duct mastic	Jail	50 LF	NA	Misc.	NA/NA	DM-1	Jail	NAD		
									DM-2	Jail	NAD
									4DM-3	Jail	NAD
DM2	White duct mastic	Jail	15 LF	NA	Misc.	NA/NA	DM-4	Jail	NAD		

## Summary of Asbestos Sampling

<b>Project Name:</b> Whitmire Town Hall	<b>Project Number:</b> 4261-18-009
<b>Location:</b> Whitmire, South Carolina	<b>Sampling Date(s):</b> January 24, 2018

### HOMOGENEOUS AREA

### SAMPLE DATA

HA Area	Material Description	Material Location	Quantity	<sup>1</sup> Cat (F/I/II)	<sup>2</sup> Type	<sup>3</sup> Condition / Potential for Disturbance	Sample Number	Sample Location	Percent and Type Asbestos
							DM-5	Jail	NAD
							<sup>4</sup> DM-6	Jail	NAD
CT1	2'x4' Ceiling tile	2 <sup>nd</sup> floor ceilings	800 SF	NA	Misc.	NA/NA	CT-1	2 <sup>nd</sup> Floor	NAD
							CT-2	2 <sup>nd</sup> Floor	NAD
							CT-3	2 <sup>nd</sup> Floor	NAD
Garage Building									
FT1	12-inch white vinyl floor tile and mastic	Central area of garage	558 SF	NA	Misc.	NA/NA	FT-1	Bay door	Tile - NAD
									Mastic - NAD
							FT-2	Center by wall	Tile - NAD
								Mastic - NAD	
							<sup>4</sup> FT-3	by cabinet	Tile - NAD
									Mastic - NAD
FT2	12-inch Pink vinyl floor tile and mastic	Central area of garage	100 SF	NA	Misc.	NA/NA	FT-4	Bay door	Tile - NAD
									Mastic - NAD
							FT-5	Center by wall	Tile - NAD
								Mastic - NAD	
							<sup>4</sup> FT-6	By cabinet	Tile - NAD
									Mastic - NAD
LN1	Tan square pattern linoleum and mastic	South side of garage	330 SF	NA	Misc.	NA/NA	LN-1	Restroom	Linoleum - NAD
									Mastic - NAD
							LN-2	Hallway	Linoleum - NAD
								Mastic - NAD	
							<sup>4</sup> LN-3	Main area	Linoleum - NAD
									Mastic - NAD
PL1	Plaster	Water heater closet	80 SF	NA	Surf.	NA/NA	PL-1	Water heater closet	Skim coat - NAD



## Summary of Asbestos Sampling

<b>Project Name:</b> Whitmire Town Hall	<b>Project Number:</b> 4261-18-009
<b>Location:</b> Whitmire, South Carolina	<b>Sampling Date(s):</b> January 24, 2018

### HOMOGENEOUS AREA

### SAMPLE DATA

HA Area	Material Description	Material Location	Quantity	<sup>1</sup> Cat (F/I/II)	<sup>2</sup> Type	<sup>3</sup> Condition / Potential for Disturbance	Sample Number	Sample Location	Percent and Type Asbestos
							PL-2	Water heater closet	Rough coat - NAD
									Skim coat - NAD
							PL-3	Water heater closet	Rough coat - NAD
									Skim coat - NAD
TC1	Textured ceiling and joint compound	Central room, break room and restroom	620 SF	NA	Surf.	NA/NA	TC-1	Central room – break room	Texture – NAD
									JC – NAD
							TC-2	Central room – break room	Texture – NAD
							TC-3	Restroom	JC – NAD
DW1	Drywall	Central room, break room and restroom	620 SF	NA	Misc.	NA/NA	DW-1	Central room – break room	Texture – NAD
									JC – NAD
							DW-2	Central room – break room	Texture – NAD
							DW-3	Restroom	JC – NAD
SC1	White sink coating	Double sink in central room of garage	Double Sink	NA	Misc.	NA/NA	SC-1	Central room - sink	NAD
									SC-2
							<sup>4</sup> SC-3	Central room - sink	NAD
SC2	Black sink coating	South side sink in garage	Double Sink	NA	Misc.	NA/NA	SC-4	South side	NAD
									SC-5
							<sup>4</sup> SC-6	South side	NAD
SO1	Stucco			NA	Surf.	NA/NA	SO-1	South east side	NAD

## Summary of Asbestos Sampling

<b>Project Name:</b> Whitmire Town Hall	<b>Project Number:</b> 4261-18-009
<b>Location:</b> Whitmire, South Carolina	<b>Sampling Date(s):</b> January 24, 2018

### HOMOGENEOUS AREA

### SAMPLE DATA

HA Area	Material Description	Material Location	Quantity	<sup>1</sup> Cat (F/I/II)	<sup>2</sup> Type	<sup>3</sup> Condition / Potential for Disturbance	Sample Number	Sample Location	Percent and Type Asbestos
		Exterior of garage building and town hall	112,500 SF				SO-2	South side	NAD
							SO-3	North east side	NAD
							SO-4	North side	NAD
							SO-5	North west side	NAD
							SO-6	North side	NAD
							SO-7	North east side	NAD
RF1	Asphalt rolled roof	North garage	3,000 SF	NA	Misc.	NA/NA	RF-1	North Garage	Roofing – NAD
							RF-2	North Garage	Felt - NAD
									Roofing – NAD
<sup>4</sup> RF-3	North Garage	Felt - NAD							
								Roofing – NAD	
RF2	Cloth rolled roof	South garage	1,218 SF	NA	Misc.	NA/NA	RF-4	South Garage	NAD
							RF-5	South Garage	NAD
							<sup>4</sup> RF-6	South Garage	NAD

## Abbreviations and Hazard Assessment Key

In accordance with the EPA and SCDHEC, a confirmed ACM is assigned a hazard assessment based on its present condition and potential for disturbance. The hazard assessment is used as a tool for prioritization in remedial actions regarding any identified ACM(s). The following key exhibits the criteria that compose the hazard assessment.

### Present Condition

F = Friable

NF = Non-friable

G = Good (Very localized limited damage)

D = Damaged (Damage of less than 10% distributed and less than 25% localized)

SD = Significantly Damaged (Damage equal to or greater than 10% distributed, 25% localized)

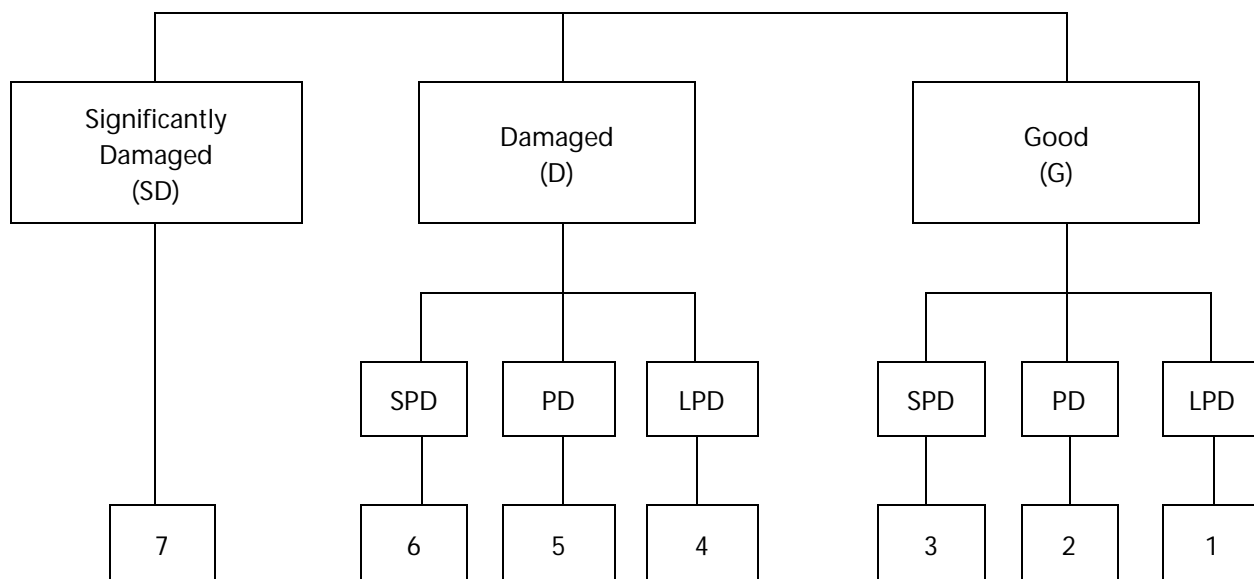
### Potential for Future Disturbance

LPD = Low Potential for Disturbance (Contact, Vibration, and Air Erosion all of Low Concern)

PD = Potential for Disturbance (Contact, Vibration, or Air Erosion of Moderate Concern)

SPD = Significant Potential for Disturbance (Contact, Vibration, or Air Erosion of High Concern)

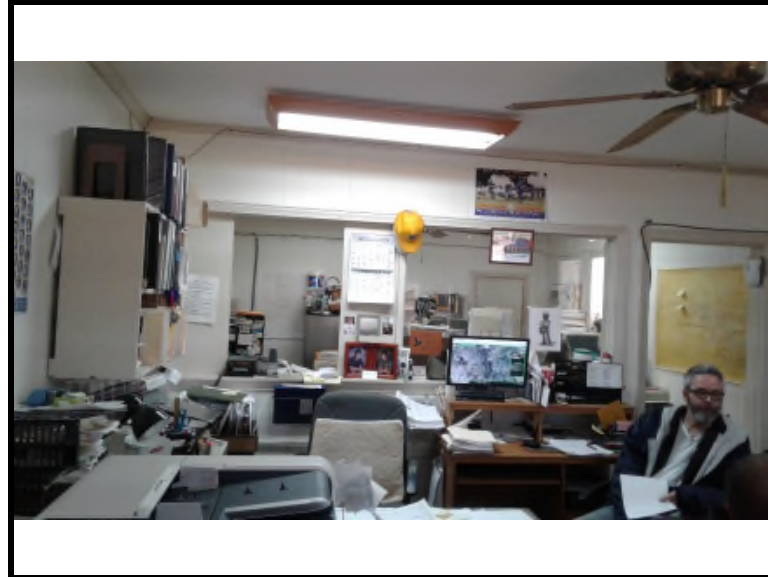
### Hazard Assessment



## **Appendix II – Photographs**



1 Exterior view of the Whitmire Town Hall building.



2 View of the Town Clerk Office.



3 View of the 12" gray vinyl floor tile and associated black mastic located in the police department and north corridor (3% chrysotile).



4 View of the black vinyl floor tile located beneath the 12" dark gray vinyl floor tile in the lobby and beneath carpeting in the clerk's office (10% chrysotile).

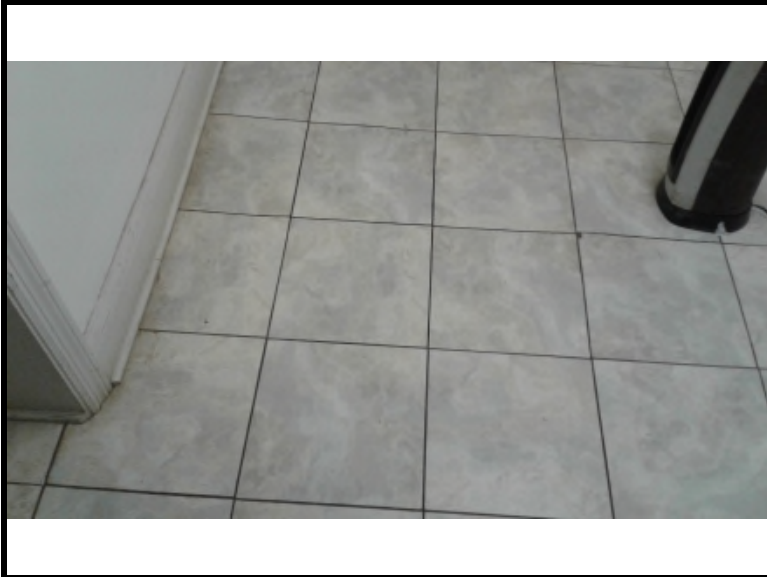


Site Photographs  
Whitmire Town Hall  
Whitmire, South Carolina

S&ME Project 4261-18-009

Taken by: T.K., B.M.

Date: January 28, 2018



**5** The tan/black mastic located beneath the self-adhesive vinyl floor tile in the women's restroom tested positive for asbestos (4% chrysotile).



**7** The 12" white and pink vinyl floor tile and associated mastic located in the garage tested negative for asbestos.



**6** Typical interior view of the garage building attached to the Town Hall.



**8** The tan linoleum located in the south side of the garage building tested negative for asbestos.



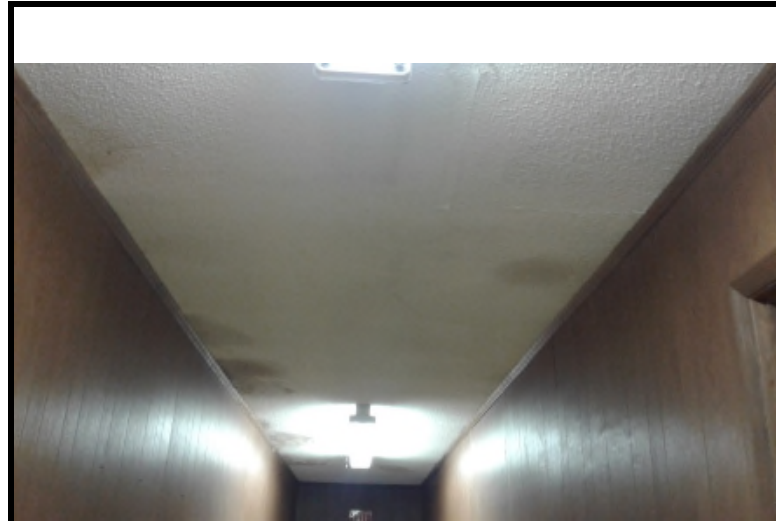




9 The plaster walls located in the garage building tested negative for asbestos.



11 The cloth rolled roofing tested negative for asbestos.



10 The spray-applied ceiling texture tested negative for asbestos.



12 The asphalt rolled roofing tested negative for asbestos.



## **Appendix III – XRF Lead-Based Paint Reading Summary Table**



XRF LEAD-BASED PAINT READING SUMMARY TABLE

Serial #95004  
 PAINT  
 Project No.: 4261-18-009  
 Site: Whitmire Town Hall  
 Date: January 24, 2018  
 Ranges (NEG<INC<POS): Device PCS



Reading Number	Floor/Area	Room	Feature	Substrate	Condition	Color	Result	XRF Reading (mg/cm²)
51			Shutter Calibrate					--
52			Calibrate					1.00
53			Calibrate					1.00
54			Calibrate					1.10
55	Garage	North Side	Wall	CMU	Good	White	Negative	<LOD
56	Garage	North Side	Door	Metal	Good	Black	Negative	<LOD
57	Garage	Central	Wall	Wood	Good	White	Negative	<LOD
58	Garage	Central	Wall	Brick	Good	White	Negative	<LOD
59	Garage	Central	Baseboard	Concrete	Good	Green	Negative	<LOD
60	Garage	Central	Wall	CMU	Good	White	Negative	<LOD
61	Garage	Break Room	Floor	Concrete	Good	Gray	Negative	<LOD
62	Garage	Break Room	Door	Wood	Good	White	Negative	<LOD
63	Garage	Break Room	Garage Door	Metal	Good	White	Negative	<LOD
64	Exterior	Garage	Wall	Concrete	Good	Tan	Negative	<LOD
65	Exterior	Garage	Garage Door	Metal	Good	White	Negative	<LOD
66	Exterior	Exterior	Sidewalk	Concrete	Poor	Blue	Negative	<LOD
67	Exterior	Garage	Pedestrian Door	Metal	Good	White	Negative	<LOD
68	Garage	South side	Wall	Brick	Good	White	Negative	0.50
69	Garage	South side	Wall	Brick	Good	White	Negative	0.50
70	Garage	South Side	Wall	Wood	Good	White	Negative	<LOD
71	Town Hall	Lobby	Wall	Wood	Good	White	Negative	<LOD
72	Town Hall	Lobby	Stair Rail	Wood	Good	White	Negative	0.28
73	Town Hall	Lobby	Stair	Wood	Good	White	Negative	<LOD
74	Town Hall	Police Department	Wall	Wood	Good	Gray	Negative	<LOD
75	Town Hall	Police Department	Window Sill	Wood	Good	White	Negative	<LOD
76	Town Hall	Police Department	Door Frame	Wood	Good	White	Negative	<LOD
77	Town Hall	Police Department	Cabinet	Wood	Good	White	Negative	<LOD
78	Town Hall	Hallway	Wall	Drywall	Good	White	Negative	<LOD
<b>79</b>	<b>Town Hall</b>	<b>Old Jail</b>	<b>Door</b>	<b>Metal</b>	<b>Good</b>	<b>Gray</b>	<b>Positive</b>	<b>2.70</b>
80	Town Hall	Old Jail	Wall	Concrete	Good	Gray	Negative	0.08
81	Town Hall	Old Jail	Wall	Brick	Good	Gray	Negative	0.08
82	Town Hall	Old Jail	Jail Cell	Metal	Good	Gray	Negative	<LOD
83	Town Hall	Old Jail	Floor	Concrete	Poor	Gray	Negative	<LOD
84	Town Hall	Old Jail	Ceiling	Metal	Good	White	Negative	0.40
85	Town Hall	Lobby	Stairway Wall	Wood	Good	White	Negative	<LOD
<b>86</b>	<b>Town Hall</b>	<b>Lobby</b>	<b>Door under stairway</b>	<b>Wood</b>	<b>Good</b>	<b>Tan</b>	<b>Positive</b>	<b>6.60</b>
87			Post Calibrate					1.10
88			Post Calibrate					1.00
89			Post Calibrate					1.10

**Appendix IV – Asbestos Bulk Sample Analysis Sheets and Chain of Custody Record**



# EMSL Analytical, Inc.

10801 Southern Loop Blvd Pineville, NC 28134

Tel/Fax: (704) 525-2205 / (704) 525-2382

<http://www.EMSL.com> / [charlottelab@emsl.com](mailto:charlottelab@emsl.com)

EMSL Order: 411800577

Customer ID: S&ME50

Customer PO: 4261-18-009

Project ID:

**Attention:** Travis Knight  
S&ME, Inc.  
134 Suber Rd.  
Columbia, SC 29210

**Phone:** (803) 561-9024

**Fax:** (803) 561-9177

**Received Date:** 01/25/2018 9:30 AM

**Analysis Date:** 01/27/2018 - 01/29/2018

**Collected Date:** 01/24/2018

**Project:** Whitmire Town Hall

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
FT-1-Floor Tile <small>411800577-0001</small>	Police Department - 12" Gray Vinyl Floor Tile & Mastic	Gray Non-Fibrous Homogeneous		40% Ca Carbonate 57% Non-fibrous (Other)	3% Chrysotile
FT-1-Mastic <small>411800577-0001A</small>	Police Department - 12" Gray Vinyl Floor Tile & Mastic	Black Non-Fibrous Homogeneous	1% Cellulose	96% Non-fibrous (Other)	3% Chrysotile
FT-2-Floor Tile <small>411800577-0002</small>	North Side Corridor - 12" Gray Vinyl Floor Tile & Mastic	Gray Non-Fibrous Homogeneous		40% Ca Carbonate 57% Non-fibrous (Other)	3% Chrysotile
FT-2-Mastic <small>411800577-0002A</small>	North Side Corridor - 12" Gray Vinyl Floor Tile & Mastic	Black Non-Fibrous Homogeneous		96% Non-fibrous (Other)	4% Chrysotile
LN-1 <small>411800577-0003</small>	Hallway - Gray Linoleum	Gray Non-Fibrous Homogeneous	5% Cellulose	30% Ca Carbonate 65% Non-fibrous (Other)	None Detected
LN-2-Flooring <small>411800577-0004</small>	Hallway - Gray Linoleum	Gray/Various Fibrous Heterogeneous	10% Cellulose 1% Glass	89% Non-fibrous (Other)	None Detected
LN-2-Mastic <small>411800577-0004A</small>	Hallway - Gray Linoleum	Tan Non-Fibrous Homogeneous	<1% Cellulose	100% Non-fibrous (Other)	None Detected
TC-1 <small>411800577-0005</small>	Police Department - Textured Ceiling	White Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
TC-2 <small>411800577-0006</small>	1st Floor Corridor - Textured Ceiling	White Non-Fibrous Homogeneous		30% Ca Carbonate 70% Non-fibrous (Other)	None Detected
TC-3 <small>411800577-0007</small>	Stairwell - Textured Ceiling	White Non-Fibrous Homogeneous		30% Ca Carbonate 70% Non-fibrous (Other)	None Detected
TC-4 <small>411800577-0008</small>	Office - Textured Ceiling	White Non-Fibrous Homogeneous		35% Ca Carbonate 65% Non-fibrous (Other)	None Detected
TC-5 <small>411800577-0009</small>	Back Ceiling Clerks Office - Textured Ceiling	White Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
DW-1 <small>411800577-0010</small>	Hallway - Drywall	Gray Fibrous Homogeneous	10% Cellulose	90% Non-fibrous (Other)	None Detected
DW-2 <small>411800577-0011</small>	Hallway - Drywall	Gray Fibrous Homogeneous	10% Cellulose	90% Non-fibrous (Other)	None Detected
DW-3 <small>411800577-0012</small>	Women's RR - Drywall	Gray Non-Fibrous Homogeneous	10% Cellulose	90% Non-fibrous (Other)	None Detected
JC-1 <small>411800577-0013</small>	Hallway - Joint Compound	White Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected

Initial report from: 01/29/2018 12:32:52



# EMSL Analytical, Inc.

10801 Southern Loop Blvd Pineville, NC 28134

Tel/Fax: (704) 525-2205 / (704) 525-2382

<http://www.EMSL.com> / [charlottelab@emsl.com](mailto:charlottelab@emsl.com)

**EMSL Order:** 411800577  
**Customer ID:** S&ME50  
**Customer PO:** 4261-18-009  
**Project ID:**

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
JC-2 <i>411800577-0014</i>	Hallway - Joint Compound	White Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
JC-3 <i>411800577-0015</i>	Women's RR - Joint Compound	White Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
JC-4 <i>411800577-0016</i>	2nd Floor - East Wall - Joint Compound	White Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
JC-5 <i>411800577-0017</i>	2nd Floor - East Wall - Joint Compound	White Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
FT-4-Floor Tile <i>411800577-0018</i>	Lobby at Clerks Office - 12" Dark Gray VCT	Gray Non-Fibrous Homogeneous	2% Cellulose	40% Ca Carbonate 58% Non-fibrous (Other)	None Detected
FT-4-Mastic <i>411800577-0018A</i>	Lobby at Clerks Office - 12" Dark Gray VCT	Brown Non-Fibrous Homogeneous	2% Cellulose	98% Non-fibrous (Other)	None Detected
FT-5-Floor Tile <i>411800577-0019</i>	Lobby at Clerks Office - 12" Dark Gray VCT	Gray Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
FT-5-Mastic <i>411800577-0019A</i>	Lobby at Clerks Office - 12" Dark Gray VCT	Tan/Black Non-Fibrous Homogeneous	<1% Cellulose	5% Ca Carbonate 95% Non-fibrous (Other)	<1% Chrysotile
FT-7-Floor Tile <i>411800577-0020</i>	Lobby beneath VCT - Black VCT	Black Non-Fibrous Homogeneous		5% Ca Carbonate 85% Non-fibrous (Other)	10% Chrysotile
FT-7-Mastic <i>411800577-0020A</i> <i>Possible contamination</i>	Lobby beneath VCT - Black VCT	Tan Non-Fibrous Homogeneous	2% Cellulose	98% Non-fibrous (Other)	<1% Chrysotile
FT-8-Floor Tile <i>411800577-0021</i>	Office (Clerk) beneath Carpet - Black VCT	Black Non-Fibrous Homogeneous		92% Non-fibrous (Other)	8% Chrysotile
FT-8-Mastic <i>411800577-0021A</i> <i>Possible contamination</i>	Office (Clerk) beneath Carpet - Black VCT	Tan Non-Fibrous Homogeneous		100% Non-fibrous (Other)	<1% Chrysotile
FT-10-Floor Tile <i>411800577-0022</i>	Women's Restroom - 12" Gray Self Adhesive Tile	Gray Non-Fibrous Homogeneous	2% Cellulose	30% Ca Carbonate 68% Non-fibrous (Other)	None Detected
FT-10-Mastic <i>411800577-0022A</i>	Women's Restroom	Tan/Black Non-Fibrous Homogeneous	3% Cellulose	94% Non-fibrous (Other)	3% Chrysotile
FT-10-Leveler <i>411800577-0022B</i>	Women's Restroom	Gray Non-Fibrous Homogeneous	2% Cellulose	20% Ca Carbonate 78% Non-fibrous (Other)	None Detected
FT-11-Floor Tile <i>411800577-0023</i>	Women's Restroom - 12" Gray Self Adhesive Tile	Gray/White Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
FT-11-Mastic <i>411800577-0023A</i>	Women's Restroom - 12" Gray Self Adhesive Tile	Tan/Black Non-Fibrous Homogeneous		5% Ca Carbonate 91% Non-fibrous (Other)	4% Chrysotile
FT-11-Leveler <i>411800577-0023B</i>	Women's Restroom - 12" Gray Self Adhesive Tile	Gray Non-Fibrous Homogeneous		35% Ca Carbonate 65% Non-fibrous (Other)	None Detected

Initial report from: 01/29/2018 12:32:52



# EMSL Analytical, Inc.

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**EMSL Order:** 411800577  
**Customer ID:** S&ME50  
**Customer PO:** 4261-18-009  
**Project ID:**

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
FT-12-Leveler 411800577-0023C	Women's Restroom - 12" Gray Self Adhesive Tile	Gray Non-Fibrous Homogeneous		35% Ca Carbonate 65% Non-fibrous (Other)	None Detected
PL-1-Skim Coat 411800577-0024	Attic - Plaster	White Non-Fibrous Homogeneous		5% Ca Carbonate 95% Non-fibrous (Other)	None Detected
PL-1-Rough Coat 411800577-0024A	Attic - Plaster	Gray Non-Fibrous Homogeneous		30% Quartz 70% Non-fibrous (Other)	None Detected
PL-2-Skim Coat 411800577-0025	Attic - Plaster	White Non-Fibrous Homogeneous		5% Ca Carbonate 95% Non-fibrous (Other)	None Detected
PL-2-Rough Coat 411800577-0025A	Attic - Plaster	Gray Non-Fibrous Homogeneous		25% Quartz 75% Non-fibrous (Other)	None Detected
PL-3-Skim Coat 411800577-0026	Attic - Plaster	White Non-Fibrous Homogeneous		8% Ca Carbonate 92% Non-fibrous (Other)	None Detected
PL-3-Rough Coat 411800577-0026A	Attic - Plaster	Gray Non-Fibrous Homogeneous		30% Quartz 8% Ca Carbonate 62% Non-fibrous (Other)	None Detected
DM-1 411800577-0027	Jail - Black Duct Mastic	Black Non-Fibrous Homogeneous	15% Cellulose	85% Non-fibrous (Other)	None Detected
DM-2 411800577-0028	Jail - Black Duct Mastic	Gray/Black Fibrous Heterogeneous	10% Cellulose	90% Non-fibrous (Other)	None Detected
DM-4 411800577-0029	Jail - White Duct Mastic	White Non-Fibrous Homogeneous	1% Cellulose	5% Ca Carbonate 94% Non-fibrous (Other)	None Detected
DM-5 411800577-0030	Jail - White Duct Mastic	White Non-Fibrous Homogeneous	2% Synthetic	15% Ca Carbonate 83% Non-fibrous (Other)	None Detected
CT-1 411800577-0031	2nd Floor - 2'x4' Ceiling Tile	Gray/White Fibrous Homogeneous	60% Cellulose 20% Min. Wool	10% Perlite 10% Non-fibrous (Other)	None Detected
CT-2 411800577-0032	2nd Floor - 2'x4' Ceiling Tile	Gray/White Fibrous Homogeneous	60% Cellulose 20% Min. Wool	10% Perlite 10% Non-fibrous (Other)	None Detected
CT-3 411800577-0033	2nd Floor - 2'x4' Ceiling Tile	Gray/White Fibrous Heterogeneous	60% Cellulose 15% Min. Wool	15% Perlite 10% Non-fibrous (Other)	None Detected

Lee Plumley, Laboratory Manager  
or Other Approved Signatory

Analyst(s)  
Eric Loomis (25)  
Lacy Searcy (23)

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Samples analyzed by EMSL Analytical, Inc. Pineville, NC NVLAP Lab Code 200841-0, VA 3333 00312

Initial report from: 01/29/2018 12:32:52



# EMSL Analytical, Inc.

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<http://www.EMSL.com> / [charlottelab@emsl.com](mailto:charlottelab@emsl.com)

EMSL Order: 411800577

Customer ID: S&ME50

Customer PO: 4261-18-009

Project ID:

**Attention:** Travis Knight  
S&ME, Inc.  
134 Suber Rd.  
Columbia, SC 29210

**Phone:** (803) 561-9024

**Fax:** (803) 561-9177

**Received Date:** 01/25/2018 9:30 AM

**Analysis Date:** 01/31/2018

**Collected Date:** 01/24/2018

**Project:** Whitmire Town Hall

## Test Report: Asbestos Analysis of Non-Friable Organically Bound Materials by TEM via EPA/600/R-93/116 Section 2.5.5.1

Sample ID	Description	Appearance	% Matrix Material	% Non-Asbestos Fibers	Asbestos Types
LN-3-Flooring 411800577-0034	Office Closet - Gray Linoleum	Gray/Various Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
LN-3-Mastic 411800577-0035	Office Closet - Gray Linoleum	Tan Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
FT-6-Floor Tile 411800577-0036	Lobby at Clerk's Office - 12" Dark Gray VCT	Gray Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
FT-6-Mastic 411800577-0037	Lobby at Clerk's Office - 12" Dark Gray VCT	Tan Non-Fibrous Heterogeneous	99.3	None	0.71% Chrysotile
FT-9-Mastic 411800577-0038	Office (Clerk) beneath Carpet - Black VCT	Tan Non-Fibrous Heterogeneous	99.2	None	0.77% Chrysotile
FT-12-Floor Tile 411800577-0039	Women's Restroom - 12" Gray Self Adhesive Tile	Gray Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
DM-3 411800577-0041	Jail - Black Duct Mastic	Gray Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
DM-6 411800577-0042	Jail - White Duct Mastic	White Non-Fibrous Heterogeneous	100	None	No Asbestos Detected

Analyst(s)

Derrick Young (8)

Lee Plumley, Laboratory Manager  
or other approved signatory

This laboratory is not responsible for % asbestos in total sample when the residue only is submitted for analysis. The above report relates only to the items tested. This report may not be reproduced, except in full, without written approval by EMSL Analytical, Inc. Samples received in good condition unless otherwise noted. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample.

Samples analyzed by EMSL Analytical, Inc. Pineville, NC

Initial report from: 02/01/2018 10:26:20









**JLK SAMPLE Chain of Custody Record**

PROJECT NO: 1261-18-009  
 PROJECT NAME: Whitmore Town Hc 11  
 FACILITY: TOWN Hc 11  
 DATE TAKEN: 1/24/13

SIGNATURE: \_\_\_\_\_

COMMENTS / SPECIAL INSTRUCTIONS

QUANTITY

} NO. 13

} NO. 13

} NO. 13

} NO. 13

SAMPLER(S)  
 HA

MATERIAL

LOCATION

QUANTITY

COMMENTS / SPECIAL INSTRUCTIONS

FT-1

12" Gray vinyl floor tile? mastic

Police Department  
 North side Corridor

1

LN-1

Gray Linoleum

Police Department  
 1st Floor Corridor

1

TC-1

Textured ceiling

Stirwell  
 Office ceiling

1

DW-1

Drywall

Back hallway  
 Hallway

1

JG-1

Joint Compound

Women's RR  
 Hallway

1

FT-4

12" Dark Gray VCT

Women's RR - EAST WALL  
 2nd Floor

1

FT-5

Black VCT

Lobby e. Clerk's office

1

FT-7

Black VCT

Lobby Beneath VCT  
 Office (Clerk)

1

FT-8

Black VCT

Lobby Beneath VCT

1

FT-9

Black VCT

Lobby Beneath VCT

1







# EMSL Analytical, Inc.

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EMSL Order: 411800578

Customer ID: S&ME50

Customer PO: 4261-18-009

Project ID:

**Attention:** Travis Knight  
S&ME, Inc.  
134 Suber Rd.  
Columbia, SC 29210

**Phone:** (803) 561-9024

**Fax:** (803) 561-9177

**Received Date:** 01/25/2018 9:30 AM

**Analysis Date:** 01/27/2018 - 01/28/2018

**Collected Date:** 01/24/2018

**Project:** Whitmire Town Hall (Garage)

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
FT-1-Floor Tile <small>411800578-0001</small>	Bay Door (Central) - 12" White Vinyl Floor Tile & Yellow Mastic	White Non-Fibrous Homogeneous		35% Ca Carbonate 65% Non-fibrous (Other)	None Detected
FT-1-Mastic <small>411800578-0001A</small>	Bay Door (Central) - 12" White Vinyl Floor Tile & Yellow Mastic	Tan Non-Fibrous Homogeneous	1% Cellulose	99% Non-fibrous (Other)	None Detected
FT-2-Floor Tile <small>411800578-0002</small>	Center by Wall (Central) - 12" White Vinyl Floor Tile & Yellow Mastic	White Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
FT-2-Mastic <small>411800578-0002A</small>	Center by Wall (Central) - 12" White Vinyl Floor Tile & Yellow Mastic	Tan Non-Fibrous Homogeneous		5% Ca Carbonate 95% Non-fibrous (Other)	None Detected
FT-4-Floor Tile <small>411800578-0003</small>	Bay Door (Central) - 12" Pink Vinyl Floor Tile & Yellow Mastic	Pink Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
FT-4-Mastic <small>411800578-0003A</small>	Bay Door (Central) - 12" Pink Vinyl Floor Tile & Yellow Mastic	Gray/Tan Non-Fibrous Homogeneous	2% Cellulose	8% Ca Carbonate 90% Non-fibrous (Other)	None Detected
FT-5-Floor Tile <small>411800578-0004</small>	Center by Wall (Central) - 12" Pink Vinyl Floor Tile & Yellow Mastic	Pink Non-Fibrous Homogeneous		40% Ca Carbonate 60% Non-fibrous (Other)	None Detected
FT-5-Mastic <small>411800578-0004A</small>	Center by Wall (Central) - 12" Pink Vinyl Floor Tile & Yellow Mastic	Yellow Non-Fibrous Homogeneous		5% Ca Carbonate 95% Non-fibrous (Other)	None Detected
LN-1-Flooring <small>411800578-0005</small>	Restroom (South Side) - Tan Square Pattern Linoleum & Mastic	Tan Fibrous Homogeneous	4% Synthetic 3% Glass	10% Ca Carbonate 83% Non-fibrous (Other)	None Detected
LN-1-Mastic <small>411800578-0005A</small>	Restroom (South Side) - Tan Square Pattern Linoleum & Mastic	Tan Fibrous Homogeneous	1% Synthetic	99% Non-fibrous (Other)	None Detected
LN-2-Flooring <small>411800578-0006</small>	Hallway (South Side) - Tan Square Pattern Linoleum & Mastic	Tan Fibrous Homogeneous	3% Cellulose 2% Glass	5% Ca Carbonate 90% Non-fibrous (Other)	None Detected
LN-2-Mastic <small>411800578-0006A</small>	Hallway (South Side) - Tan Square Pattern Linoleum & Mastic	Tan Non-Fibrous Homogeneous	1% Cellulose	99% Non-fibrous (Other)	None Detected
PL-1-Skim Coat <small>411800578-0007</small>	Water Heater Closet - Garage - Plaster	White Non-Fibrous Homogeneous		5% Ca Carbonate 95% Non-fibrous (Other)	None Detected
PL-1-Rough Coat <small>411800578-0007A</small>	Water Heater Closet - Garage - Plaster	Gray Non-Fibrous Homogeneous		30% Quartz 70% Non-fibrous (Other)	None Detected

Initial report from: 01/29/2018 08:34:15



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**EMSL Order:** 411800578  
**Customer ID:** S&ME50  
**Customer PO:** 4261-18-009  
**Project ID:**

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
PL-2-Skim Coat <small>411800578-0008</small>	Water Heater Closet - Garage - Plaster	White Non-Fibrous Homogeneous		5% Ca Carbonate 95% Non-fibrous (Other)	None Detected
PL-2-Rough Coat <small>411800578-0008A</small>	Water Heater Closet - Garage - Plaster	Gray Non-Fibrous Homogeneous	1% Cellulose	30% Quartz 69% Non-fibrous (Other)	None Detected
PL-3-Skim Coat <small>411800578-0009</small>	Water Heater Closet - Garage - Plaster	White Non-Fibrous Homogeneous		5% Ca Carbonate 95% Non-fibrous (Other)	None Detected
PL-3-Rough Coat <small>411800578-0009A</small>	Water Heater Closet - Garage - Plaster	Gray Non-Fibrous Homogeneous		30% Quartz 70% Non-fibrous (Other)	None Detected
TC-1-Texture <small>411800578-0010</small>	Central Room - Break Room - Texture Ceiling & Joint Compound	Tan Non-Fibrous Homogeneous		5% Ca Carbonate 10% Mica 85% Non-fibrous (Other)	None Detected
TC-1-Joint Compound <small>411800578-0010A</small>	Central Room - Break Room - Texture Ceiling & Joint Compound	Tan Non-Fibrous Homogeneous		35% Ca Carbonate 65% Non-fibrous (Other)	None Detected
TC-2-Texture <small>411800578-0011</small>	Central Room - Break Room - Texture Ceiling & Joint Compound	White Non-Fibrous Homogeneous		15% Mica 85% Non-fibrous (Other)	None Detected
TC-2-Joint Compound <small>411800578-0011A</small>	Central Room - Break Room - Texture Ceiling & Joint Compound	White Non-Fibrous Homogeneous		35% Ca Carbonate 65% Non-fibrous (Other)	None Detected
TC-3-Texture <small>411800578-0012</small>	Restroom - Texture Ceiling & Joint Compound	White Non-Fibrous Homogeneous		10% Ca Carbonate 10% Mica 80% Non-fibrous (Other)	None Detected
TC-3-Joint Compound <small>411800578-0012A</small>	Restroom - Texture Ceiling & Joint Compound	White Non-Fibrous Homogeneous		25% Ca Carbonate 75% Non-fibrous (Other)	None Detected
DW-1 <small>411800578-0013</small>	Central Room - Break Room - Drywall	Brown/Gray Fibrous Homogeneous	5% Cellulose	95% Non-fibrous (Other)	None Detected
DW-2 <small>411800578-0014</small>	Central Room - Break Room - Drywall	Brown/Gray Fibrous Homogeneous	5% Cellulose	95% Non-fibrous (Other)	None Detected
DW-3 <small>411800578-0015</small>	Restroom - Drywall	Brown/Gray Fibrous Homogeneous	8% Cellulose	92% Non-fibrous (Other)	None Detected
SC-1 <small>411800578-0016</small>	Sink Central - White Sink Coating	White Non-Fibrous Homogeneous	5% Cellulose	10% Ca Carbonate 15% Mica 70% Non-fibrous (Other)	None Detected
SC-2 <small>411800578-0017</small>	Sink Central - White Sink Coating	White Non-Fibrous Homogeneous	5% Cellulose	5% Mica 90% Non-fibrous (Other)	None Detected
SC-4 <small>411800578-0018</small>	South Side - Black Sink Coating	Black Non-Fibrous Homogeneous	3% Cellulose	5% Ca Carbonate 92% Non-fibrous (Other)	None Detected
SC-5 <small>411800578-0019</small>	South Side - Black Sink Coating	Black Non-Fibrous Homogeneous		10% Quartz 40% Ca Carbonate 50% Non-fibrous (Other)	None Detected
SO-1 <small>411800578-0020</small>	SE Side - Stucco	Gray/White Non-Fibrous Homogeneous		45% Quartz 55% Non-fibrous (Other)	None Detected

Initial report from: 01/29/2018 08:34:15



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**EMSL Order:** 411800578  
**Customer ID:** S&ME50  
**Customer PO:** 4261-18-009  
**Project ID:**

## Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
SO-2 <small>411800578-0021</small>	S Side - Stucco	Gray/White Non-Fibrous Homogeneous		45% Quartz 55% Non-fibrous (Other)	None Detected
SO-3 <small>411800578-0022</small>	NE Side - Stucco	Gray/White Fibrous Homogeneous	10% Glass	40% Quartz 50% Non-fibrous (Other)	None Detected
SO-4 <small>411800578-0023</small>	N Side - Stucco	Gray/White Fibrous Homogeneous	5% Glass	40% Quartz 55% Non-fibrous (Other)	None Detected
SO-5 <small>411800578-0024</small>	NW Side - Stucco	Gray/White Non-Fibrous Homogeneous		50% Quartz 50% Non-fibrous (Other)	None Detected
SO-6 <small>411800578-0025</small>	N Side - Stucco	Gray/White Non-Fibrous Homogeneous		40% Quartz 60% Non-fibrous (Other)	None Detected
SO-7 <small>411800578-0026</small>	NE Side - Stucco	Gray Non-Fibrous Homogeneous		40% Quartz 60% Non-fibrous (Other)	None Detected
RF-1-Roofing <small>411800578-0027</small>	North Garage - Asphalt Rolled Roof	Black Non-Fibrous Homogeneous	15% Synthetic	10% Ca Carbonate 75% Non-fibrous (Other)	None Detected
RF-1-Felt <small>411800578-0027A</small>	North Garage - Asphalt Rolled Roof	Black Non-Fibrous Homogeneous	70% Cellulose	30% Non-fibrous (Other)	None Detected
RF-2-Roofing <small>411800578-0028</small>	North Garage - Asphalt Rolled Roof	Black Non-Fibrous Homogeneous	10% Synthetic	8% Ca Carbonate 82% Non-fibrous (Other)	None Detected
RF-2-Felt <small>411800578-0028A</small>	North Garage - Asphalt Rolled Roof	Black Fibrous Homogeneous	60% Cellulose	40% Non-fibrous (Other)	None Detected
RF-4 <small>411800578-0029</small>	South Garage - Cloth Rolled Roof	Gray/Blue Non-Fibrous Homogeneous	40% Synthetic	60% Non-fibrous (Other)	None Detected
RF-5 <small>411800578-0030</small>	South Garage - Cloth Rolled Roof	Gray/Blue Fibrous Homogeneous	30% Synthetic	70% Non-fibrous (Other)	None Detected

Analyst(s) \_\_\_\_\_

Aaron Hartley (26)

Lacy Searcy (18)

Lee Plumley, Laboratory Manager  
or Other Approved Signatory

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Samples analyzed by EMSL Analytical, Inc. Pineville, NC NVLAP Lab Code 200841-0, VA 3333 00312

Initial report from: 01/29/2018 08:34:15



# EMSL Analytical, Inc.

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**EMSL Order:** 411800578

**Customer ID:** S&ME50

**Customer PO:** 4261-18-009

**Project ID:**

**Attention:** Travis Knight  
S&ME, Inc.  
134 Suber Rd.  
Columbia, SC 29210

**Phone:** (803) 561-9024  
**Fax:** (803) 561-9177  
**Received Date:** 01/25/2018 9:30 AM  
**Analysis Date:** 01/31/2018  
**Collected Date:** 01/24/2018

**Project:** Whitmire Town Hall (Garage)

## Test Report: Asbestos Analysis of Non-Friable Organically Bound Materials by TEM via EPA/600/R-93/116 Section 2.5.5.1

Sample ID	Description	Appearance	% Matrix Material	% Non-Asbestos Fibers	Asbestos Types
FT-3-Floor Tile 411800578-0031	By Cabinet (Central) - 12" White Vinyl Floor Tile & Yellow Mastic	Gray/White Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
FT-3-Mastic 411800578-0032	By Cabinet (Central) - 12" White Vinyl Floor Tile & Yellow Mastic	Tan Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
FT-6-Floor Tile 411800578-0033	By Cabinet (Central) - 12" Pink Vinyl Floor Tile & Yellow Mastic	Pink Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
FT-6-Mastic 411800578-0034	By Cabinet (Central) - 12" Pink Vinyl Floor Tile & Yellow Mastic	Tan Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
LN-3-Flooring 411800578-0035	Main Area (South Side) - Tan Square Pattern Linoleum & Mastic	Tan Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
LN-3-Mastic 411800578-0036	Main Area (South Side) - Tan Square Pattern Linoleum & Mastic	Tan Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
SC-3 411800578-0037	Sink Central - White Sink Coating	White Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
SC-6 411800578-0038	South Side - Black Sink Coating	Black Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
RF-3-Roofing 411800578-0039	North Garage - Asphalt Rolled Roof	Gray/Black Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
RF-3-Felt 411800578-0040	North Garage - Asphalt Rolled Roof	Black Non-Fibrous Heterogeneous	100	None	No Asbestos Detected
RF-6 411800578-0041	South Garage - Cloth Rolled Roof	White/Blue Non-Fibrous Heterogeneous	100	None	No Asbestos Detected

This laboratory is not responsible for % asbestos in total sample when the residue only is submitted for analysis. The above report relates only to the items tested. This report may not be reproduced, except in full, without written approval by EMSL Analytical, Inc. Samples received in good condition unless otherwise noted. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample.

Samples analyzed by EMSL Analytical, Inc. Pineville, NC

Initial report from: 02/01/2018 07:58:07



# EMSL Analytical, Inc.

10801 Southern Loop Blvd Pineville, NC 28134

Tel/Fax: (704) 525-2205 / (704) 525-2382

<http://www.EMSL.com> / [charlottelab@emsl.com](mailto:charlottelab@emsl.com)

**EMSL Order:** 411800578

**Customer ID:** S&ME50

**Customer PO:** 4261-18-009

**Project ID:**

**Attention:** Travis Knight  
S&ME, Inc.  
134 Suber Rd.  
Columbia, SC 29210

**Phone:** (803) 561-9024

**Fax:** (803) 561-9177

**Received Date:** 01/25/2018 9:30 AM

**Analysis Date:** 01/31/2018

**Collected Date:** 01/24/2018

**Project:** Whitmire Town Hall (Garage)

## Test Report: Asbestos Analysis of Non-Friable Organically Bound Materials by TEM via EPA/600/R-93/116 Section 2.5.5.1

Sample ID	Description	Appearance	% Matrix Material	% Non-Asbestos Fibers	Asbestos Types
-----------	-------------	------------	-------------------	-----------------------	----------------

Analyst(s)

Derrick Young (11)

Lee Plumley, Laboratory Manager  
or other approved signatory

This laboratory is not responsible for % asbestos in total sample when the residue only is submitted for analysis. The above report relates only to the items tested. This report may not be reproduced, except in full, without written approval by EMSL Analytical, Inc. Samples received in good condition unless otherwise noted. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample.

Samples analyzed by EMSL Analytical, Inc. Pineville, NC

Initial report from: 02/01/2018 07:58:07





411800578

**BULK SAMPLE Chain of Custody Record**

PROJECT NO.	PROJECT NAME:	SIGNATURE:	LOCATION	QUANTITY	COMMENTS / SPECIAL INSTRUCTIONS
4261-18-009	Whitmore Tour Hall (Garage)				
<p>FACILITY: <u>Garage</u></p> <p>SAMPLER(S): <u>B. McWhorter / T. Knight</u> DATE TAKEN: <u>1/24/17</u></p>					
SAMPLE #	HA	MATERIAL	LOCATION	QUANTITY	COMMENTS / SPECIAL INSTRUCTIONS
FT-1		12" white vinyl floor tile & yellow mastic	Bay Door (Central)		
2			Center by wall	558 SF	} NOB
3			by cabinet		
FT-4		12" Pink Vinyl floor tile & yellow mastic	Bay Door (Central)		
5			Center by wall	100 SF	} NOB
6			by cabinet		
LN-1		tan square pattern linoleum & mastic	Restroom (South side)		
2			Hallway	330 SF	} NOB
3			Main Area		
PL-1		Plaster	Water Heater Closet - Garage		
2				<del>80 SF</del>	
3				80 SF	
TC-1		Texture Ceiling; Joint Compound	Central RM - Break room		
2				620 SF	
3			Restroom		
DR-1		Drywall	S.A. TC-1		
2			S.A. TC-2	620 SF	
3			S.A. TC-3		
SC-1		White sink coating	sink Central		
2			"	1 double sink	} NOB
3			"		
SC-4		Black sink coating	South Side		
5					
4					







**Appendix V – Copy of SCDHEC Inspectors' Licenses**




South Carolina Department  
of  
Health and Environmental Control

Asbestos License

Travis L. Knight

**SCDHEC ISSUED**  
Asbestos ID Card

**Travis Knight**

	<b>CONSULTPD</b>	<b>PD-00166</b>	<b>11/09/18</b>
	<b>SUPERAHERA</b>	<b>SA-01266</b>	<b>01/08/19</b>
	<b>CONSULTBI</b>	<b>BI-00885</b>	<b>01/09/19</b>
	<b>AIRSAMPLER</b>	<b>AS-00237</b>	<b>01/08/19</b>



South Carolina Department  
of  
Health and Environmental Control

Asbestos License


Bobby J. McAllister

---

**SCDHEC ISSUED**  
Asbestos ID Card

---

**Bobby Mcallister**

	<b>AIRSAMPLER AS-00450</b>	<b>02/08/18</b>
	<b>CONSULTBI BI-01429</b>	<b>05/02/18</b>
	<b>SUPERAHERA SA-02404</b>	<b>02/08/18</b>

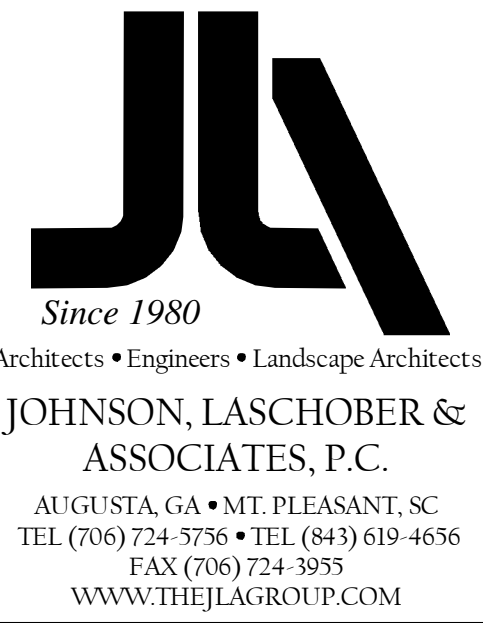
Expiration Date



# NEWBERRY COUNTY NEWBERRY, SOUTH CAROLINA

# TOWN HALL POLICE - CITY OF WHITMIRE

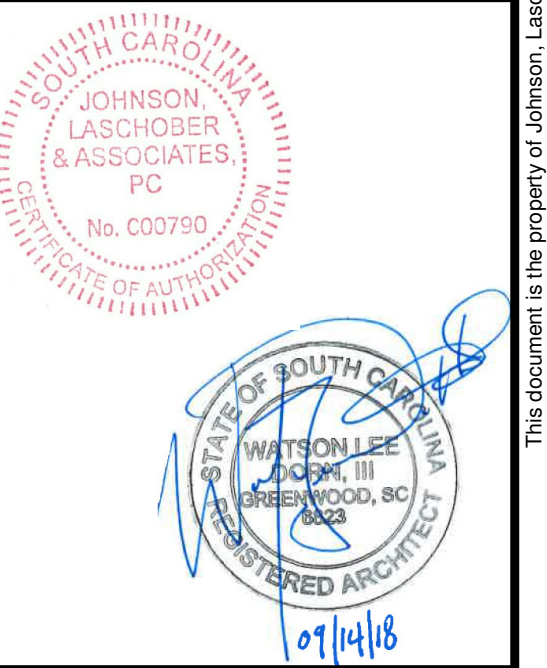
## 210 MAIN STREET, WHITMIRE, SC 29178



CLIENT:  
NEWBERRY COUNTY  
NEWBERRY, SOUTH CAROLINA

PROJECT NAME:  
**TOWN HALL POLICE -  
CITY OF WHITMIRE**

PROJECT LOCATION:  
210 MAIN STREET, WHITMIRE, SC 29178



### GENERAL NOTES:

THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS SHALL BE REQUIRED TO VISIT THE PREMISES TO INSPECT EXISTING CONDITIONS, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE DRAWINGS.

ALL WORK PERFORMED SHALL BE IN STRICT COMPLIANCE WITH COUNTY REGULATIONS AND CODES, O.S.H.A. STANDARDS, THE CODE STANDARDS LISTED, EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS, AND CONFORM TO SPECIFIC REGULATIONS AS MANDATED BY THE OWNER AND THE ARCHITECT.

IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THE PROCUREMENT OF ALL REQUIRED AND NECESSARY PERMITS. ALL CONTRACTORS SHALL OBTAIN NECESSARY AND APPLICABLE CITY/COUNTY PERMITS, INSPECTIONS AND APPROVAL PRIOR TO THE COMMENCEMENT OF ANY WORK AND CERTIFICATE OF OCCUPANCY UPON COMPLETION OF PROJECT. CONTRACTOR SHALL FURNISH COPIES OF PERMITS, INSPECTIONS AND CERTIFICATES TO OWNER UPON REQUEST.

CONTRACTOR SHALL BE REQUIRED TO COORDINATE WORK SCHEDULE TO MINIMIZE DISRUPTION OF NORMAL ACTIVITIES AND TO AVOID INTERFERENCE WITH ADJACENT OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS TO PROTECT SURROUNDINGS, MATERIALS AND EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION AREAS AND OCCUPIED OR PUBLIC AREAS TO BE MAINTAINED BY CONTRACTOR. DAMAGE TO EXISTING-TO-REMAIN CONSTRUCTION, MATERIALS OR EQUIPMENT TO BE RESTORED TO ORIGINAL CONDITION.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TRASH AND DEBRIS FROM JOB SITE ON A DAILY BASIS. FINAL CLEAN-UP WITHIN SCOPE OF WORK.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL RELATED TRADES AND VENDORS NECESSARY TO THE COMPLETION OF THE JOB ON A TIMELY BASIS.

**DO NOT SCALE DRAWINGS.** USE WRITTEN DIMENSIONS ONLY. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION.

ALL WORK SHALL BE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION OF NATIONAL ELECTRIC CODE, INTERNATIONAL PLUMBING AND MECHANICAL CODE, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURERS RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.

THE DESIGN PROFESSIONAL DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT IN ANY RESPECT OTHER THAN THAT OUR PROFESSIONAL WORK AND JUDGEMENT RENDERED MEET THE STANDARDS OF CARE OF OUR PROFESSION.

THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN HEREON ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND ACTUAL LOCATION OF SUCH, WHETHER SHOWN HEREON OR NOT, PRIOR TO ANY EXCAVATION ANY DAMAGES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

THE FLOOR ON BOTH SIDES OF A DOOR SHALL BE LEVEL AND SHALL HAVE THE SAME ELEVATION ON BOTH SIDES OF THE DOOR, FOR A DISTANCE ON EACH SIDE EQUAL TO THE WIDTH OF THE WIDEST SINGLE DOOR.

FIRE EXTINGUISHERS SHALL BE LOCATED PER THE REQUIREMENTS OF NFPA 10. THE SIZE SHALL BE A MINIMUM OF 2 A 10 BC 1 AND SHALL BE INSTALLED AT A MAXIMUM OF 48" A.F.F. TO THE TOP OF THE HANDLE.

PROVIDE CONT. SOLID BLOCKING, AS REQUIRED, IN WALLS TO RECEIVE ACCESSORY ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

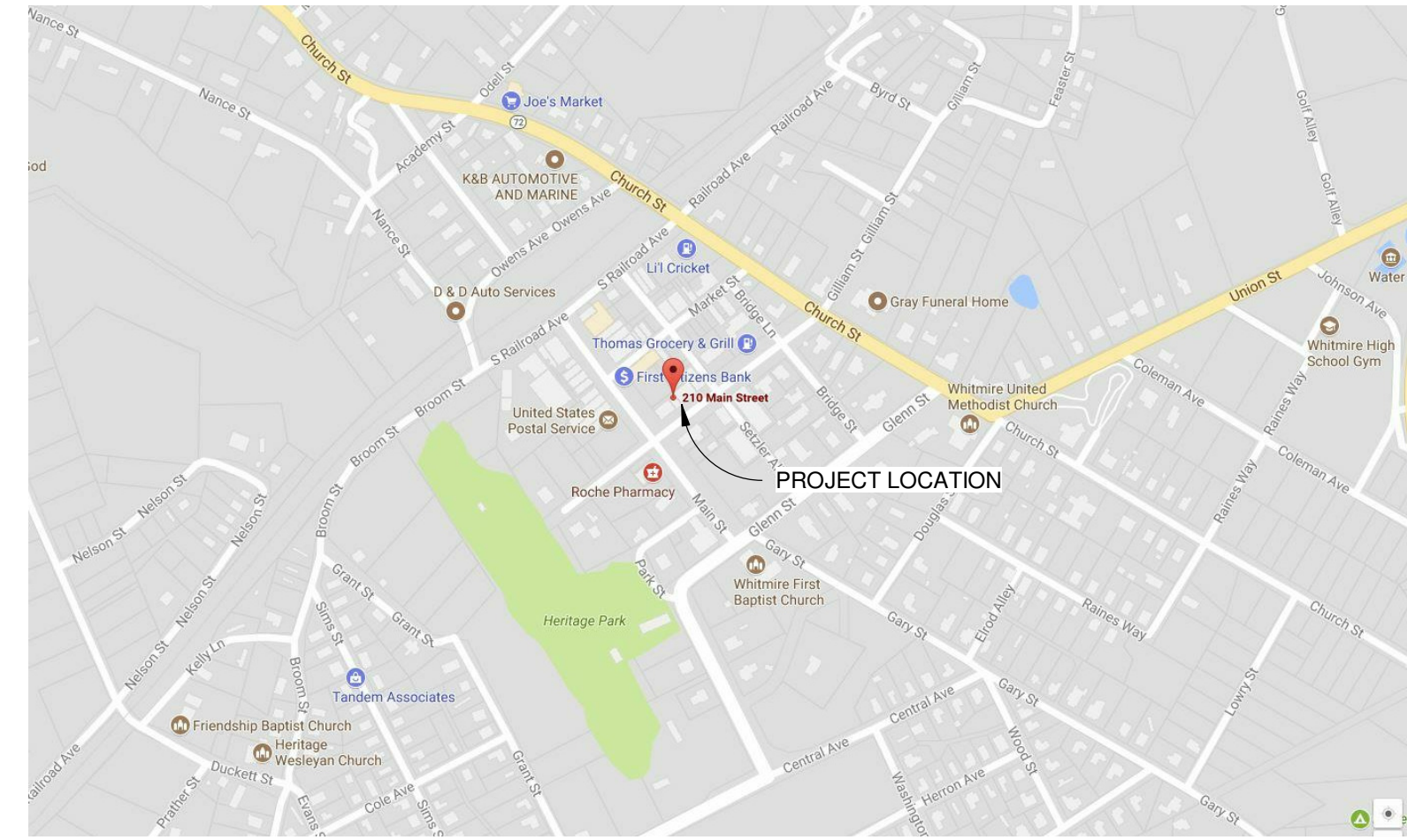
- HANDRAILS
- TOILET ROOM ACCESSORIES
- GRAB BARS
- FIRE EXTINGUISHER CABINETS & BRACKETS
- CABINETS AND SHELVES

CLEAN WALLS, DOORS, DOOR FRAMES, HANDRAILS, GUARDRAILS, ETC. PER MANUFACTURERS RECOMMENDATIONS PRIOR TO SEALING AND PAINTING.

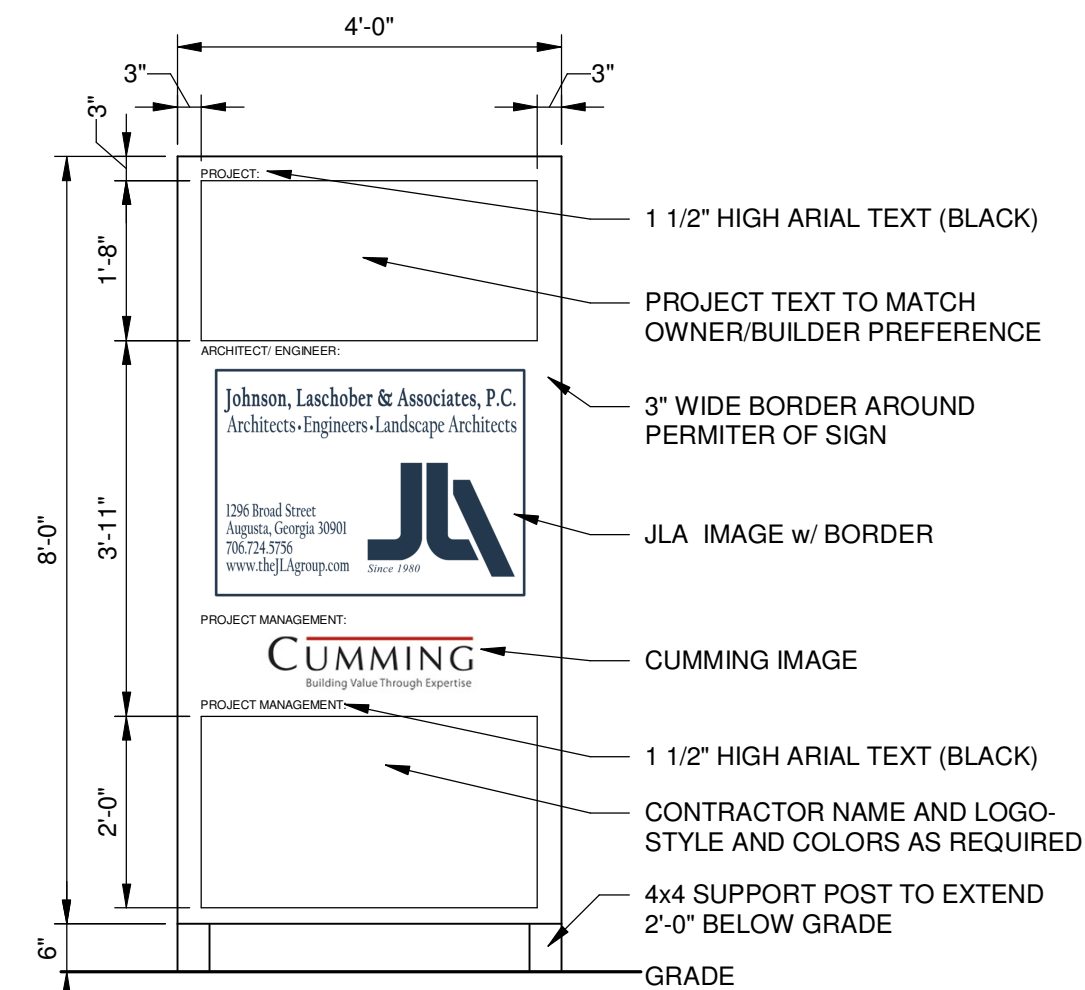
TEMPORARY SIGNS: PROVIDE TEMPORARY SIGNS AS REQUIRED TO INFORM PUBLIC AND INDIVIDUALS SEEKING ENTRANCE TO PROJECT.

PROVIDE TEMPORARY, DIRECTIONAL SIGNS FOR CONSTRUCTION PERSONNEL AND VISITORS. MAINTAIN AND TOUCHUP SIGNS SO THEY ARE LEGIBLE AT ALL TIMES.

### PROJECT LOCATION MAP



### JOB SITE SIGN



### INDEX OF DRAWINGS

DRAWING INDEX	
G-001	COVER SHEET
G-002	LIFE SAFETY PLAN & CODE REVIEW
G-003	CODE ANALYSIS, GENERAL NOTES AND PROPOSED SITE PLAN
ARCHITECTURAL	
A-001	EXISTING FLOOR PLANS
A-002	DEMOLITION PLAN
A-100	PROPOSED FLOOR PLANS
A-101	DIMENSIONED FLOOR PLANS
A-103	ENLARGED RESTROOM FLOOR PLANS
A-104	PROPOSED FURNITURE PLAN - FIRST FLOOR
A-201	REFLECTED CEILING PLAN
A-301	ROOF PLAN
A-401	EXTERIOR ELEVATIONS
A-601	WALL TYPES
A-701	DOOR, WINDOW SCHEDULE, DETAILS, ROOM FINISH SCHEDULE
A-801	INTERIOR ELEVATIONS/ CABINET DETAILS
AALT01	GARAGE ROOF PLAN- ALTERNATE #1
AALT02	GARAGE BUILDING PLANS- ALTERNATE #2
PLUMBING	
P-001	PLUMBING GENERAL NOTES AND LEGEND
P-101	PLUMBING PLANS
P-201	PLUMBING SCHEDULES AND DETAILS
PALT02	ALTERNATE #2 REAR BUILDING PLUMBING PLANS
MECHANICAL	
M-001	HVAC GENERAL NOTES AND LEGEND
M-101	HVAC PLANS
M-101	HVAC SCHEDULES AND DETAILS
MAL02	ALTERNATE #2 REAR BUILDING HVAC PLAN
ELECTRICAL	
E-001	ELECTRICAL GENERAL NOTES AND LEGEND
E-101	LIGHTING PLANS
E-201	POWER AND SIGNAL PLANS
E-401	ELECTRICAL SCHEDULES AND DETAILS
ZE	ALTERNATE #2 REAR BUILDING ELECTRICAL PLAN

### PROJECT TEAM

#### OWNER

**BILLY HOLINGSWORTH, MAYOR**  
210 MAIN STREET  
WHITMIRE, SC 29178  
PHONE: 803-694-2356  
EMAIL: mayorhollingsworth@bellsouth.net

#### OWNER'S REP

**CUMMING CORPORATION  
BARRY EVANS, VICE PRESIDENT**  
720 LADY STREET  
COLUMBIA, SOUTH CAROLINA 29201  
PHONE: 803-256-1989  
EMAIL: bevans@ccorpusa.com

#### ARCHITECT

**JOHNSON, LASCHOBER AND ASSOCIATES, P.C.  
WATSON LEE DORN III, AIA, REGISTERED ARCHITECT**  
1296 BROAD STREET  
AUGUSTA, GEORGIA 30901  
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EMAIL: ldorn@thejlagroup.com

#### CIVIL ENGINEER

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1296 BROAD STREET  
AUGUSTA, GEORGIA 30901  
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EMAIL: twimberly@thejlagroup.com

#### STRUCTURAL ENGINEER

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MARK LORAH, P.E.**  
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EMAIL: mlarah@thejlagroup.com

#### MECHANICAL ENGINEER

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1296 BROAD STREET  
AUGUSTA, GEORGIA 30901  
PHONE: 706-724-5756  
EMAIL: cwilliamson@thejlagroup.com

#### FIRE PROTECTION ENGINEER

**JOHNSON, LASCHOBER AND ASSOCIATES, P.C.  
CURTIS WILLIAMSON, P.E.**  
1296 BROAD STREET  
AUGUSTA, GEORGIA 30901  
PHONE: 706-724-5756  
EMAIL: cwilliamson@thejlagroup.com

#### ELECTRICAL ENGINEER

**JOHNSON, LASCHOBER AND ASSOCIATES, P.C.  
FLOYD KEELS, P.E.**  
1296 BROAD STREET  
AUGUSTA, GEORGIA 30901  
PHONE: 706-724-5756  
EMAIL: fkeels@thejlagroup.com

### GRAPHIC SYMBOLS

⊕ CENTERLINE	REVISION INDICATION
⊕ COLUMN GRID REFERENCE	REVISION NUMBER
⊕ DRAWING LOCATION ON SHEET GRIDING NAME	AREA REVISED
⊕ DRAWING SCALE	TYPICAL DIMENSION INDICATOR
⊕ DRAWING LOCATION ON SHEET GRID DRAWING NAME	DOOR NUMBER
⊕ DRAWING SCALE	FLOOR ELEVATION
⊕ DRAWING SCALE	GLASS TYPE
⊕ DRAWING SCALE	WALL TYPE
⊕ DRAWING SCALE	ROOM NAME AND AREA
⊕ DRAWING SCALE	SECTION KEYS
⊕ DRAWING SCALE	DIRECTION OF SECTION
⊕ DRAWING SCALE	BUILDING SECTION LOCATION ON SHEET GRID
⊕ DRAWING SCALE	SHEET IDENTIFIER FOR LOCATION OF SECTION
⊕ DRAWING SCALE	DIRECTION OF SECTION
⊕ DRAWING SCALE	WALL SECTION LOCATION ON SHEET GRID
⊕ DRAWING SCALE	TERMINATION OF SECTION
⊕ DRAWING SCALE	SHEET IDENTIFIER FOR LOCATION OF SECTION
⊕ DRAWING SCALE	ELEVATION KEY
⊕ DRAWING SCALE	ELEVATION LOCATION ON SHEET GRID
⊕ DRAWING SCALE	SHEET IDENTIFIER FOR LOCATION OF ELEVATION
⊕ DRAWING SCALE	DIRECTION OF ELEVATION

### ALTERNATES

- REMOVE AND REPLACE ROOF ON GARAGE.
- COMPLETE PROPOSED WORK IN GARAGE AREA PER SHEET AALT01 & AALT02.
- COMPLETE FINISHES ON THE SECOND LEVEL OF THE MAIN TOWN HALL BUILDING.

PROJECT NO.	3606.1704
DRAWN BY:	CTH
CHECKED BY:	WLD
DATE:	12/11/17
SHEET TITLE:	<b>COVER SHEET</b>
SCALE:	AS NOTED
DRAWING NO.	<b>G-001</b>
REV.	<b>1</b>

REV.	DATE	BY	DESCRIPTION
1	09/25/18	WLD	ADDENDUM #2
0	09/14/18	WLD	ISSUED FOR CONSTRUCTION





Since 1980  
 Architects • Engineers • Landscape Architects  
**JOHNSON, LASCHOBER & ASSOCIATES, P.C.**  
 AUGUSTA, GA • MT. PLEASANT, SC  
 TEL (706) 724-3756 • TEL (843) 619-4656  
 FAX (706) 724-3955  
 WWW.THEJLAGROUP.COM

CLIENT: **NEWBERRY COUNTY**  
 NEWBERRY, SOUTH CAROLINA  
 PROJECT NAME: **TOWN HALL POLICE - CITY OF WHITMIRE**  
 PROJECT LOCATION: **210 MAIN STREET, WHITMIRE, SC 29178**



REV	DATE	BY	DESCRIPTION
1	09/25/18	WLD	ADDENDUM #2
0	09/14/18	WLD	ISSUED FOR CONSTRUCTION

PROJECT NO. 3606.1704  
 DRAWN BY: CBW  
 CHECKED BY: WLD  
 DATE: 12/11/17

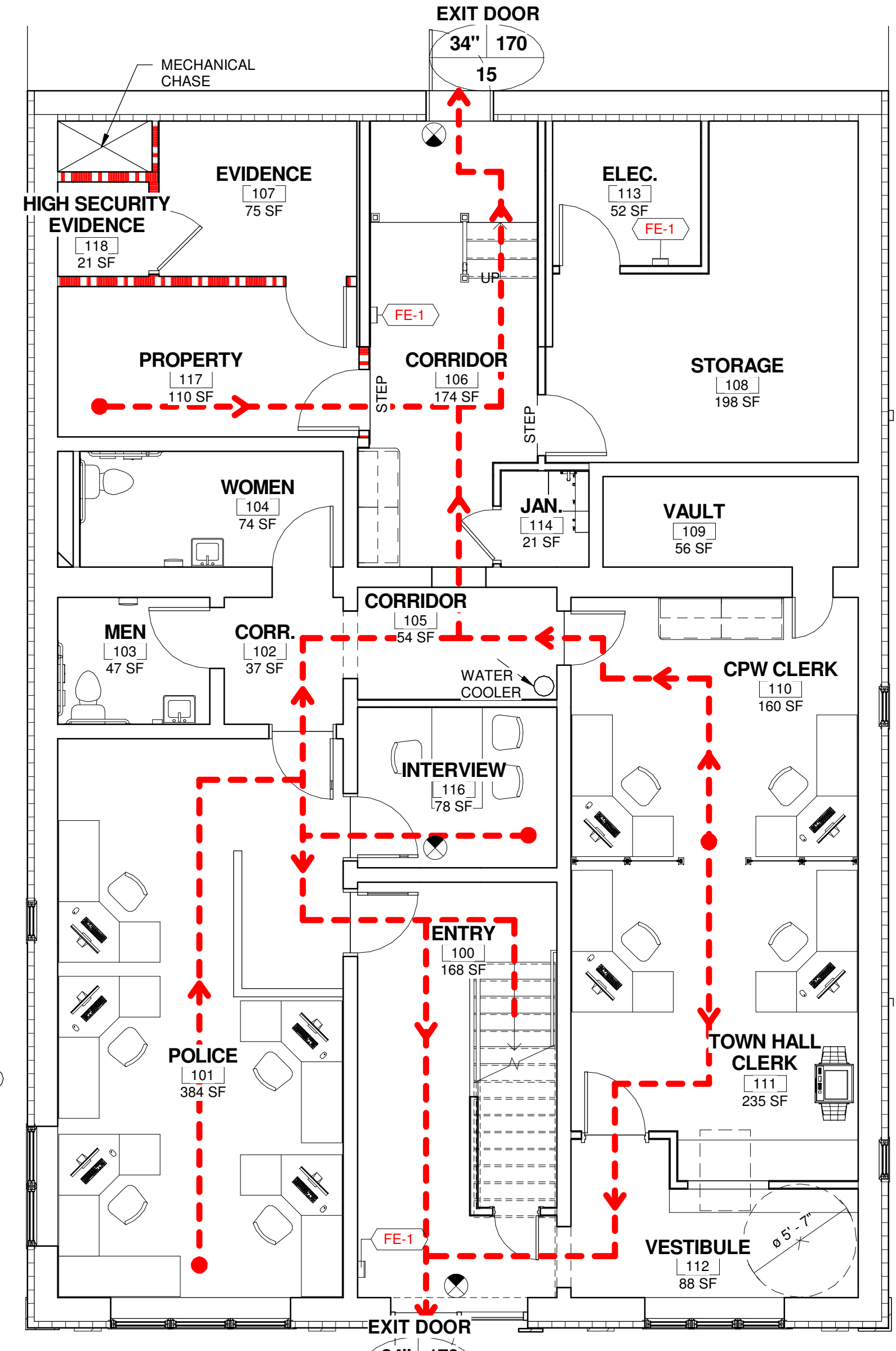
**LIFE SAFETY PLAN & CODE REVIEW**

SCALE: AS NOTED

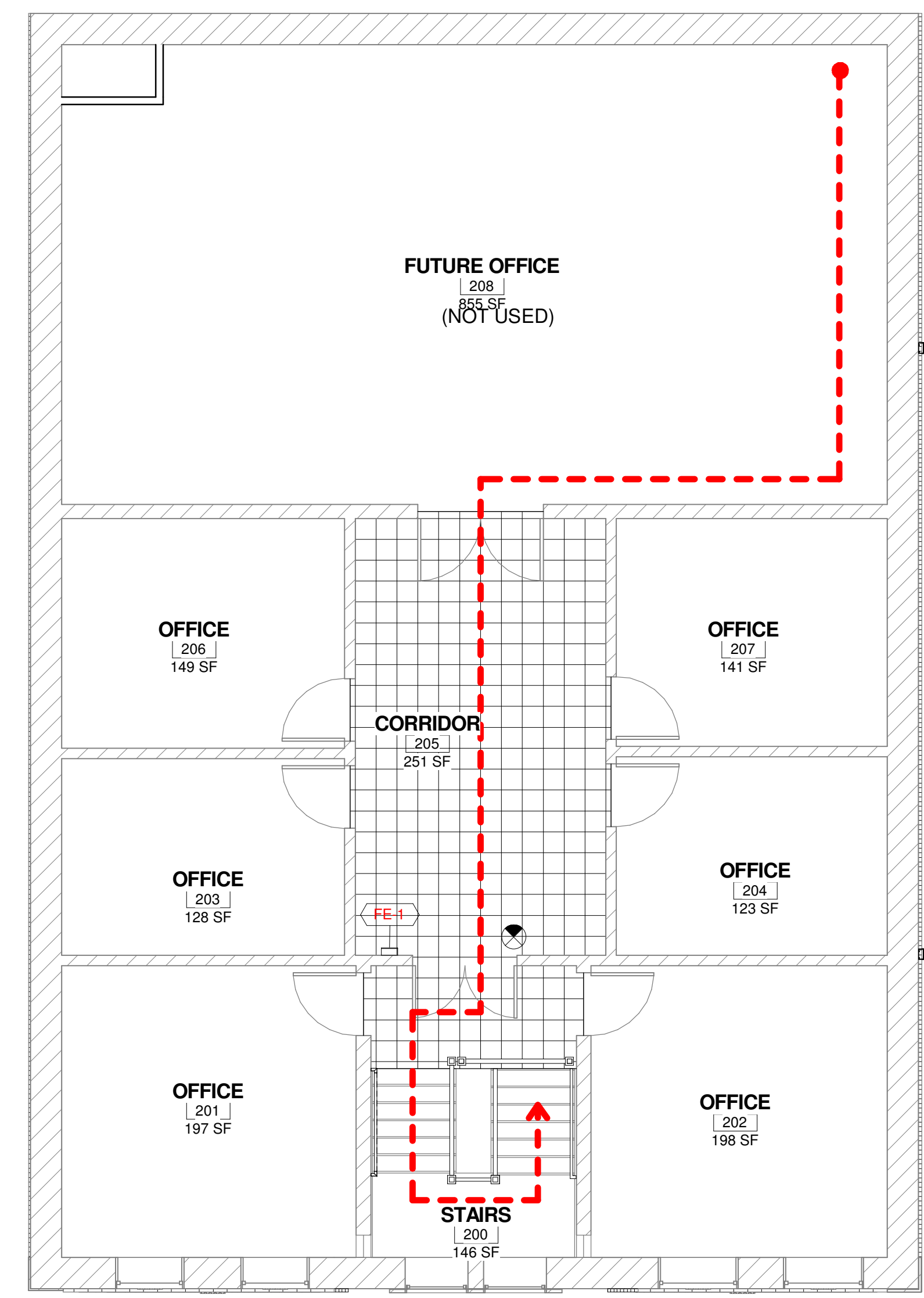
DRAWING NO. **G-002** REV. **1**

**LIFE SAFETY PLAN LEGEND**

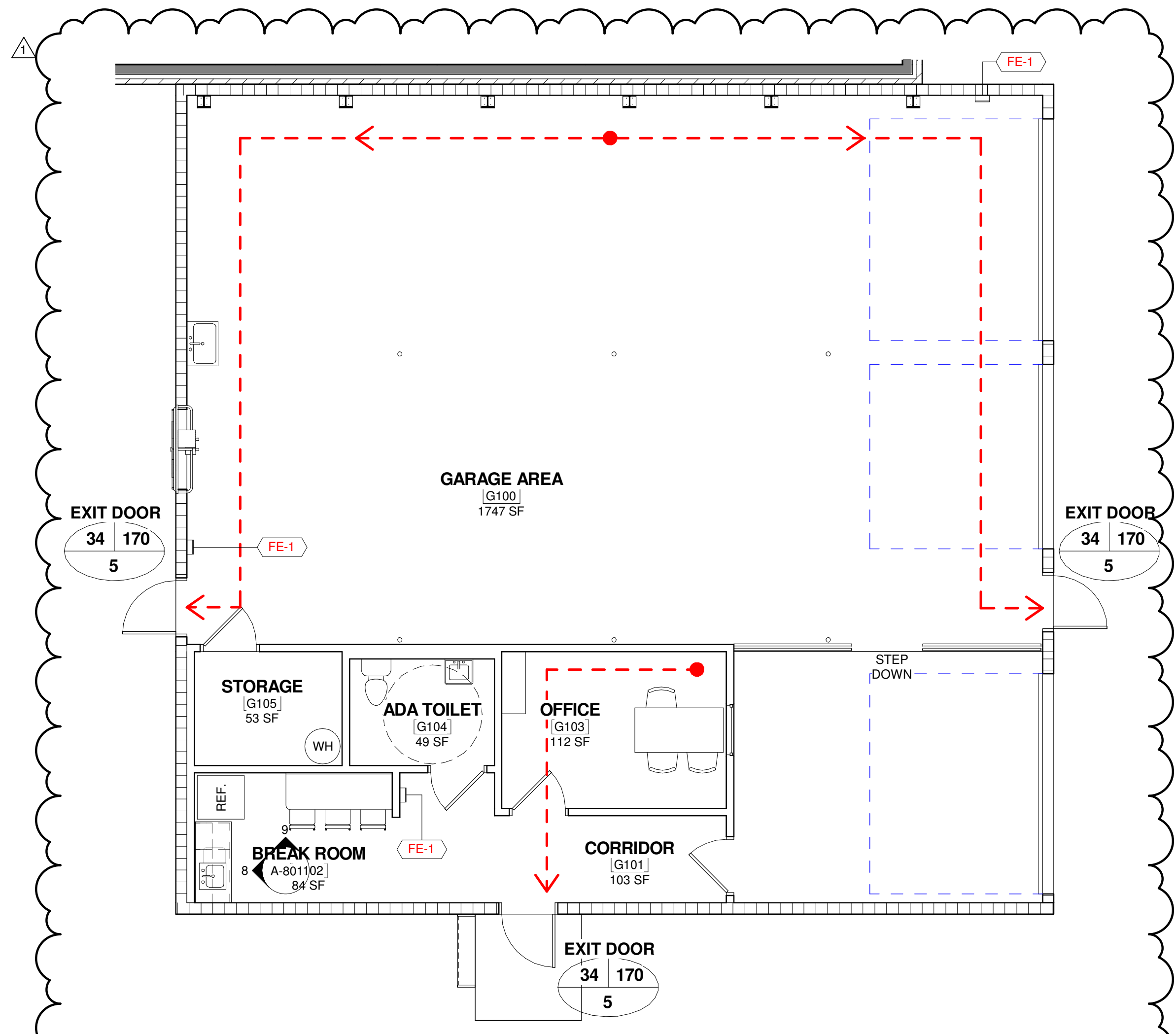
	EGRESS TRAVEL PATH: DISTANCE NOTED IS ACTUAL.
	EXIT DOOR 68" 340 299 EXIT CAPACITY (DOOR EGRESS WIDTH / 0.2) ANTICIPATED LOAD EGRESS WIDTH
	1 HR RATED WALL UL U465 - METAL STUD
	FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER
	EXIT SIGN



**1 FIRST FLOOR**  
 SCALE: 3/16" = 1'-0"



**2 SECOND FLOOR**  
 SCALE: 3/16" = 1'-0"



**3 PROPOSED GARAGE- ALTERNATE #2**  
 SCALE: 3/16" = 1'-0"

C  
B  
A

9/26/2018 2:38:48 PM  
 \\jag01\Progress\36061704\Arch\36061704\_Arch\_Central.rvt

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# CODE ANALYSIS

MINIMUM STANDARD CODES	
IBC - INTERNATIONAL BUILDING CODE	2015 EDITION, W/ SOUTH CAROLINA AMENDMENTS
IFGC - INTERNATIONAL FUEL GAS CODE	2015 EDITION, W/ SOUTH CAROLINA AMENDMENTS
IMC - INTERNATIONAL MECHANICAL CODE	2015 EDITION, W/ SOUTH CAROLINA AMENDMENTS
IPC - INTERNATIONAL PLUMBING CODE	2015 EDITION, W/ SOUTH CAROLINA AMENDMENTS
NATIONAL ELECTRICAL CODE	2014 EDITION
INTERNATIONAL FIRE CODE	2015 EDITION, W/ SOUTH CAROLINA AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE	2009 EDITION, W/ SOUTH CAROLINA AMENDMENTS
ADA STANDARDS FOR ACCESSIBLE DESIGN	LATEST EDITION, W/ SOUTH CAROLINA AMENDMENTS
NFPA - 101 LIFE SAFETY CODES	2015 EDITION

## REVIEW PER DESIGN

OCCUPANCY CLASSIFICATION (IBC CHAPTER 3, NFPA 101 CHAPTER 6)	IBC <u>B</u>	NFPA <u>BUSINESS</u>
--------------------------------------------------------------	--------------	----------------------

TYPE OF CONSTRUCTION (IBC CHAPTER 6, NFPA 101 CHAPTER 6)	IBC <u>III-B</u>	NFPA <u>II</u>
SPRINKLER REQUIRED (IBC CHAPTER 9, NFPA CHAPTER 7)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	SPRINKLER PROVIDED YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

BUILDING FLOOR AREA ALLOWED PER FLOOR (IBC TABLE 506.2)			
	ALLOWED	BY DESIGN	EXISTING
1ST FLOOR	19,000 SF	2,594 SF	2,594 SF (existing)
2ND FLOOR	19,000 SF	2,594 SF	2,594 SF (existing)
TOTAL	36,000 SF	5,188 SF	5,188 SF (existing)

BUILDING HEIGHT (IBC TABLE 504.3)			
HEIGHT ALLOWED	75'-0" (3 STORIES)		
HEIGHT BY DESIGN	28'-6" TO TOP OF PARAPET	2 STORY	

REQUIRED PLUMBING FIXTURES- TABLE 2902.1						
ASSEMBLY:	REQUIRED:	MALE	FEMALE	UNISEX	LAVATORIES	SERVICE SINKS
PROVIDED:	1	1	1	0	2	1
	1	1	0	2	1	1

DRINKING FOUNTAINS:

REQUIRED:	1
PROVIDED:	1 (WATER DISPENSER LOCATED IN CORRIDOR 105, OWNER PROVIDED & INSTALLED)

OCCUPANT LOAD (IBC SECT. 1004 & TABLE 1004.1.2, NFPA T-7.3.1.2) =		
1ST FLOOR:	BUSINESS - 100SF PER PERSON (874SF)	= 9 OCCUPANTS
	ACCESSORY STORAGE - 300SF PER PERSON (580SF)	= 2 OCCUPANTS
	<b>TOTAL = 11 OCCUPANTS</b>	
2ND FLOOR:	BUSINESS - 100SF PER PERSON (1824SF)	= 19 OCCUPANTS
	<b>TOTAL = 30 OCCUPANTS</b>	

REQUIRED MEANS OF EGRESS	
1ST FLOOR:	DOOR REQUIRED DOOR EGRESS CAPACITY PER IBC: 30 PEOPLE * .2" PER PERSON = 6" EGRESS CAPACITY PROVIDED: 2 DOORS * 34" = 68"
2ND FLOOR:	STAIR REQUIRED STAIR EGRESS CAPACITY PER IBC: 19 PEOPLE * .3" PER PERSON = 5.7" MINIMUM STAIR WIDTH 44" (1011.2) (1 STAIR @ 44" = 44" TOTAL)

PANIC HARDWARE REQUIRED ON EXIT DOORS		
TRAVEL DISTANCES		
COMMON PATH (IBC 1006.2.1, NFPA T-A7.6)	100 FT	
DEAD END (IBC 1020.4, NFPA T-A7.6)	20 FT	
TRAVEL DISTANCE (IBC T-1017.2, NFPA A7.6.1)	200 FT	

FIRE RESISTANCE RATING REQUIRED (IBC TABLE 601, NFPA TABLE A-8.2.1.2)			
STRUCTURAL FRAME ***including columns, girders and trusses	IBC 0 HR	NFPA 0 HR	
BEARING WALLS			
EXTERIORS	IBC 0 HR	NFPA 0 HR	
INTERIORS	IBC 0 HR	NFPA 0 HR	
NONBEARING WALLS & PARTITIONS			
EXTERIORS	IBC 0 HR	NFPA 0 HR	
INTERIORS	IBC 0 HR	NFPA 0 HR	
FLOOR CONSTRUCTION ***including supporting beams & joists	IBC 0 HR	NFPA 0 HR	
ROOF CONSTRUCTION ***including supporting beams & joists	IBC 0 HR	NFPA 0 HR	
REQUIRED SEPARATION OF OCCUPANCIES (IBC T-508.4, NFPA T-6.1.14.4.1)			
BUSINESS / ASSEMBLY	IBC 0 HR	NFPA 0 HR	

## GENERAL NOTES:

- GENERAL**
- THESE GENERAL NOTES PRESENT AND/OR SUMMARIZE KEY PROJECT INFORMATION FOR THE PLANNING READER'S CONVENIENCE. SEE PLANS AND SPECIFICATIONS FOR FURTHER REQUIREMENTS.
  - ALL REFERENCES TO STANDARDS HEREIN ARE TO MOST RECENT ISSUE IN EFFECT AS OF THE DATE OF THESE DOCUMENTS, UNLESS NOTED OTHERWISE IN PROJECT SPECIFICATIONS.
  - DESIGN BASIS: 2015 INTERNATIONAL BUILDING CODE (IBC)
    - GENERAL
      - RISK CATEGORY = II
    - WIND:
      - ULTIMATE DESIGN WIND SPEED = 115 MPH
      - WIND EXPOSURE CATEGORY = B
      - INTERNAL PRESSURE COEFFICIENT = 0.18 ± (ENCLOSED BUILDING)
    - SEISMIC:
      - SEISMIC IMPORTANCE FACTOR  $I_e = 1.0$
      - MAPPED SPECTRAL RESPONSE ACCEL. (SHORT PERIODS)  $S_s = 0.332$
      - MAPPED SPECTRAL RESPONSE ACCEL. (1 SECOND PERIOD)  $S_1 = 0.12$
      - SITE CLASS = D
      - SPECTRAL RESPONSE COEFFICIENT (SHORT PERIODS)  $SDS = 0.34$
      - SPECTRAL RESPONSE COEFFICIENT (1 SECOND PERIOD)  $SD1 = 0.185$
      - SEISMIC DESIGN CATEGORY = C
      - ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
    - LIVE LOADS:
      - ROOF: 20 psf
    - SNOW LOAD
      - GROUND: 10 psf
  - ABBREVIATIONS:
 

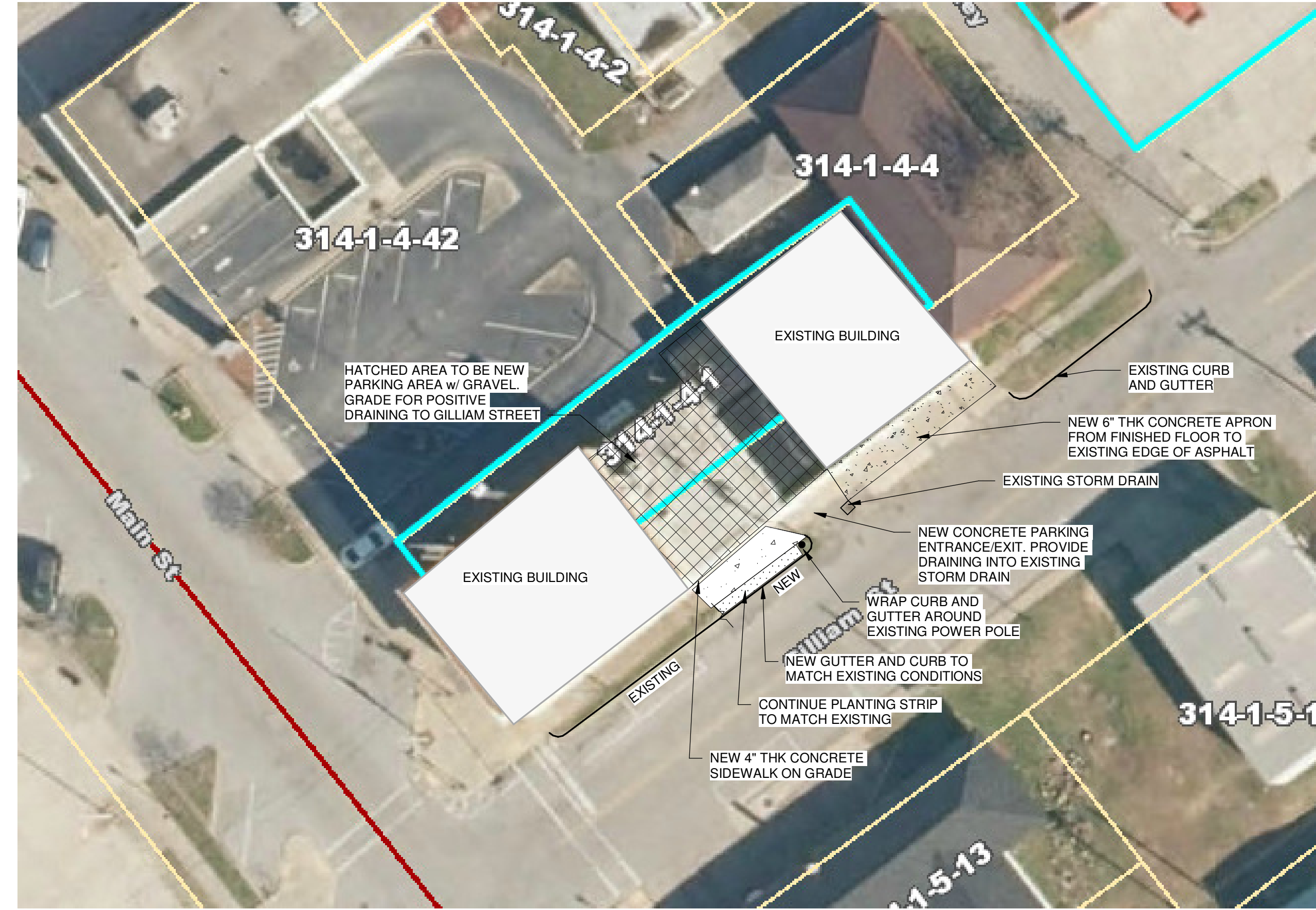
T	TOP (BAR)	FIN	FINISH	REINF	REINFORCING
B	BOTTOM (BAR)	FLR	FLOOR	TRS	TRUSS
INT	INTERIOR	CLR	CLEAR	STL	STEEL
EXT	EXTERIOR	T/"	TOP OF "	WD	WOOD
EL	ELEVATION	B/"	BOTTOM OF "	CONC	CONCRETE
O.C.	ON CENTER	W/"	WITH	MSNRY	MASONRY
O.W.	EACH WAY	GA	GAGE/GAUGE	L.G.	LIGHT GAGE
O.F.	EACH FACE	EQ	EQUAL	APPROX	APPROXIMATE
N.S.	NEAR SIDE	FTG	FOOTING	S.P.C'S	SPACE/SPACES/SPECS
F.S.	FAR SIDE	TYP	TYPICAL	U.N.O.	UNLESS NOTED OTHERWISE
  - UNLESS OTHERWISE NOTED, REQUIREMENTS GIVEN FOR ONE LOCATION ALSO APPLY AT OTHER LOCATIONS AT WHICH CONDITIONS ARE SIMILAR. THE REQUIREMENTS GIVEN SHALL BE ADAPTED TO CONDITIONS AT SIMILAR LOCATIONS.
  - COORDINATE WORK OF OTHER TRADES SHOWN ON DRAWINGS OR INDICATED IN SPECIFICATIONS WITH STRUCTURAL WORK.
  - SHOP DRAWINGS FOR ANY PART OF THE STRUCTURAL WORK SHALL SHOW THE INTERFACE WITH OTHER RELATED TRADES. THE CONTRACTOR SHALL VERIFY DIMENSIONS, LOCATIONS, MATERIALS, ETC. OF RELATED TRADES BY CERTIFIED MANUFACTURER'S DRAWINGS AND SO INDICATE BEFORE SUBMITTING SHOP DRAWINGS FOR ARCHITECT/ENGINEER'S APPROVAL.
  - THE DESIGN OF THE STRUCTURE SHOWN IS BASED ON INTERACTION OF VARIOUS CONNECTED PARTS AND THE DESIGN LOADS NOTED ABOVE. THE STRENGTH AND STABILITY OF CONSTRUCTION UNDERWAY MAY REQUIRE SUPPLEMENTAL TEMPORARY SUPPORTS, BRACING OR OTHER MEASURES. THE CONTRACTOR SHALL DETERMINE THE NEED OF SUCH TEMPORARY SUPPORT DURING CONSTRUCTION AND PROVIDE ALL SUCH MEASURES.

## CONCRETE

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-11, DIVISION 3 OF THE SPECIFICATIONS, AND THE FOLLOWING:
  - CONCRETE STRENGTHS AND MIXES SHALL BE AS FOLLOWS:
 

STRENGTH(Psi)	AIR(%)	CEMENT(# MIN)	W/C RATIO	SLUMP	AGGREGATE(MAX.)	LOCATION
2,000	**	TYPE 1 (376)	-	-	-	CONDUIT ENCASUREMENT AND BACKFILL BELOW FOOTINGS
3,000	**	TYPE 1 (517)	.52	4" +/- 1"	3/4"	EQUIP. PADS, SPREAD FOOTINGS, WALL FOOTINGS, SHEAR WALLS, AND STAIR PAN FILL SLAB ON GRADE
4,000	**	TYPE 1 (611)	.48	4" +/- 1"	3/4"	
2,500***	**	TYPE 1 (423)	-	8"	-	COARSE GROUT FOR MASONRY BLOCK FILL

    - \*\* NATURALLY ENTRAPPED AIR ONLY UNLESS CONCRETE IS EXPOSED TO FREEZE/THAW. USE 4% TO 6% ENTRAINED AIR UNDER FREEZE/THAW CONDITION.
    - \*\*\* MAXIMUM AGGREGATE SIZE TO BE 3/8".
  - FLY ASH PER ASTM C618, TYPE C OR F WILL BE PERMITTED PROVIDED THE FOLLOWING LIMITS ARE MET:
    - THE QUANTITY OF CEMENT REPLACED SHALL BE NO MORE THAN 20%.
    - CEMENT SHALL BE REPLACED BY FLY ASH AT THE RATE OF 1.25 LBS. OF FLY ASH TO 1.0 LBS OF CEMENT.
  - ALL CONCRETE DELIVERED TO THE SITE SHALL HAVE A COMPUTER BATCH WEIGHT TICKET. THE BATCH TICKET SHALL SHOW WEIGHTS OF ALL MATERIALS, VOLUME OF CONCRETE AND TIME BATCHED. THE BATCH WEIGHT TICKET SHALL BE GIVEN TO A DESIGNATED OWNER'S REPRESENTATIVE ON SITE AT THE TIME OF DELIVERY FOR VERIFICATION OF MIX PROPORTIONS.
  - CONSOLIDATE ALL CONCRETE IN FORMS AND TRENCHES WITH VIBRATORS. POORLY CONSOLIDATED CONCRETE WILL BE REJECTED AND REPLACED AT CONTRACTOR'S EXPENSE.
- CONCRETE REINFORCING
  - ALL REINFORCING SHALL BE PER ASTM A-615, GRADE 60.
  - WELDING OF REINFORCING STEEL IS NOT PERMITTED.
  - REINFORCING SHALL NOT BE HEATED TO BEND.
- SUBMITTALS
  - CONCRETE MIX DESIGNS; SHOP DRAWINGS FOR CONCRETE REINFORCING, EMBEDDED ITEMS; ACCESSORIES; AND PRODUCT DATA, ETC. AS OUTLINED IN THE SPECIFICATIONS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT LEAST 15 DAYS PRIOR TO THE START OF WORK FOR APPROVAL.
  - ALL DATA SHALL BE SUBMITTED "CONTRACTOR APPROVED".
- NOTIFICATIONS: THE CONTRACTOR SHALL NOTIFY THE OWNER.
  - WHEN EXCAVATION TO REQUIRED SUBGRADE ELEVATIONS IS REACHED.
  - 24 HOURS PRIOR TO ANY SCHEDULED CONCRETE PLACEMENT FOR INSPECTION OF FORMWORK, REINFORCING AND EMBEDDED ITEMS.



## PROPOSED SITE PLAN

3 G-003 NO SCALE

NOTE: COORDINATE NEW GRADES WITH ARCHITECT PRIOR TO POURING NEW CONCRETE SIDEWALK & APRON



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PROJECT NAME: TOWN HALL POLICE - CITY OF WHITMIRE

PROJECT LOCATION: 210 MAIN STREET, WHITMIRE, SC 29178

CLIENT:

PROJECT NAME:

PROJECT LOCATION:

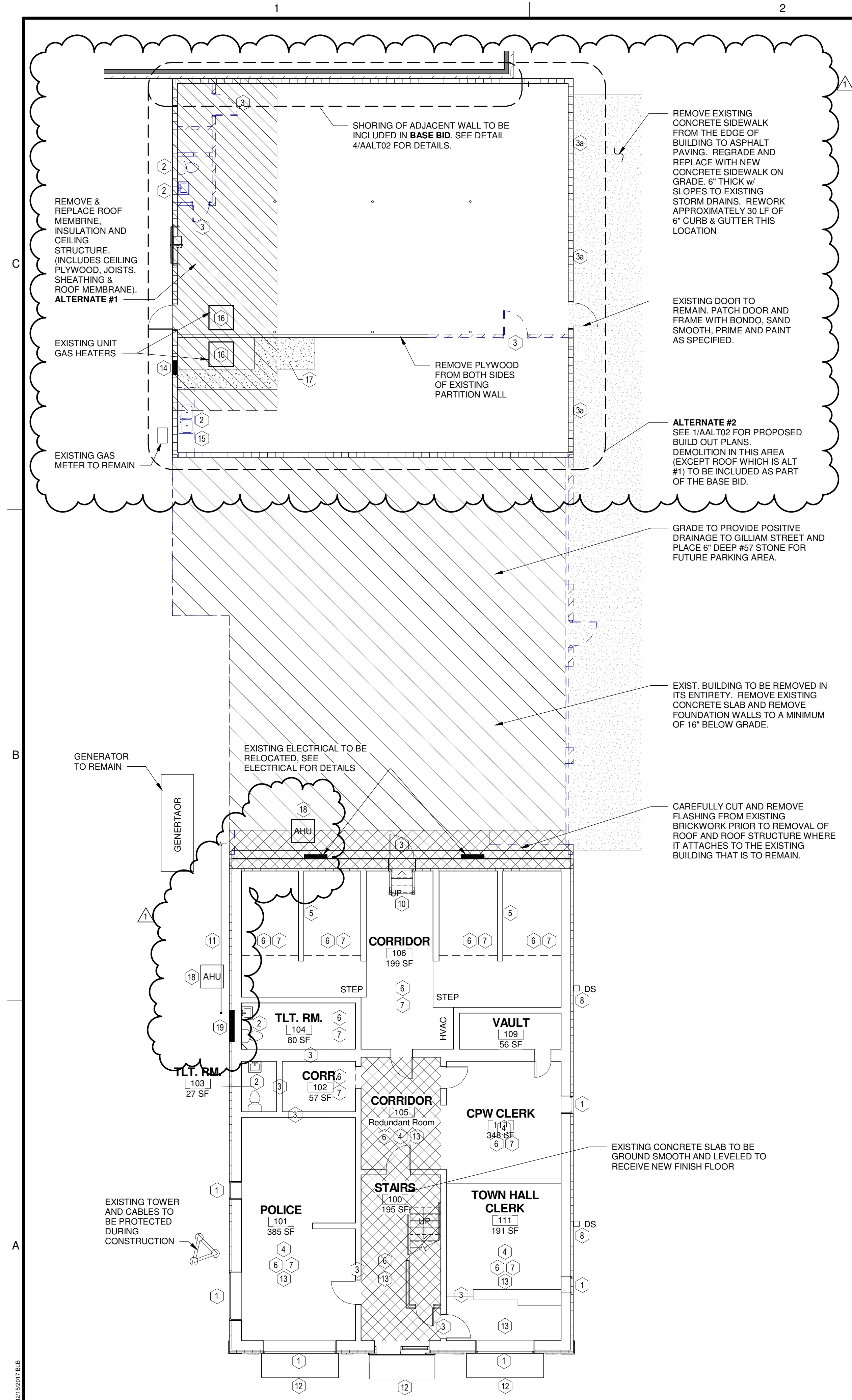
REV	DATE	BY	DESCRIPTION
0	09/25/18	WLD	ADDENDUM #2

PROJECT NO.	3606.1704
DRAWN BY:	CBW
CHECKED BY:	Checker
DATE:	12/11/17
SHEET TITLE:	
<b>CODE ANALYSIS, GENERAL NOTES AND PROPOSED SITE PLAN</b>	

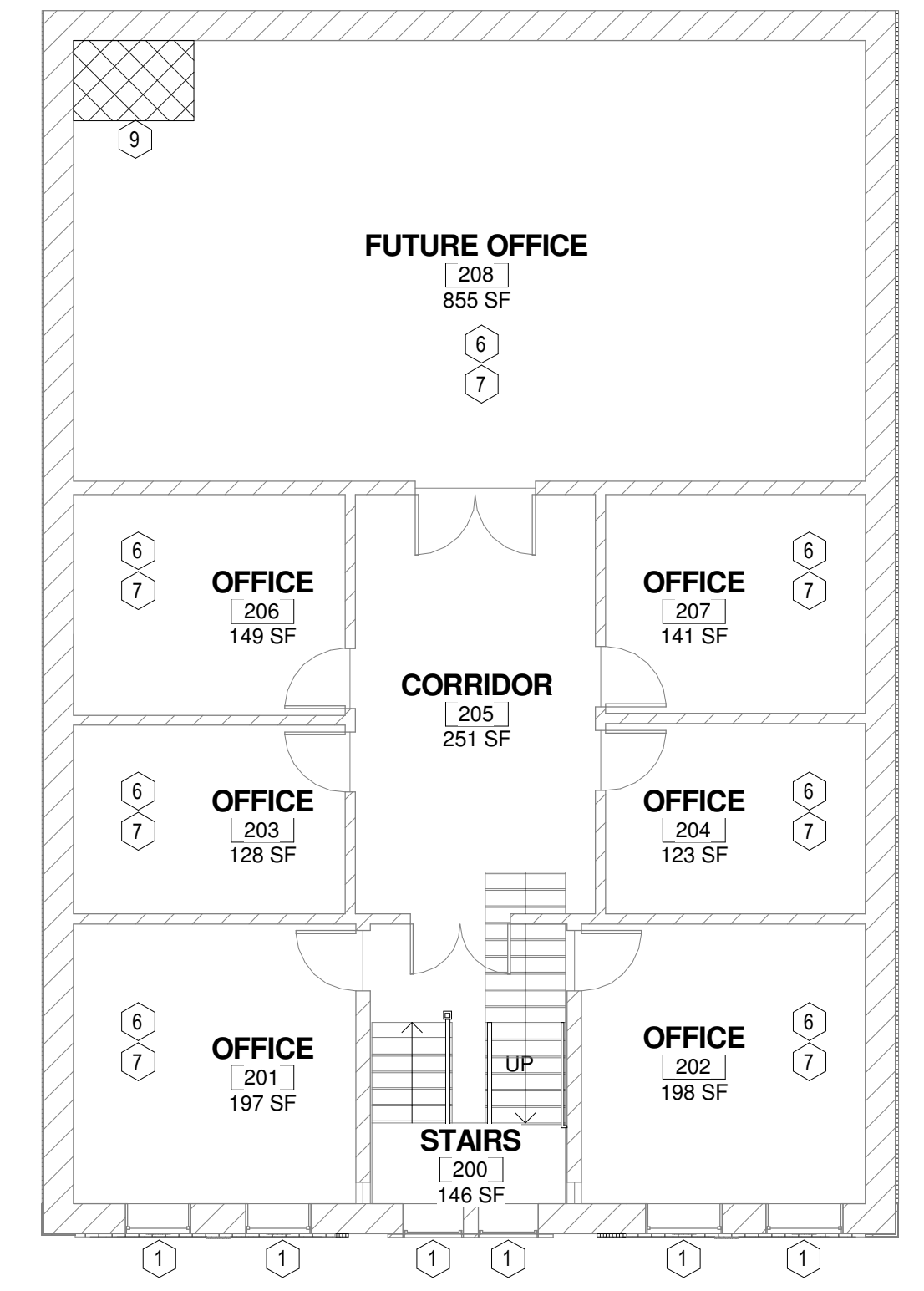
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DRAWING NO.	REV
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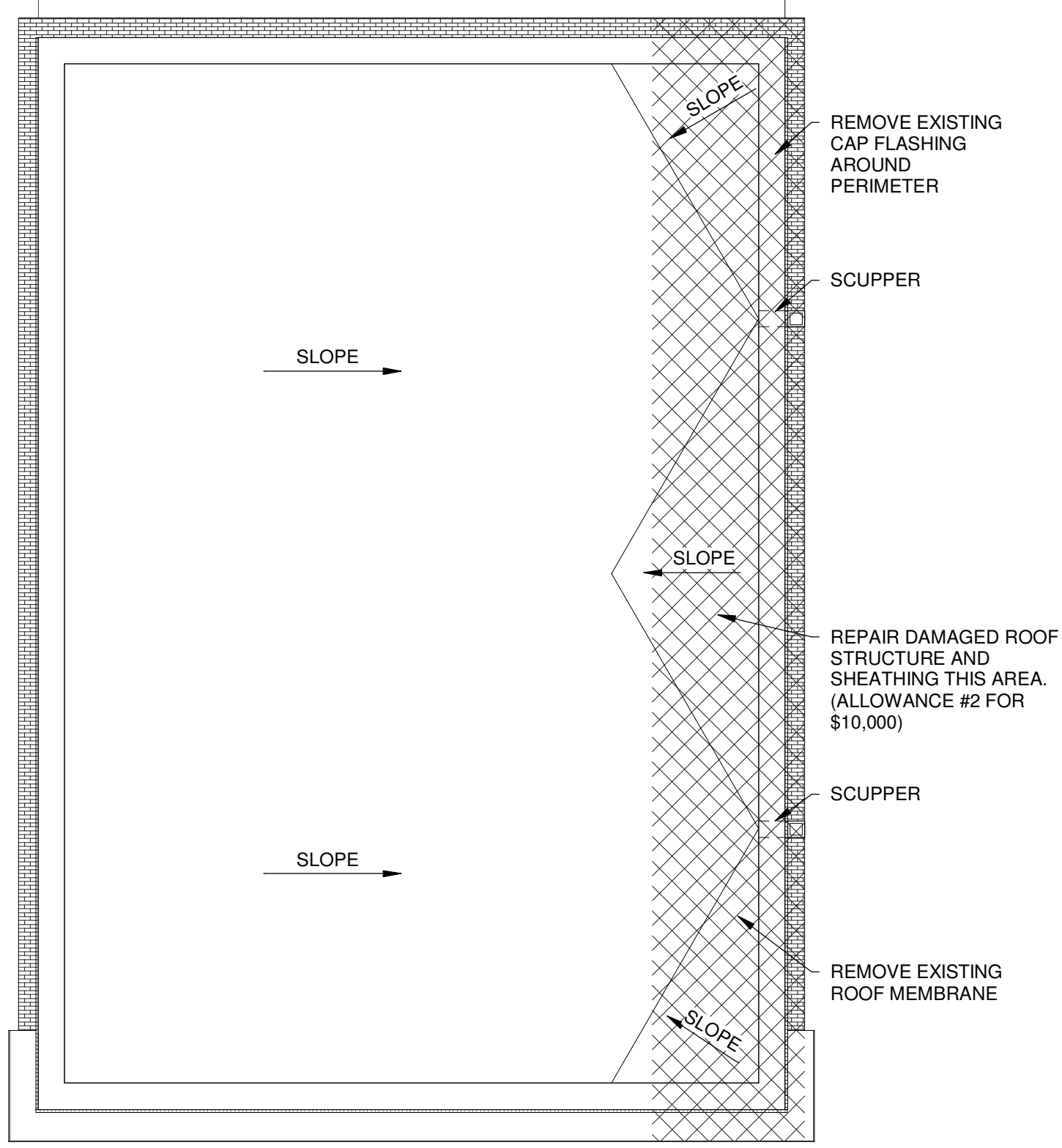




**1 DEMOLITION PLAN- LEVEL 1**  
SCALE: 1/8" = 1'-0"



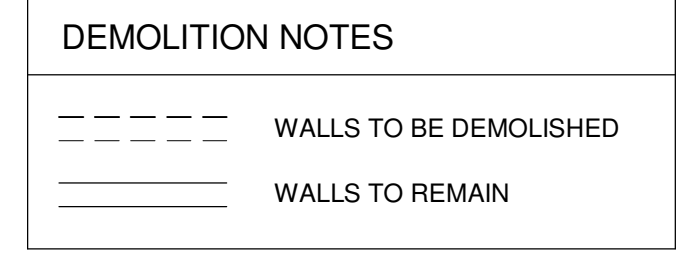
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SCALE: 1/8" = 1'-0"



**3 DEMOLITION ROOF PLAN**  
SCALE: 1/8" = 1'-0"

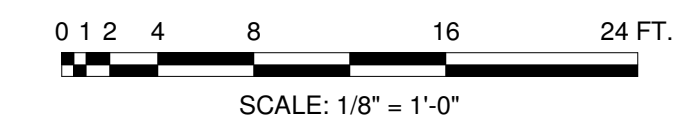
**GENERAL DEMOLITION NOTES**


- THE SCOPE OF THE DEMOLITION WORK INCLUDES THE FOLLOWING (UNLESS SPECIFICALLY INDICATED OTHERWISE):
- EXISTING CEILINGS AND SUPPORT SYSTEMS ARE TO BE REMOVED UNLESS NOTED OTHERWISE BY THE ARCHITECT.
- EXISTING FINISHED FLOORING TO BE REMOVED. SUBFLOORING TO INCLUDE BUT NOT LIMITED TO FLOOR JOIST SYSTEMS TO BE INSPECTED FOR MOLD AND/OR WATER DAMAGE. ANY MOLD TO BE REMEDIATED AND DAMAGED BUILDING COMPONENTS ARE TO BE REPLACED WITH NEW LIKE MATERIALS. CONTACT ARCHITECT/ ENGINEER FOR EXCESSIVE DAMAGE PRIOR TO DEMOLITION.
- ALL WALLS THAT ARE SCHEDULED TO BE REMOVED SHALL INCLUDE THE REMOVAL OF ALL GAS PIPING, ELECTRICAL AND PLUMBING WORK CONCEALED WITHIN THOSE WALLS.
- ALL ABANDONED, NONESSENTIAL OR OTHERWISE NOT SPECIFICALLY SHOWN TO BE REUSED, MECHANICAL, PLUMBING OR ELECTRICAL UTILITIES THAT ARE EXPOSED AFTER CEILING OR WALL REMOVAL, ARE TO BE REMOVED AND CAPPED AT POINT OF ORIGIN. CONSULT ARCHITECT IF QUESTIONS ARISE AS TO WHETHER A SERVICE IS TO BE ABANDONED OR IS TO REMAIN.
- ALL OTHER COMPONENTS OF THE EXISTING CONSTRUCTION, NOT ESSENTIAL TO REMAIN, THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK OR INTERFERE WITH THE INSTALLATION OF NEW FLUSH, UNBROKEN PLUMB AND LEVEL WALL, CEILING, AND FLOOR SURFACES, SHALL BE REMOVED.
- ALL EXISTING UTILITY SERVICE LINES IN RENOVATED AREAS SHALL CONNECT TO NEW SERVICE LINES OR BE REMOVED AND CAPPED OFF AS REQUIRED. REMOVE AND CAP OFF ALL ABANDONED UTILITIES BEHIND FINISH WALL SURFACES OR BELOW FLOOR SLABS WHICH ARE EXPOSED DURING THE WORK.
- ALL EXPOSED MATERIALS INCLUDED, BUT NOT LIMITED TO, CONCRETE, MASONRY, AND TILE WILL BE CUT IN STRAIGHT LINES PLUMB OR LEVEL USING CONCRETE SAWS. SCORING KNIVES OR OTHER APPROPRIATE TOOLS AS REQUIRED TO GIVE SMOOTH CLEAN EDGES. IRREGULARITIES IN EXPOSED SURFACES OR SURFACES TO BE REFINISHED SHALL BE GROUND SMOOTH OR FILLED FLUSH.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE REGULAR DAILY REMOVAL OF ALL WASTE MATERIAL FROM THE PROJECT SITE AND BE RESPONSIBLE FOR KEEPING ALL AREAS CLEAN.
- SALVAGE: THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL MATERIAL AND ITEMS TO BE REMOVED. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER WHEN DEMOLITION IS ABOUT TO BEGIN AND CONDUCT A SURVEY WITH THE OWNER TO IDENTIFY THOSE ITEMS TO BE SALVAGED. ITEMS IDENTIFIED BY THE OWNER TO BE SALVAGED AND TURNED OVER TO THE OWNER ARE TO BE REMOVED BY THE GENERAL CONTRACTOR AND DELIVERED TO A MUTUALLY AGREED LOCATION.
- EXISTING WALLS THAT TIE INTO EXTERIOR WALLS SHALL BE REMOVED FLUSH WITH THE EXTERIOR WALL. EXTERIOR WALLS SHALL NOT BE DAMAGED DURING DEMOLITION ACTIVITIES. THE EXISTING INTERIOR SHEETROCK ON EXTERIOR WALLS TO REMAIN TO HOLD BUILDING INSULATION IN PLACE.
- EXTERIOR DOORS AND WINDOWS THAT ARE TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION ACTIVITIES.
- ALL EXISTING MECHANICAL UNITS, DUCTWORK, GRILLES AND DIFFUSERS TO BE REMOVED ENTIRELY. OWNER RETAINS SALVAGE RIGHTS TO HVAC EQUIPMENT UNLESS NOTED OTHERWISE.
- ALL ELECTRICAL SERVICE PANELS, BRANCHWIRING, RECEPTACLES AND LIGHT FIXTURES TO BE REMOVED ENTIRELY.



**DEMOLITION KEYNOTES**

- REMOVE AND DISPOSE EXISTING WINDOW. REPAIR WALL AS REQUIRED. SEE DETAIL 5/A-401.
- REMOVE AND DISPOSE EXISTING PLUMBING FIXTURES. REPAIR WALL/FLOOR AS REQ'D. SEE MECHANICAL DRAWINGS.
- REMOVE AND DISPOSE EXISTING DOOR AND FRAMING. REPAIR WALL/FLOOR AS REQUIRED.
- REMOVE OVERHEAD DOOR, FRAME, TRACK AND MOTOR.
- REMOVE EXISTING WALL COVERINGS. INSPECT FOR MOLD AND/OR DETERIORATION. REMEDIATE ALL MOLD AND REPLACE DAMAGED BUILDING COMPONENTS WITH NEW MATERIALS. SEE PROPOSED PLAN FOR NEW MATERIALS.
- REMOVE AND DISPOSE EXISTING FINISH FLOORING. ENSURE SUBFLOOR/SLAB IS LEVELED AND READY TO RECEIVE NEW FLOORING.
- REMOVE AND DISPOSE EXISTING CEILING AND SUPPORT SYSTEM.
- REMOVE DOWNSPOUTS.
- REMOVE FLOOR AS REQUIRED FOR NEW MECHANICAL.
- REMOVE STEEL STAIRS.
- REMOVE EXISTING GAS LINE.
- EXISTING AWNING TO BE REPLACED WITH SAME SIZE AWNING- UTILIZED EXISTING AWNING FRAMING.
- ALL INTERIOR WALLS ON FIRST FLOOR TO BE STRIPPED TO STUDS TO ALLOW FOR NEW ELECTRICAL WORK. ONCE COMPLETE REPLACE WITH 5/8" GYP. BOARD ON ALL EXPOSED SURFACES.
- REMOVE EXISTING THROUGH WALL MECHANICAL UNIT AND PATCH HOLE w/ CMU AS REQUIRED.
- REMOVE EXISTING MILLWORK.
- REMOVE EXISTING UNIT HEATERS.
- SAW CUT EXISTING FLOOR SLAB FOR NEW PLUMBING LAYOUT PER PAL702.
- REMOVE EXISTING HVAC UNITS, PIPING, DUCTWORK AND ASSOCIATED ELECTRICAL. SEE GENERAL DEMOLITION NOTE 10.
- REMOVE EXISTING LOUVER AND PATH WALL TO MATCH EXISTING.





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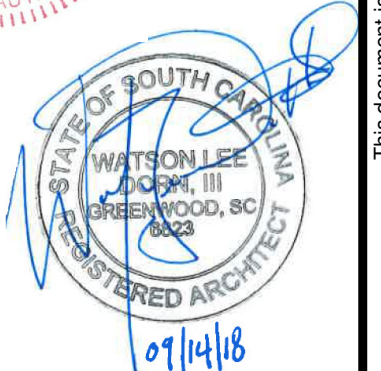
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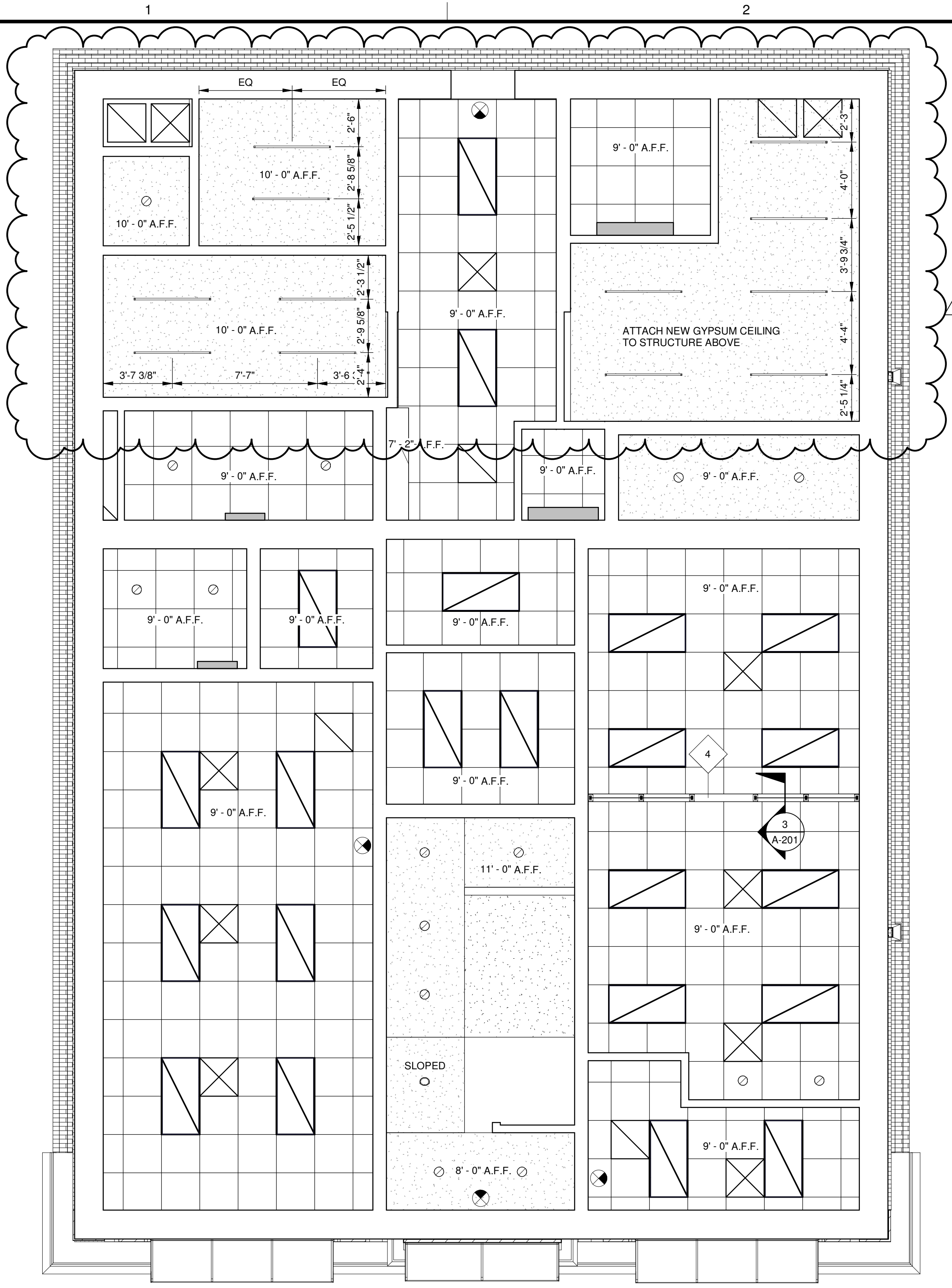
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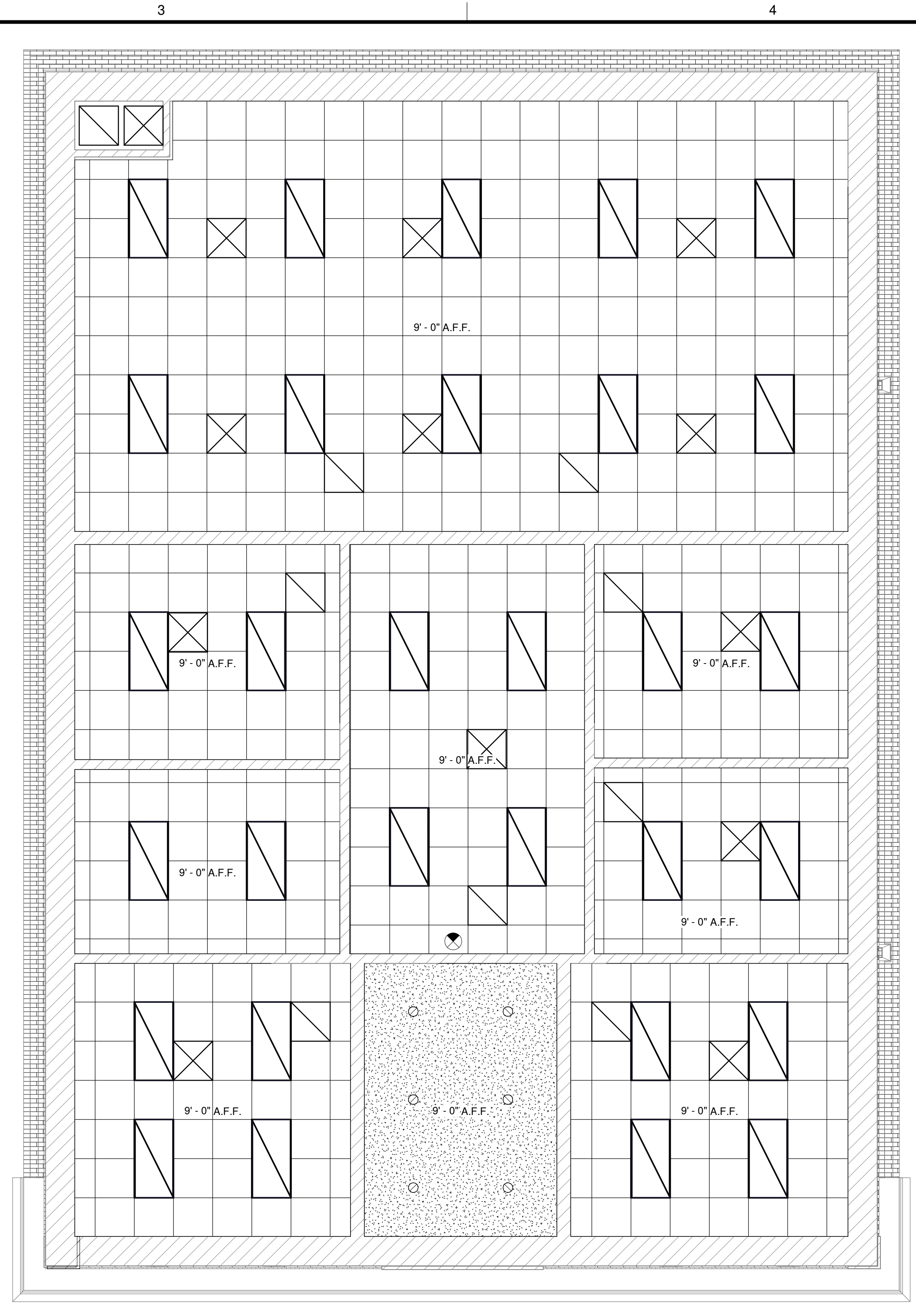
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REV. **1**

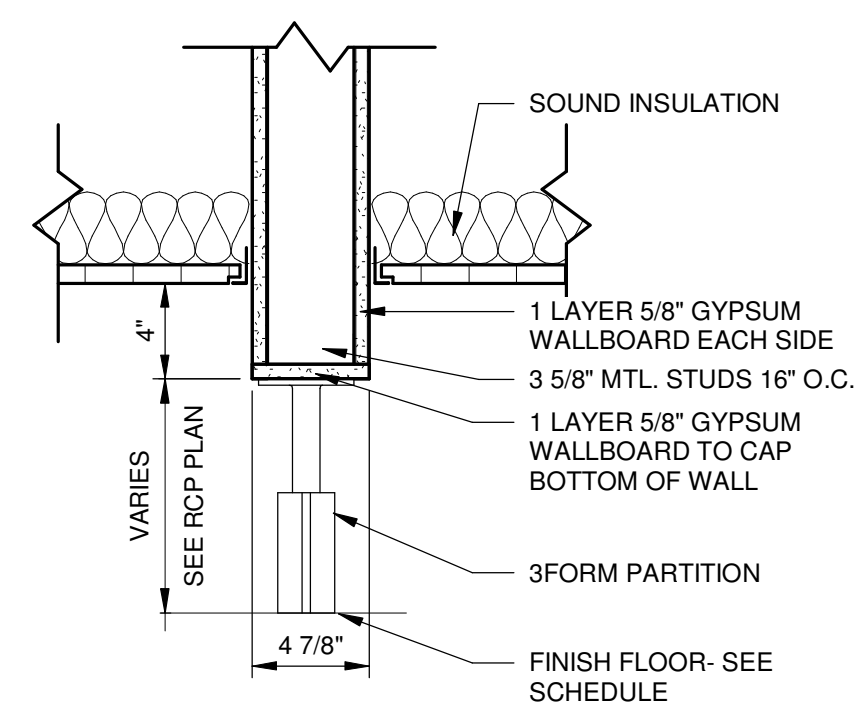




**1 FIRST FLOOR**  
SCALE: 1/4" = 1'-0"

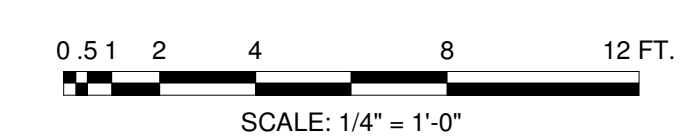


**2 SECOND FLOOR**  
SCALE: 1/4" = 1'-0"



**3 BULKHEAD DETAIL**  
SCALE: 1 1/2" = 1'-0"

CEILING LEGEND					
	ACOUSTICAL CEILING TILE 2X2 LAY-IN CEILING PANEL WITH SUSPENDED GRID		MECH DIFFUSER / RETURN GRILLE SEE MECH DWGS.		CEILING CAP/ SOUND BARRIER INSULATION PLATE ABOVE CEILING (2'-0" FROM PERIMETER WALLS)
	HARD CEILING- PAINTED (GYP) GYPSUM BOARD PAINTED		LAY-IN FIXTURE 1 X 4 LIGHT FIXTURE		HVAC RETURN SEE HVAC DWGS.
	WOOD CEILING- PAINTED TONGUE & GROOVE PLYWOOD PAINTED		LAY-IN FIXTURE 2 X 4 LIGHT FIXTURE		EXIT LIGHT
	METAL PANEL SOFFIT		RECESSED LIGHT FIXTURE	NOTES: 1. SEE ALL ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL RELATED ITEMS. 2. SEE ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE.	
			SUSPENDED FIXTURE		
			WALL MOUNTED FIXTURE		EMERGENCY FIXTURE
					HVAC DIFFUSER SEE HVAC DWGS.
					HIGH BAY FLORESCENT



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REV	DATE	BY	DESCRIPTION
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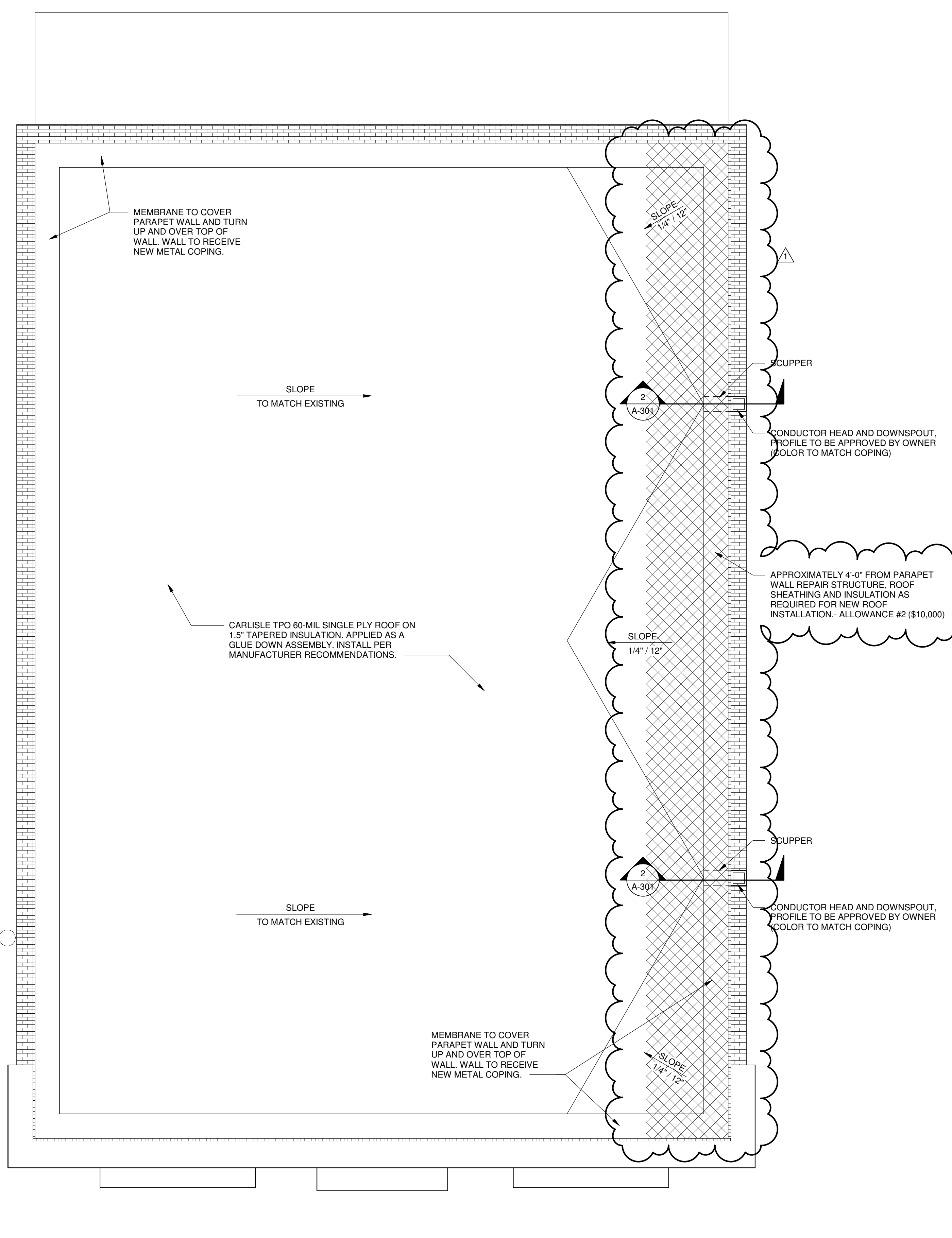
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DRAWN BY: CTH  
CHECKED BY: WLD  
DATE: 12/11/17  
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SCALE: AS NOTED  
DRAWING NO. **A-201** REV. **1**

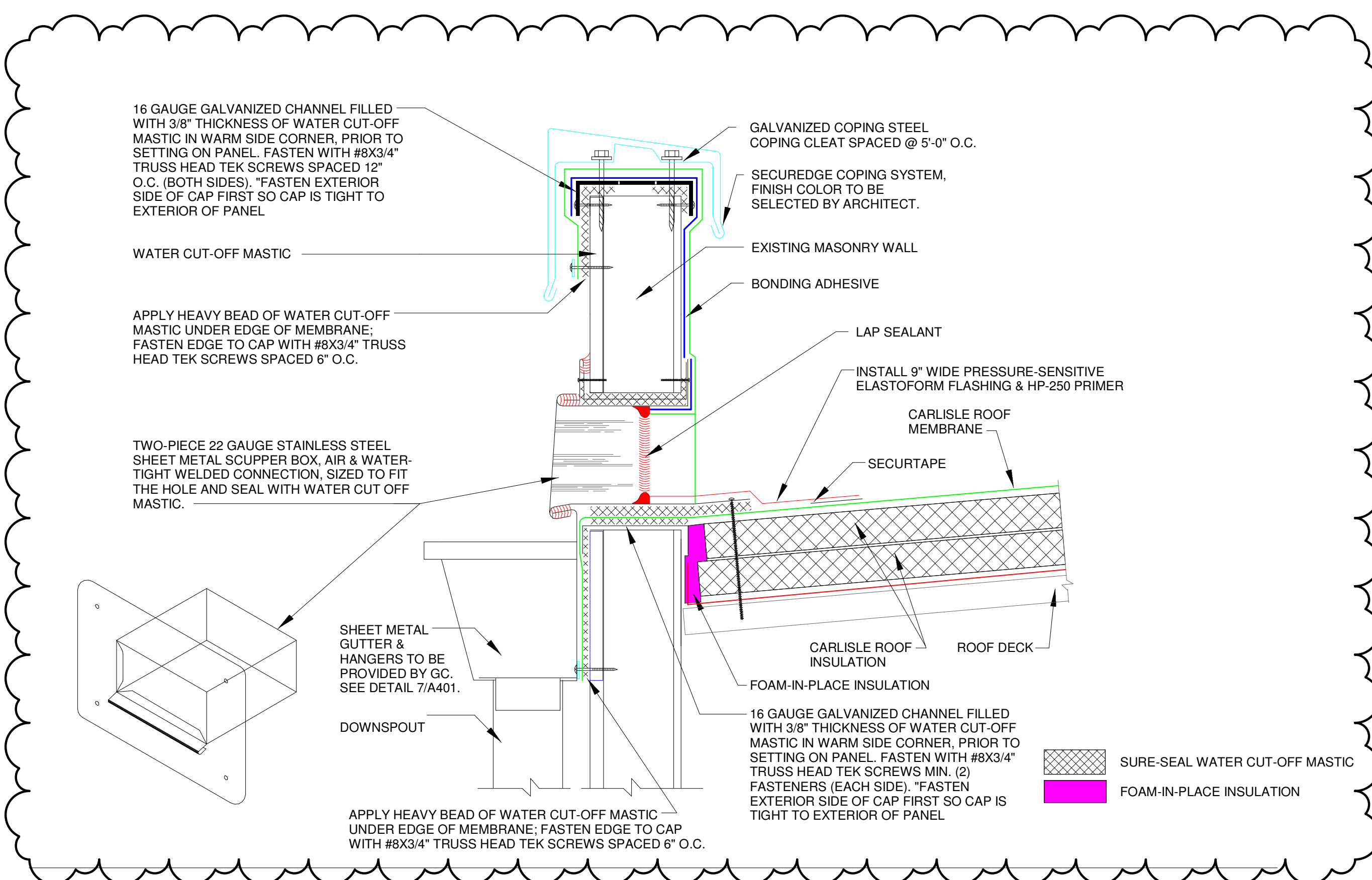
DRAWN BY: J. LASCHOBER, P.E., REV. 09/25/2017 F.E.B.

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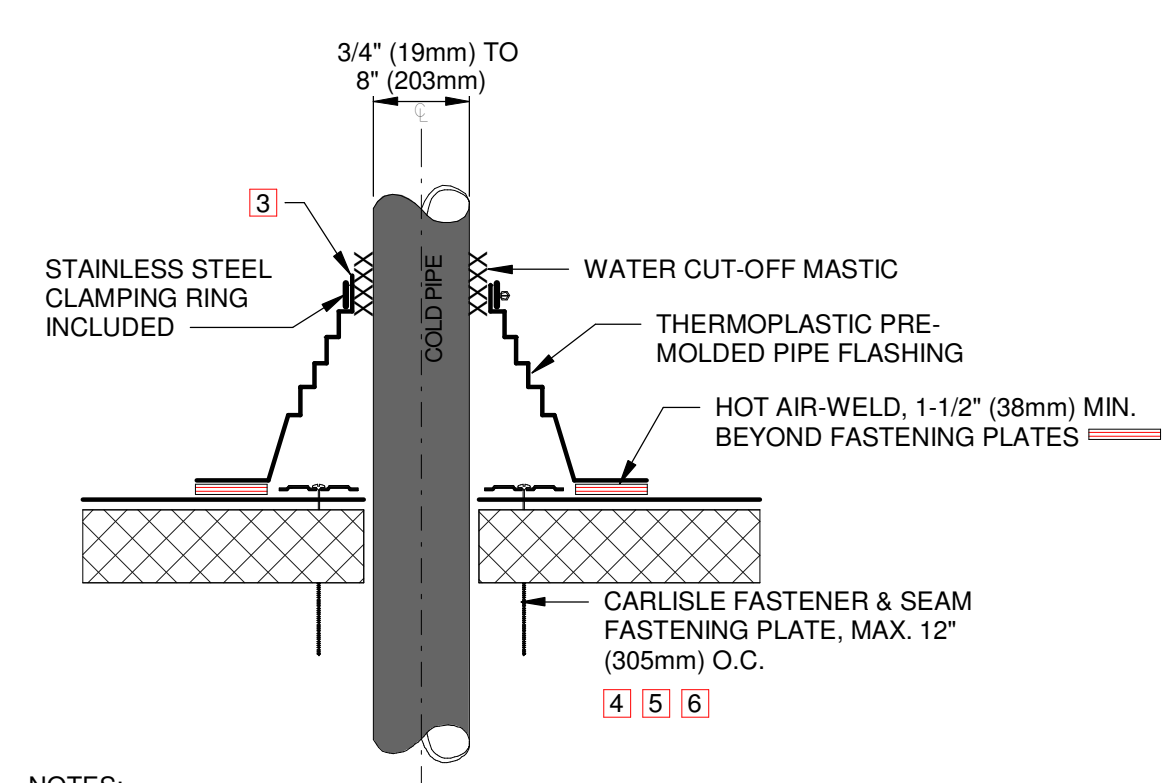




**1**  
A-301  
**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

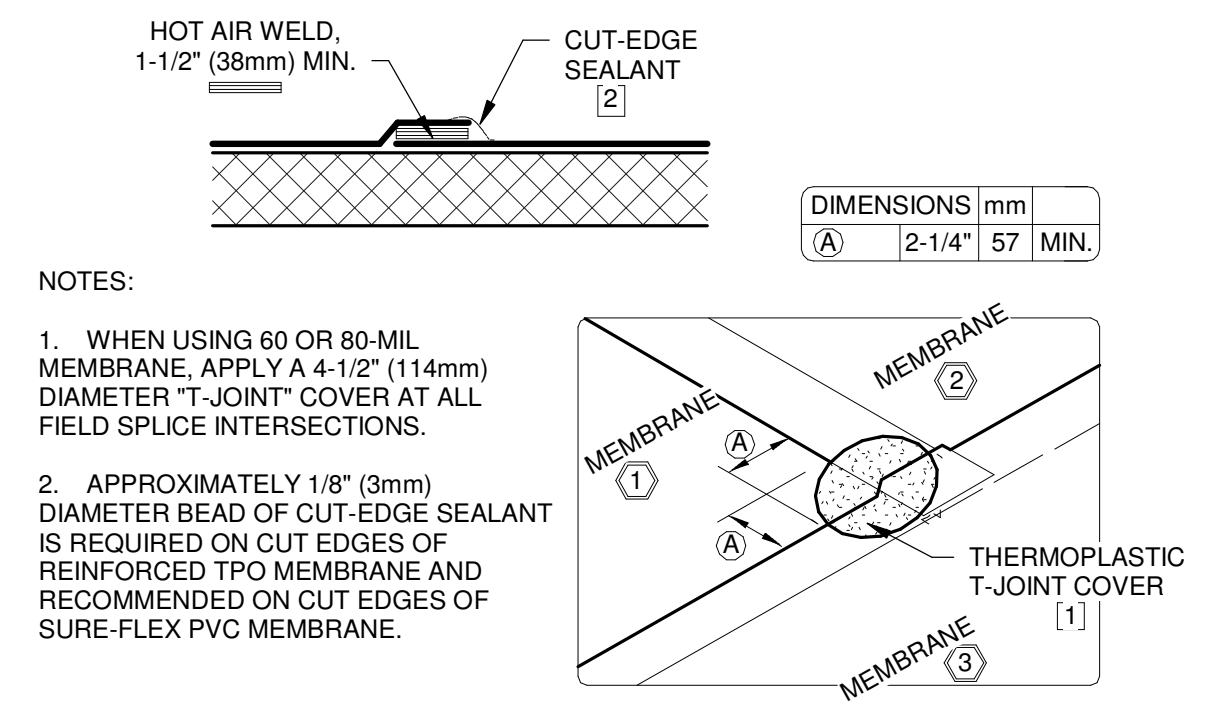


**2**  
A-301  
**CARLISLE SCUPPER DETAIL**  
SCALE: 1 1/2" = 1'-0"



- NOTES:**
1. REMOVE ALL EXISTING LEAD AND FLASHING MATERIAL BEFORE INSTALLING PRE-MOLDED PIPE FLASHING.
  2. TEMPERATURE OF THE PIPE PENETRATION MUST NOT EXCEED 140°F (60°C) WHEN USING PVC AND 160°F (71°C) WHEN USING TPO FLASHING.
  3. PIPE SEAL MUST HAVE INTACT RIB AT TOP EDGE, REGARDLESS OF PIPE DIAMETER.
  4. INSTALL A MINIMUM OF 4 FASTENERS AND PLATES AROUND THE PIPE, EQUALLY SPACED. IF FASTENERS AND PLATES CANNOT BE INSTALLED AS SHOWN, THEY MAY ALSO BE POSITIONED OUTSIDE THE PIPE MAXIMUM 12" (305mm) O.C. AND FLASHED WITH THERMOPLASTIC REINFORCED MEMBRANE/CUT-EDGE SEALANT.
  5. FASTENERS AND PLATES ARE NOT REQUIRED ON ADHERED SYSTEMS UNLESS PIPE DIAMETER EXCEEDS 18" (457mm).
  6. ON MECHANICALLY FASTENED SYSTEMS, HP-X FASTENERS AND PIRANHA PLATES OR HP-XTRA FASTENERS AND PIRANHA XTRA PLATES ARE REQUIRED OVER STEEL AND WOOD DECKS. ON CONCRETE DECKS, CD-10 OR HD 14-10 FASTENERS ARE USED WITH PIRANHA PLATES.

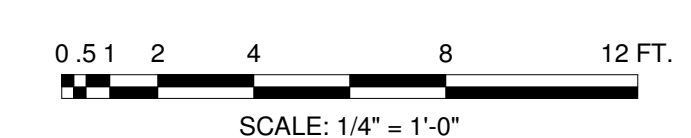
**3**  
A-301  
**CARLISLE PIPE PENETRATION**  
SCALE: 3" = 1'-0"



- NOTES:**
1. WHEN USING 60 OR 80-MIL MEMBRANE, APPLY A 4-1/2" (114mm) DIAMETER "T-JOINT" COVER AT ALL FIELD SPICE INTERSECTIONS.
  2. APPROXIMATELY 1/8" (3mm) DIAMETER BEAD OF CUT-EDGE SEALANT IS REQUIRED ON CUT EDGES OF REINFORCED TPO MEMBRANE AND RECOMMENDED ON CUT EDGES OF SURE-FLEX PVC MEMBRANE.

**4**  
A-301  
**CARLISLE SPLICE DETAIL**  
SCALE: 3" = 1'-0"

BASIS OF DESIGN:  
CARLISLE SYNTec SYSTEMS  
2687 PEACHTREE SQUARE DORAVILLE, GA 30360  
www.carlislesyntec.com PHONE: 678-547-1084



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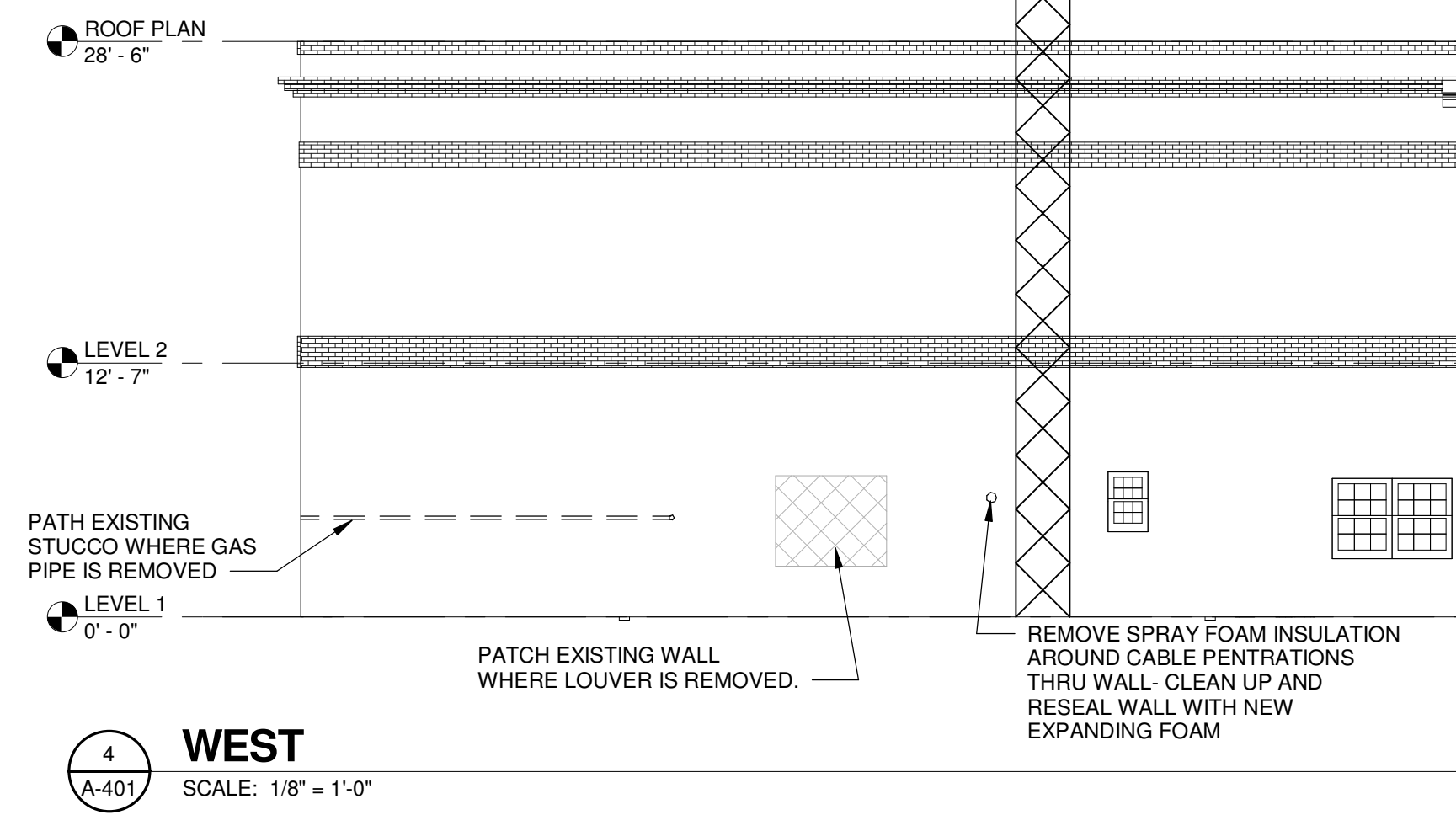
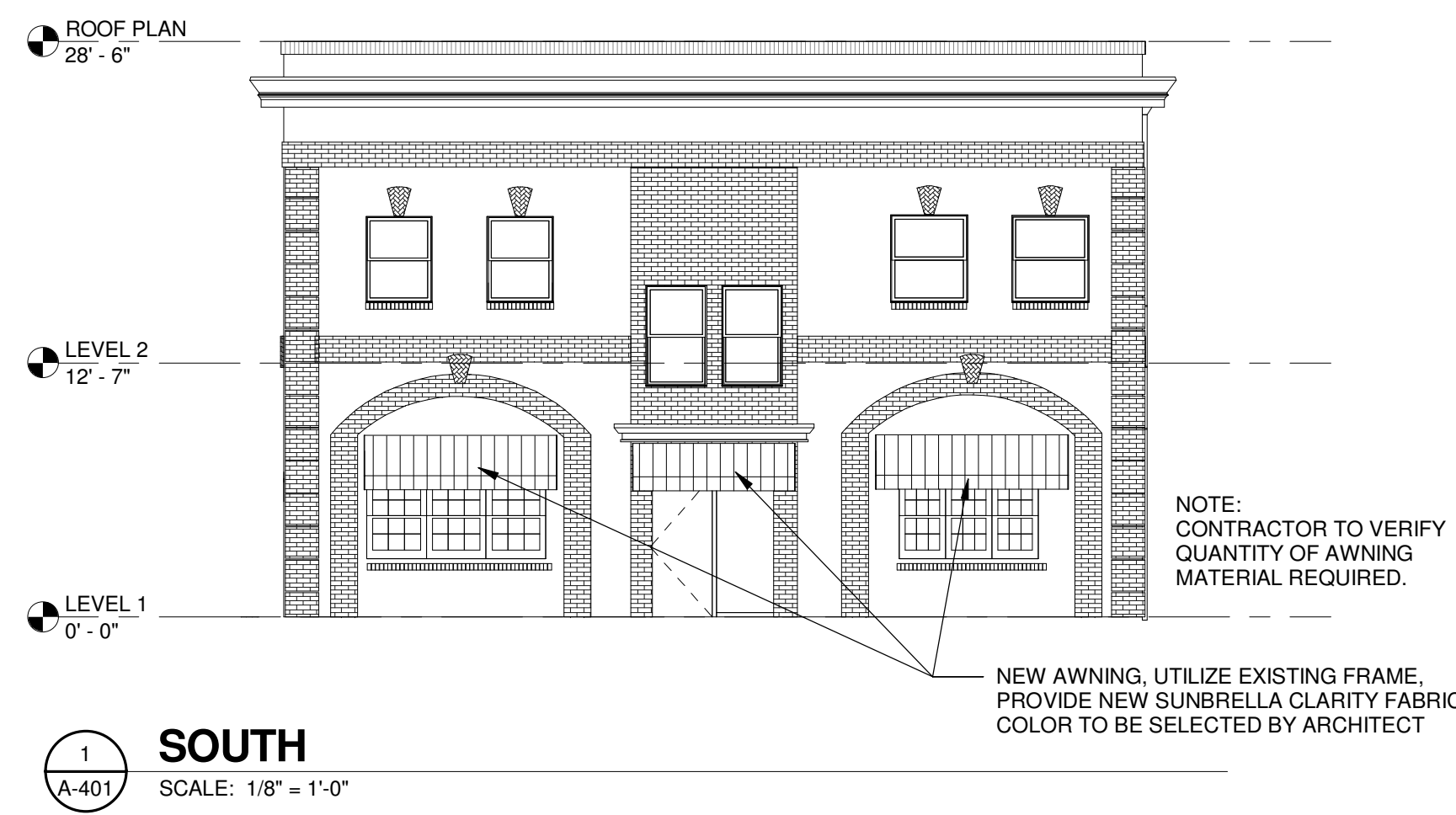
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DATE: **12/11/17**

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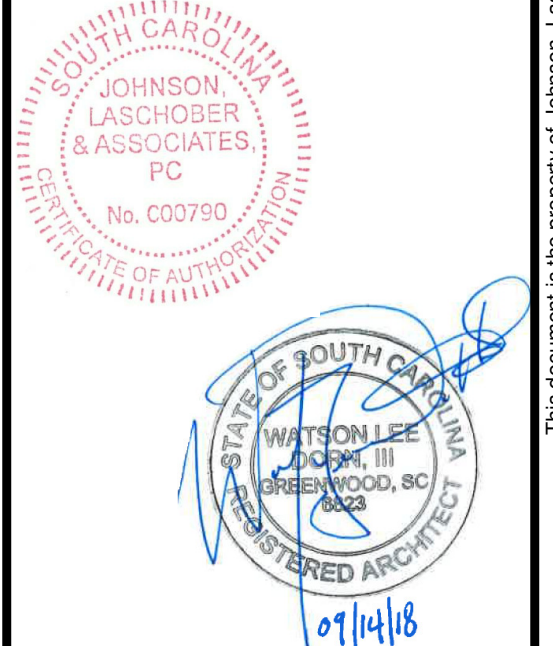
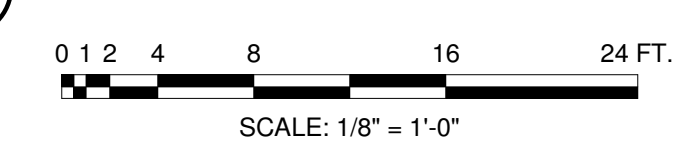
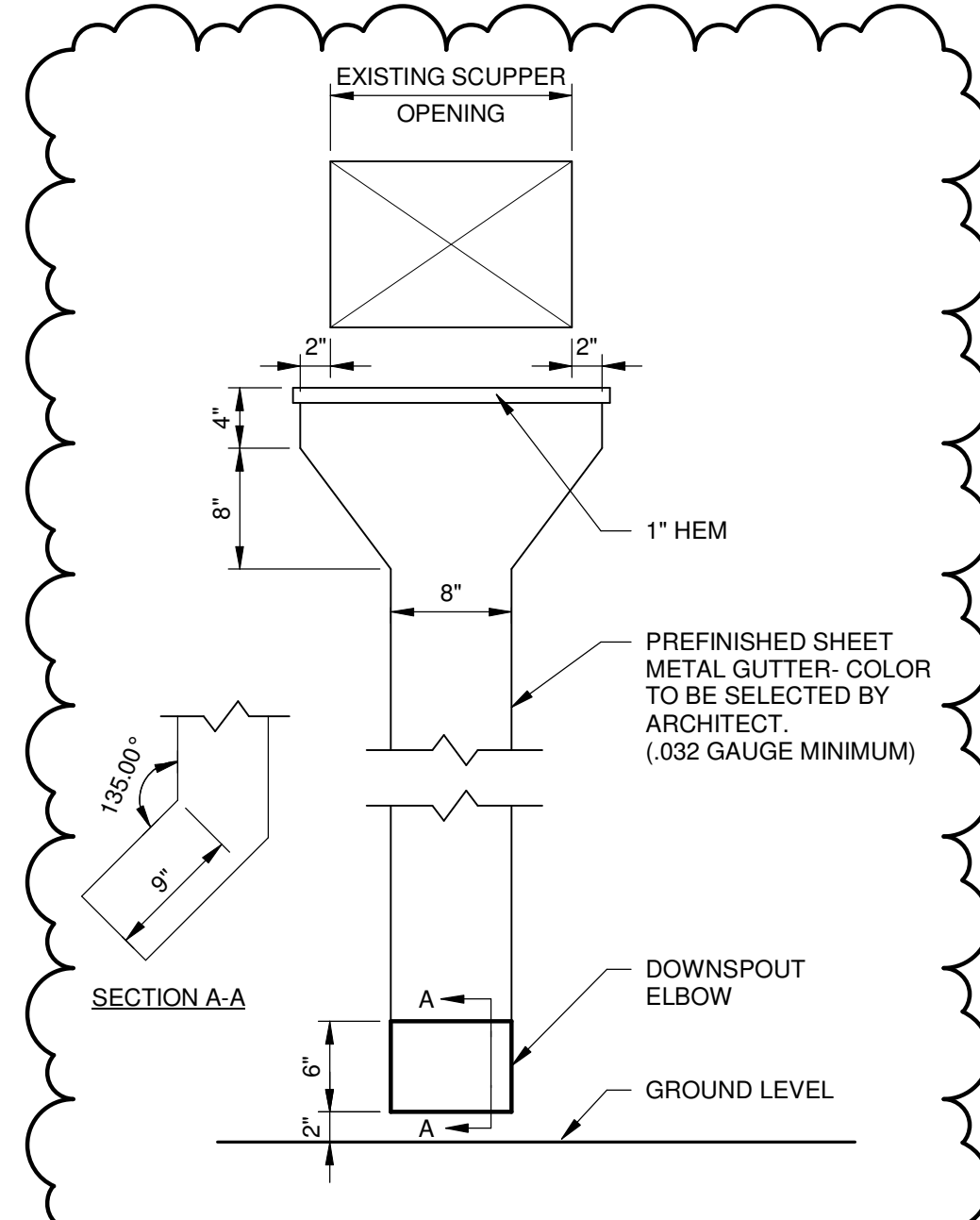
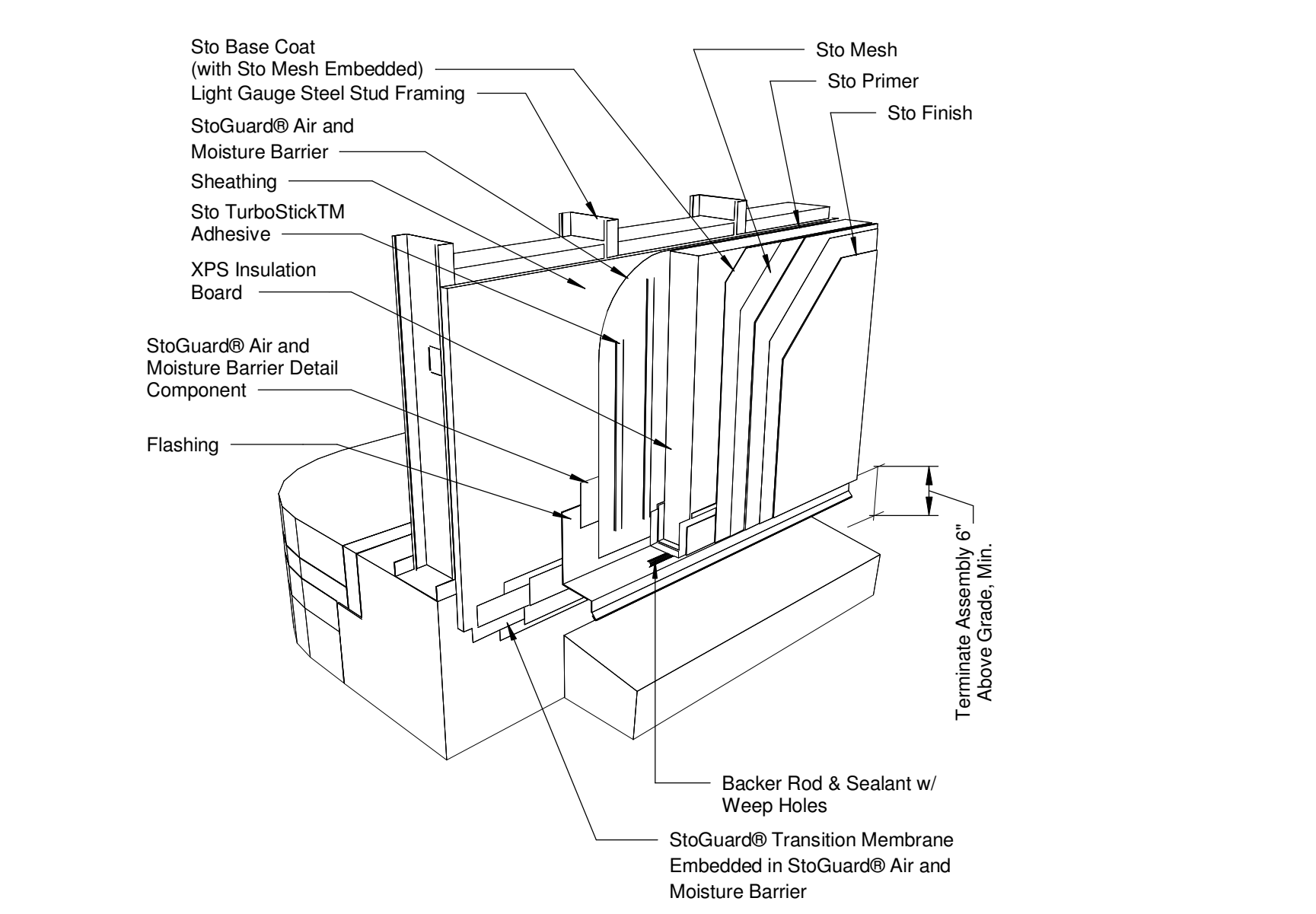
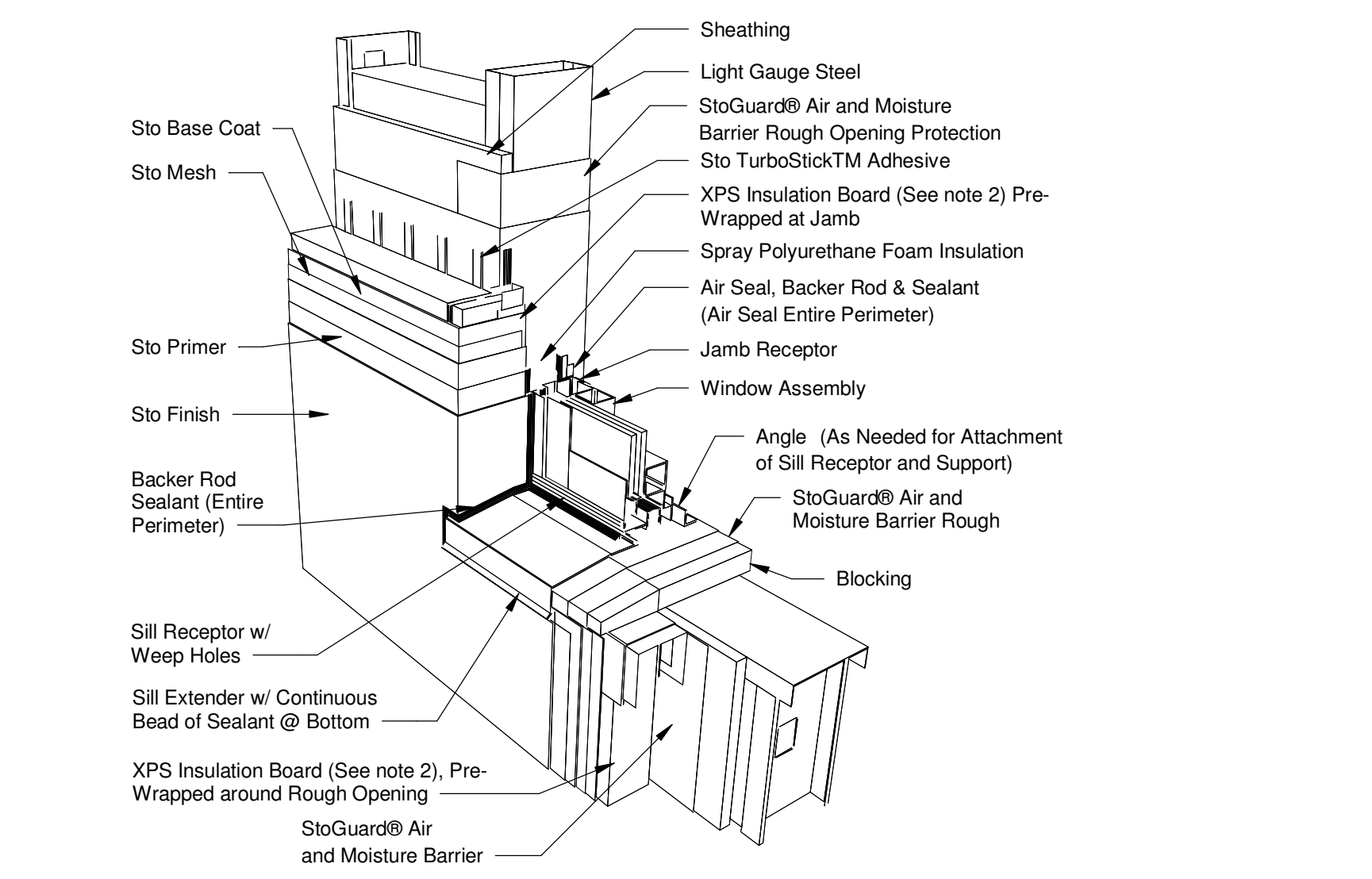
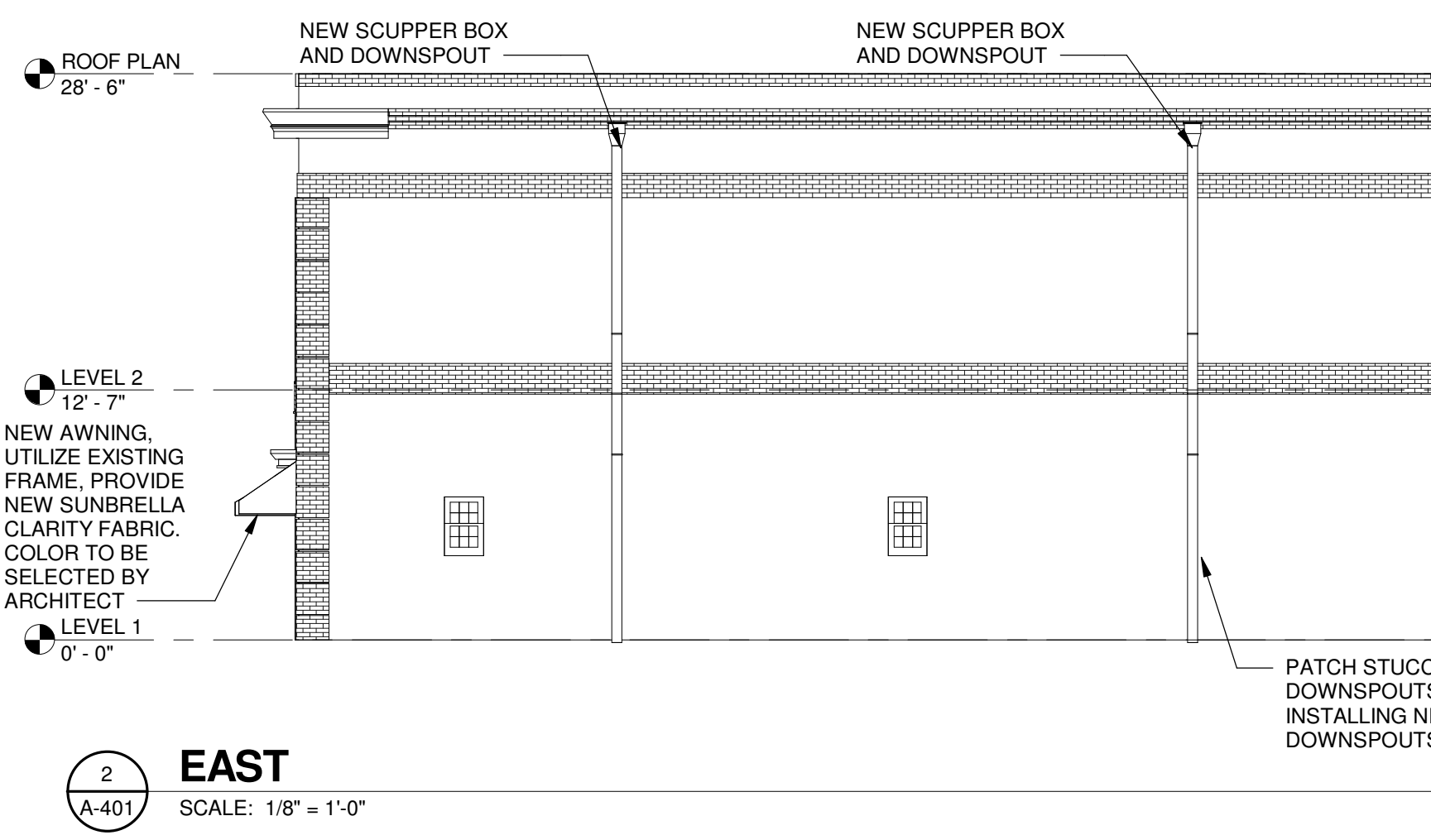
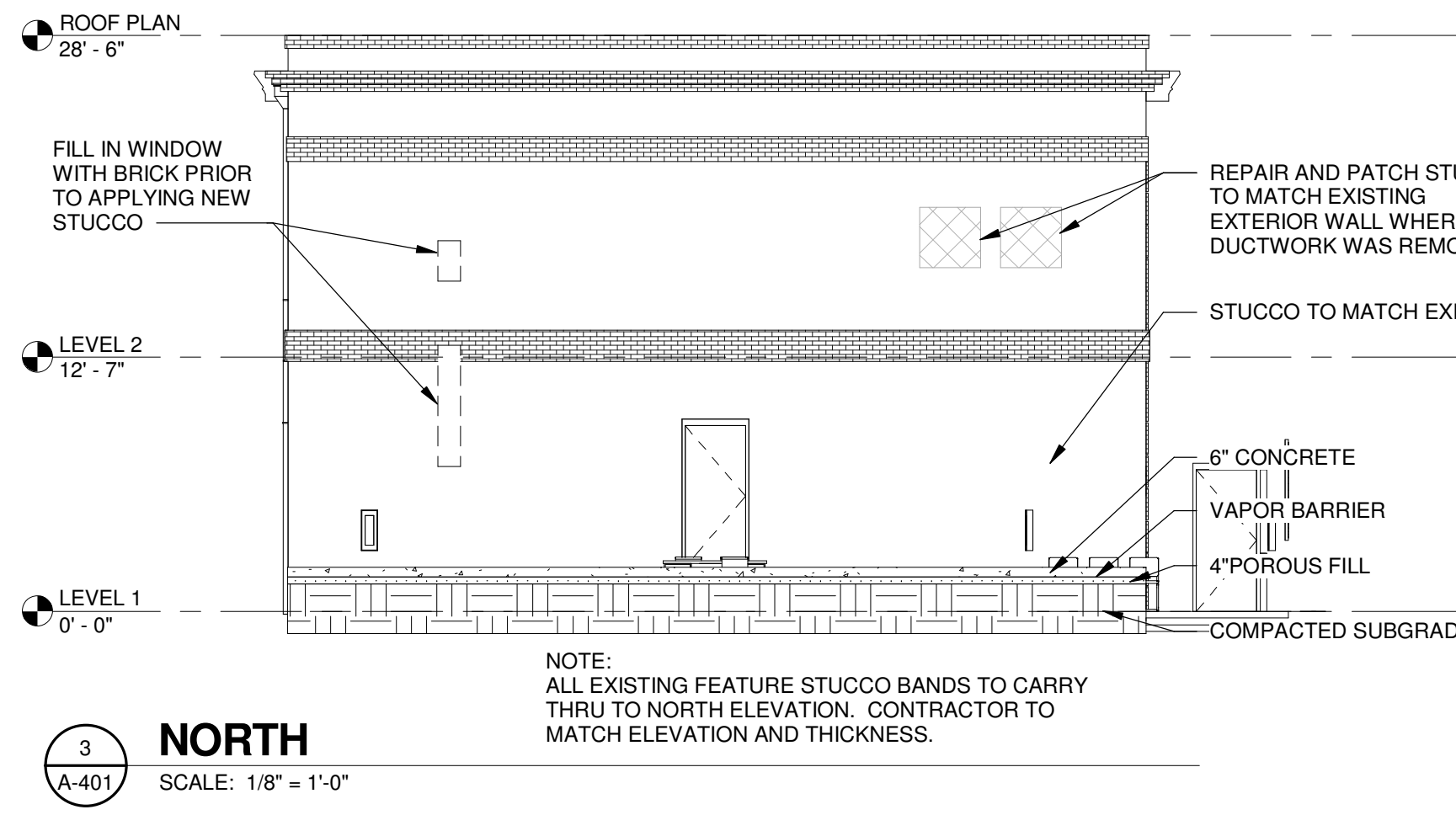
SCALE: **AS NOTED**

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NOTE: REPAINT ENTIRE EXTERIOR OF BUILDING- 2 COATS MINIMUM. COLORS TO MATCH EXISTING.



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CHECKED BY: WLD  
DATE: 12/11/17

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SCALE: AS NOTED

DRAWING NO. **A-401** REV. **1**



### DOOR SCHEDULE

NUMBER	TYPE	WIDTH	HEIGHT	DOOR THICKNESS	MATERIAL	FINISH	COMMENTS
100	EX	3'-0 3/4"	6'-11 1/2"				EXISTING
101	HG	3'-0"	7'-0"	0'-1 3/4"	WD	PT	
101B	N	3'-0"	7'-0"	0'-1 3/4"	WD	PT	
102	CO	0'-0"	0'-0"				
103	F	3'-0"	7'-0"	0'-1 3/4"	WD	PT	
104	FO	3'-0"	7'-0"	0'-1 3/4"	WD	PT	
105	CO	0'-0"	0'-0"				
106B	F	3'-0"	7'-0"	0'-1 3/4"	ST	PT	
107	F	3'-0"	7'-0"	0'-1 3/4"	ST	PT	
108	F	3'-0"	6'-8"	0'-2"	ST	PT	
109	EX	2'-2"	7'-0"	0'-1 3/4"			EXISTING
110	EX	2'-8"	7'-0"	0'-1 3/4"			EXISTING
111A	CO	0'-0"	0'-0"				
111B	FG	3'-0"	7'-0"	0'-1 3/4"	WD	PT	
113	F	3'-0"	6'-8"	0'-2"	ST	PT	
114	F	2'-6"	7'-0"	0'-1 3/4"	WD	PT	
115	EX	2'-2"	6'-8"	0'-1 3/8"			EXISTING
116	N	3'-0"	7'-0"	0'-1 3/4"	WD	PT	
117	F	3'-0"	6'-8"	0'-2"	ST	PT	

### DOOR SCHEDULE

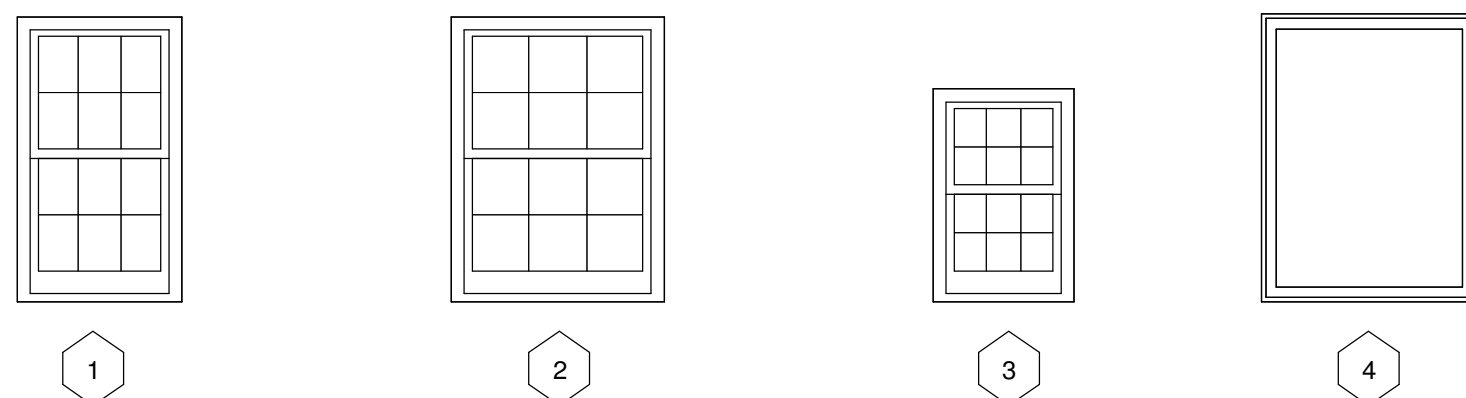
NUMBER	TYPE	WIDTH	HEIGHT	DOOR THICKNESS	MATERIAL	FINISH	COMMENTS
118	F	3'-0"	7'-0"	0'-1 3/4"	ST	PT	B-LABEL EXISTING
201	EX	3'-0"	7'-0"	0'-1 3/4"			EXISTING
202	EX	3'-0"	7'-0"	0'-1 3/4"			EXISTING
203	EX	3'-0"	7'-0"	0'-1 3/4"			EXISTING
204	EX	3'-0"	7'-0"	0'-1 3/4"			EXISTING
205	EX	5'-0"	7'-0"	0'-1 3/4"			EXISTING
206	EX	3'-0"	7'-0"	0'-1 3/4"			EXISTING
207	EX	3'-0"	7'-0"	0'-1 3/4"			EXISTING
208	EX	6'-0"	7'-0"	0'-1 3/4"			EXISTING
G100	F	3'-0"	7'-0"	0'-1 3/4"	ST	PT	REPLACE DOOR ONLY, INSULATED
G100A	OD	12'-6"	10'-0"	0'-3"	ALUM	FF	
G100B	OD	10'-5"	9'-0"	0'-3"	ALUM	FF	
G100C	OD	12'-5"	9'-0"	0'-3"	ALUM	FF	
G100E	F	3'-0"	7'-0"	0'-1 3/4"	ST	PT	
G101	F	3'-0"	7'-0"	0'-1 3/4"	WD	PT	
G101B	F	3'-0"	7'-0"	0'-1 3/4"	ST	PT	
G103	F	3'-0"	7'-0"	0'-1 3/4"	WD	PT	
G104	F	3'-0"	7'-0"	0'-1 3/4"	WD	PT	
G105	F	3'-0"	7'-0"	0'-1 3/4"	WD	PT	

### WINDOW SCHEDULE

TYPE MARK	WIDTH	HEIGHT	MANUFACTURER	SERIES	INTERIOR FINISH	EXTERIOR FINISH	GLAZING THICKNESS	TYPE	SILL HEIGHT	COMMENTS
1	2'-3 1/2"	3'-11 1/2"	Andersen Corporation	200	WOOD	WHITE ALUM	7/8"		2'-8"	
2	2'-11 1/2"	3'-11 1/2"	Andersen Corporation	200	WOOD	WHITE ALUM	7/8"		2'-8"	
3	1'-11 1/2"	2'-11 1/2"	Andersen Corporation	200	WOOD	WHITE ALUM	7/8"		4'-0"	
4	3'-0"	4'-0"	Andersen Corporation	200	WOOD	WOOD	7/8"		4'-0"	

**DOOR LEGEND:**

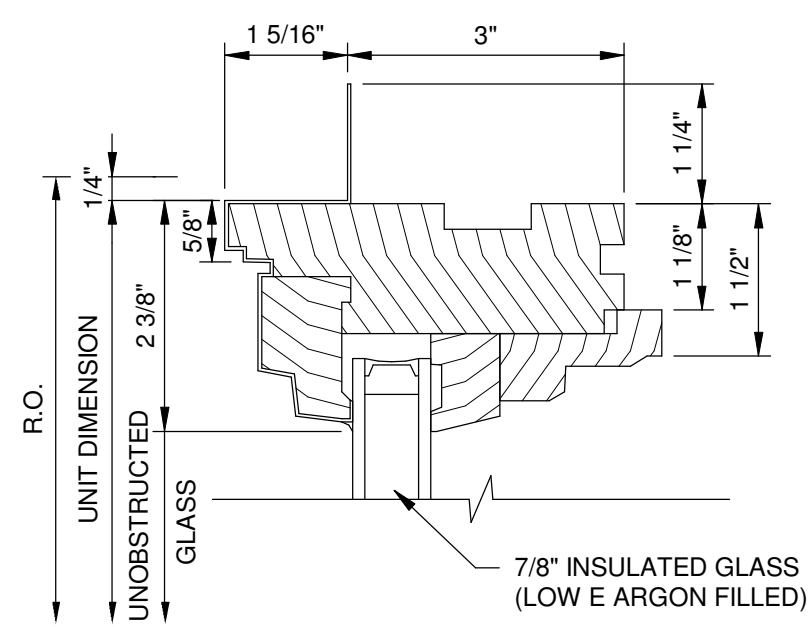
- EXIST/EX. = EXISTING
- CO = CASSED OPENING
- FS = FLUSH STEEL
- ALUM = ALUMINUM
- HM = HOLLOW METAL
- ST = STEEL
- FF = FACTORY FINISH/STANDARD COLORS
- PT = PAINT
- WD = SOLID CORE WOOD



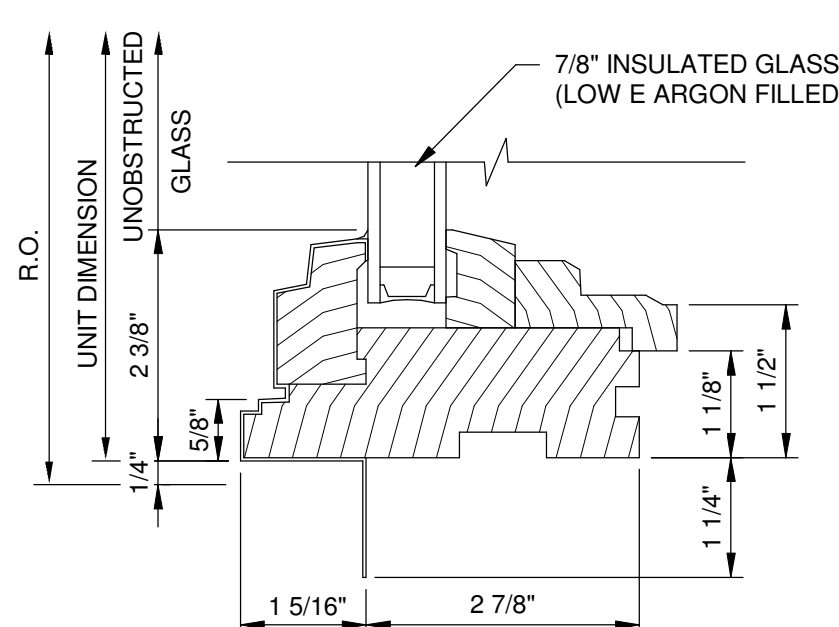
NOTE: ALL TYPES TO HAVE FINELIGHT GRILLES BETWEEN THE GLASS w/ A COLONIAL PATTERN.

### WINDOW TYPES

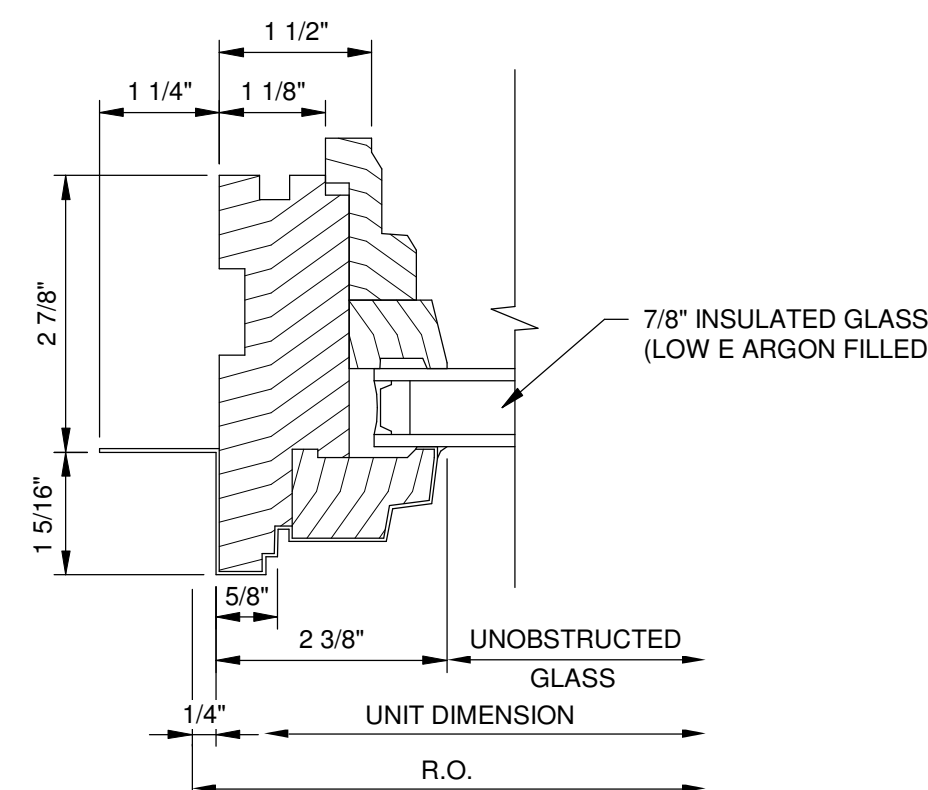
SCALE: 3/8" = 1'-0"



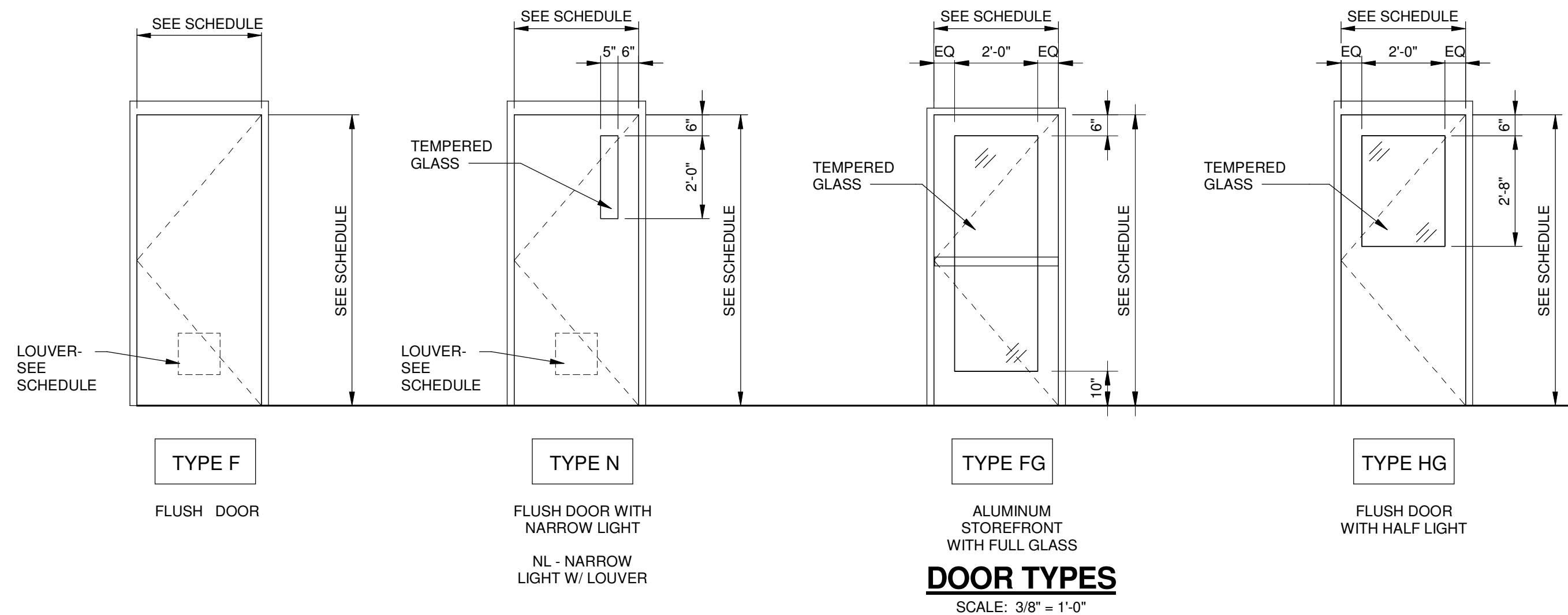
4 HEAD DETAIL  
SCALE: 6\"/>



6 SILL DETAIL  
SCALE: 6\"/>



5 JAMB DETAIL  
SCALE: 6\"/>



**DOOR TYPES**  
SCALE: 3/8\"/>

### FINISH SCHEDULE

NUMBER	NAME	FLOOR FINISH	BASE	WALL FINISH	CEILING MATERIAL	CEILING FINISH	CEILING HEIGHT	COMMENTS
100	ENTRY	LVT-1	RB-1	PT	GB	PT-5	8'-0"	WALL PAINT COLOR TO BE DETERMINED, TYP.
101	POLICE	CPT-1	RB-1	PT	ACT	-	9'-0"	
102	CORR.	LVT-1	RB-1	PT	ACT	-	9'-0"	
103	MEN	LVT-1	RB-1	PT-3	ACT	-	9'-0"	ALUMINUM GRID w/ VINYL FACED GYP.
104	WOMEN	LVT-1	RB-1	PT-3	ACT	-	9'-0"	ALUMINUM GRID w/ VINYL FACED GYP.
105	CORRIDOR	LVT-1	RB-1	PT	ACT	-	9'-0"	
106	CORRIDOR	LVT-1	RB-1	PT	ACT	-	9'-0"	
107	EVIDENCE	SC	RB-1	PT	OPEN TO STRUC. ABOVE	-	9'-0"	
108	STORAGE	SC	RB-1	PT	OPEN TO STRUC. ABOVE	-	9'-0"	
109	VAULT	CPT-1	RB-1	PT	GB	-	9'-0"	
110	CPW CLERK	CPT-1	RB-1	PT	ACT	-	9'-0"	
111	TOWN HALL CLERK	CPT-1	RB-1	PT	ACT	-	9'-0"	
112	VESTIBULE	LVT-1	RB-1	PT	ACT	-	9'-0"	
113	ELEC.	SC	RB-1	PT	ACT	-	9'-0"	
114	JAN.	LVT-1	RB-1	PT-3	ACT	-	9'-0"	
115	STORAGE	LVT-1	RB-1	PT	OPEN TO STAIRS ABOVE	-	9'-0"	
116	INTERVIEW	CPT-1	RB-1	PT	ACT	-	9'-0"	
117	PROPERTY	SC	RB-1	PT	OPEN TO STRUC. ABOVE	-	9'-0"	
118	HIGH SECURITY EVIDENCE	SC	RB-1	PT	GB	PT-5	8'-0"	
200	STAIRS	LVT-1	RB-1	PT	GB	PT-5	9'-0"	
201	OFFICE	CPT-1	RB-1	PT	ACT	-	9'-0"	
202	OFFICE	CPT-1	RB-1	PT	ACT	-	9'-0"	
203	OFFICE	CPT-1	RB-1	PT	ACT	-	9'-0"	
204	OFFICE	CPT-1	RB-1	PT	ACT	-	9'-0"	
205	CORRIDOR	LVT-1	RB-1	PT	ACT	-	9'-0"	
206	OFFICE	CPT-1	RB-1	PT	ACT	-	9'-0"	
207	OFFICE	CPT-1	RB-1	PT	ACT	-	9'-0"	
208	FUTURE OFFICE	CPT-1	RB-1	PT	ACT	-	9'-0"	
G100	GARAGE AREA	CONC	-	PT	PLYWOOD (EXISTING)	PT-5	9'-0"	*PRESSURE WASH FLOOR AND SEAL
G101	CORRIDOR	LVT-1	RB-1	PT	ACT	-	9'-0"	
G102	BREAK ROOM	LVT-1	RB-1	PT	ACT	-	9'-0"	
G103	OFFICE	LVT-1	RB-1	PT	ACT	-	9'-0"	
G104	ADA TOILET	LVT-1	RB-1	PT	ACT	-	9'-0"	
G105	STORAGE	WOOD	-	PT	PLYWOOD	PT-5	9'-0"	CEILING ATTACHED TO STRUCTURE

### INTERIOR FINISH SCHEDULE

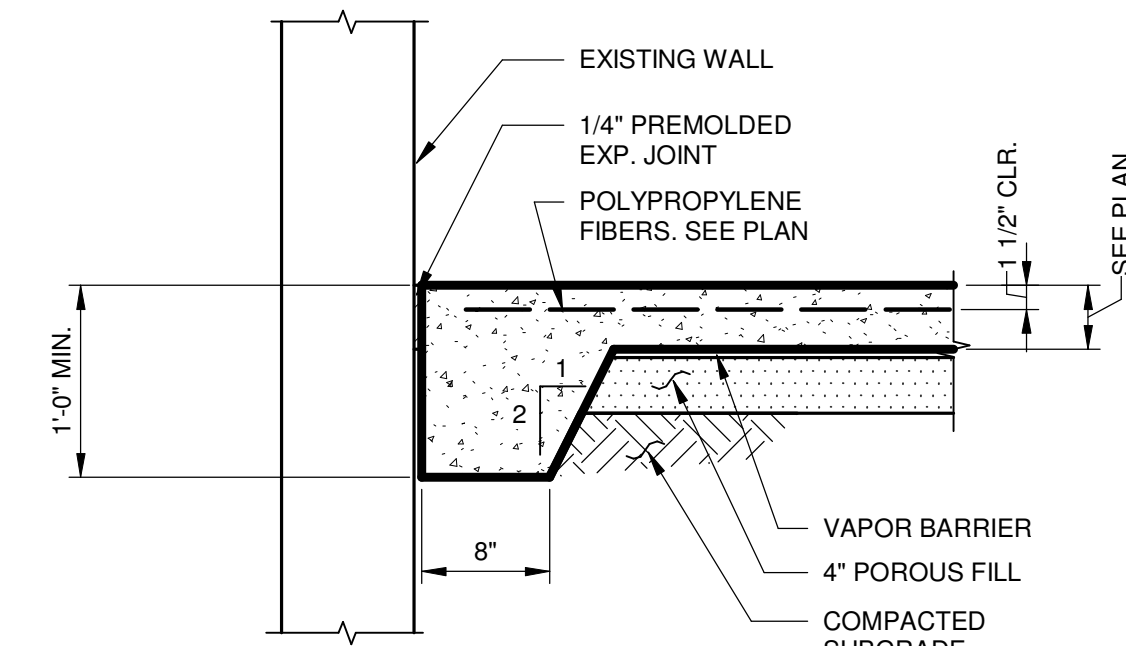
CPT-1 - CARPET TILE MANUFACTURER: SHAW CONTRACT SPEC: TBD SIZE: TILE 24"x24", INSTALL TBD COLOR: TBD CONTACT: JOE WALKER 706-831-3938	PT-1 - WALL PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: INTERIOR, SATIN FINISH COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410	SS-1 - SOLID SURFACE MANUFACTURER: DUPONT SPEC: CORIAN SIZE: 2CM COLOR: TBD CONTACT: PAUL STEVENS 678-662-0919
LVT-1 - LUXURY VINYL TILE MANUFACTURER: SHAW CONTRACT SPEC: TBD COLOR: TBD CONTACT: JOE WALKER 706-831-3938	PT-2 - WALL PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: INTERIOR, SATIN FINISH COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410	PL-1 - PLASTIC LAMINATE MANUFACTURER: WILSONART SPEC: STANDARD LAMINATE COLOR: TBD CONTACT: ANGIE LIBERTO 770-616-3088
RB-1 - RUBBER BASE MANUFACTURER: ROPPE SPEC: STD COVE BASE COLOR: TBD CONTACT: MICHELE MUSGROVE 404-640-0241	PT-3 - WALL PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: INTERIOR, SATIN FINISH COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410	PL-2 - PLASTIC LAMINATE MANUFACTURER: WILSONART SPEC: STANDARD LAMINATE COLOR: TBD CONTACT: ANGIE LIBERTO 770-616-3088
TR-1 - TRANSITION STRIPS MANUFACTURER: ROPPE SPEC: RUBBER COLOR: TBD CONTACT: MICHELE MUSGROVE 404-640-0241	PT-4 - TRIM PAINT MANUFACTURER: SHERWIN-WILLIAMS SPEC: INTERIOR, SEMI-GLOSS FINISH COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410	PT-5 - GYP CEILING PAINT MFR: SHERWIN-WILLIAMS SPEC: INTERIOR, FLAT FINISH COLOR: TBD CONTACT: RUSS HANSEN 980-207-9410

### FINISH LEGEND

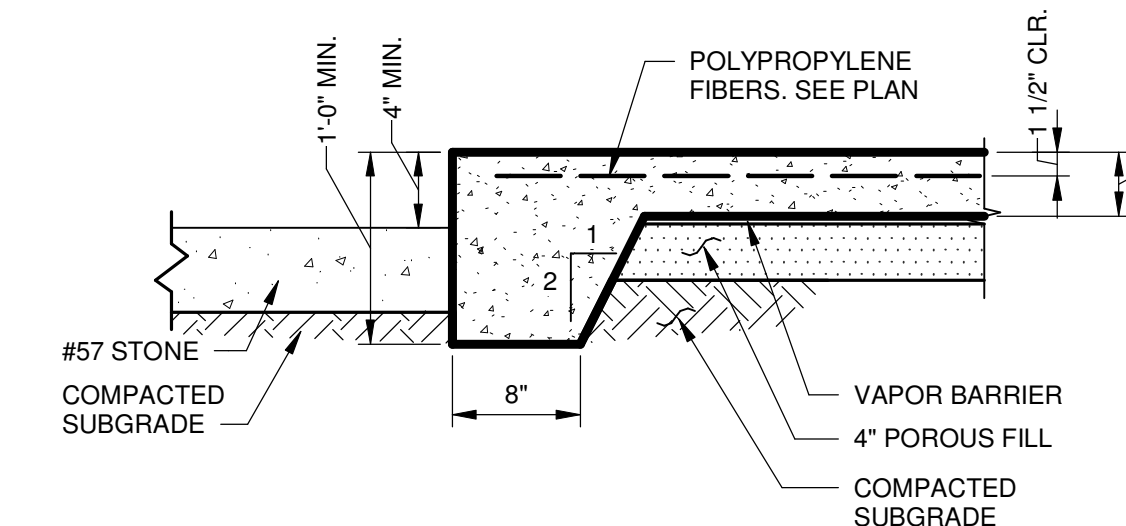
ACT: ACOUSTICAL CEILING TILE	RF: RUBBER / VINYL BASE
CONC: CONCRETE	RF: RUBBER FLOOR
CPT: CARPET	RN: RUBBER NOSING
CT: CERAMIC TILE	RT: RUBBER TILE
CTB: CERAMIC TILE BASE	RSTR: RUBBER STAIR TREAD/ RISER
CWT: CERAMIC WALL TILE	SC: SEALED CONCRETE
EPX: EPOXY FLOORING	SPF: SPORTS FLOORING
EPC: EPOXY COATING	SS: SOLID SURFACE
EPP: EPOXY PAINT	ST: STAIN
EPR: EXISTING TO REMAIN	STC: STAMPED CONCRETE
EXP: EXPOSED STRUCTURE	SV: SHEET VINYL
FRP: FIBER REINFORCED PANEL	TBD: TO BE DETERMINED
GB: GYPSUM BOARD, ALL GYP. BD. TO RECEIVE KNOCKDOWN DRYWALL FINISH	TR: TRANSITION STRIP
GT: GROUT	WC: WALL COVERING
LVT: LUXURY VINYL TILE	WDB: WOOD BASE
PL: PLASTIC LAMINATE	WDF: WOOD FLOORING
	WAF: WOOD ATHLETIC FLOORING
	VCT: VINYL COMPOSITION TILE
	VP: VINYL PLANK FLOORING
	VRB: VENTED RUBBER BASE

### NOTES

- PRIME AND PAINT ALL EXPOSED STRUCTURE, FRAMING, BRACING, DUCT WORK, CONDUIT
- ALL GYPSUM BOARD WALLS TO RECEIVE KNOCK DOWN FINISH TO MATCH EXISTING
- ALL CONCRETE MASONRY WALLS TO RECEIVE EPOXY PAINT
- SHOWER WALLS TO RECEIVE EPOXY WALL COATING



2 SECTION  
SCALE: 1\"/>



3 SECTION  
SCALE: 1\"/>

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CLIENT: **NEWBERRY COUNTY**  
NEWBERRY, SOUTH CAROLINA  
PROJECT NAME: **TOWN HALL POLICE - CITY OF WHITMIRE**  
PROJECT LOCATION: **210 MAIN STREET, WHITMIRE, SC 29178**

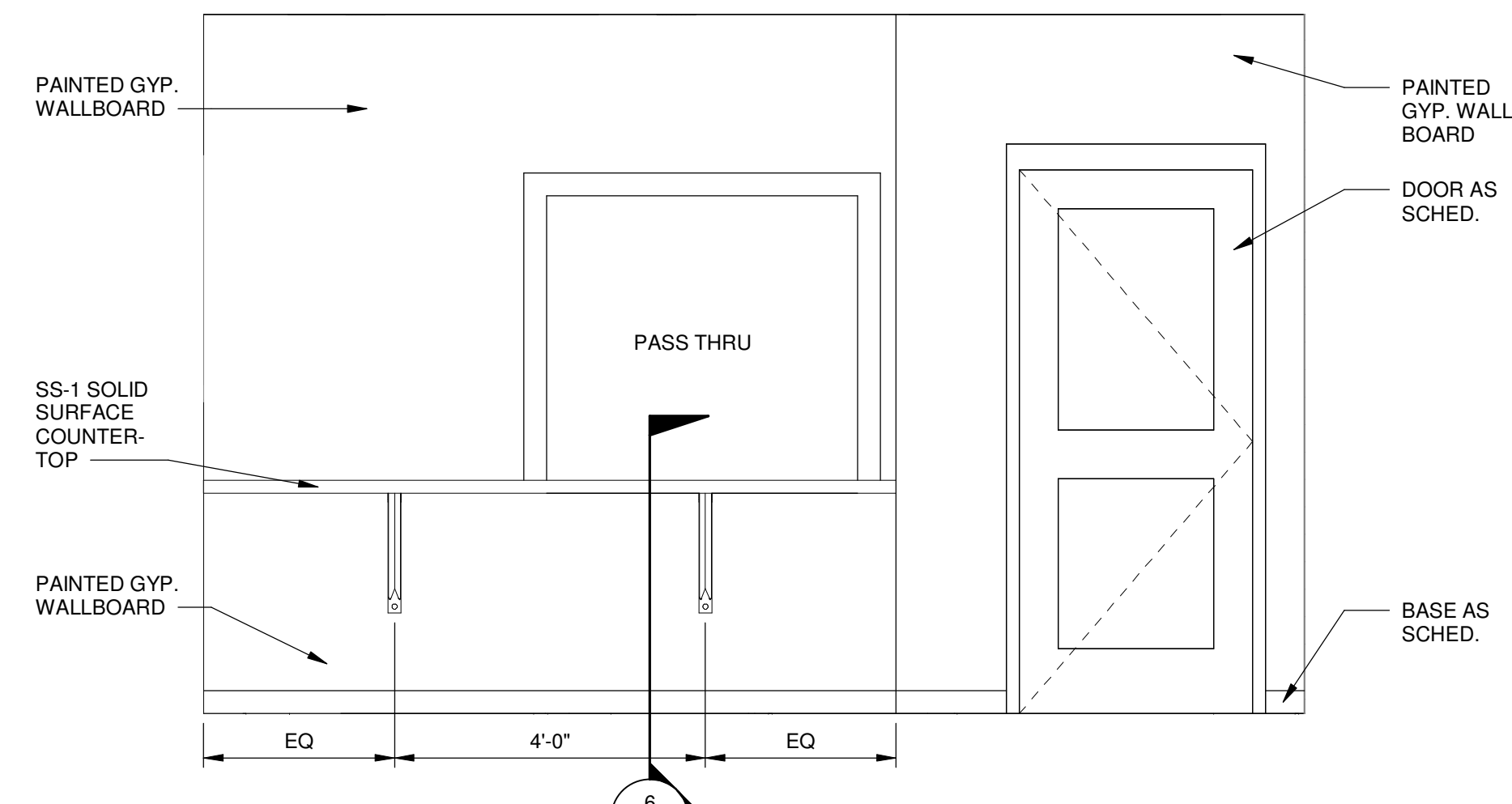
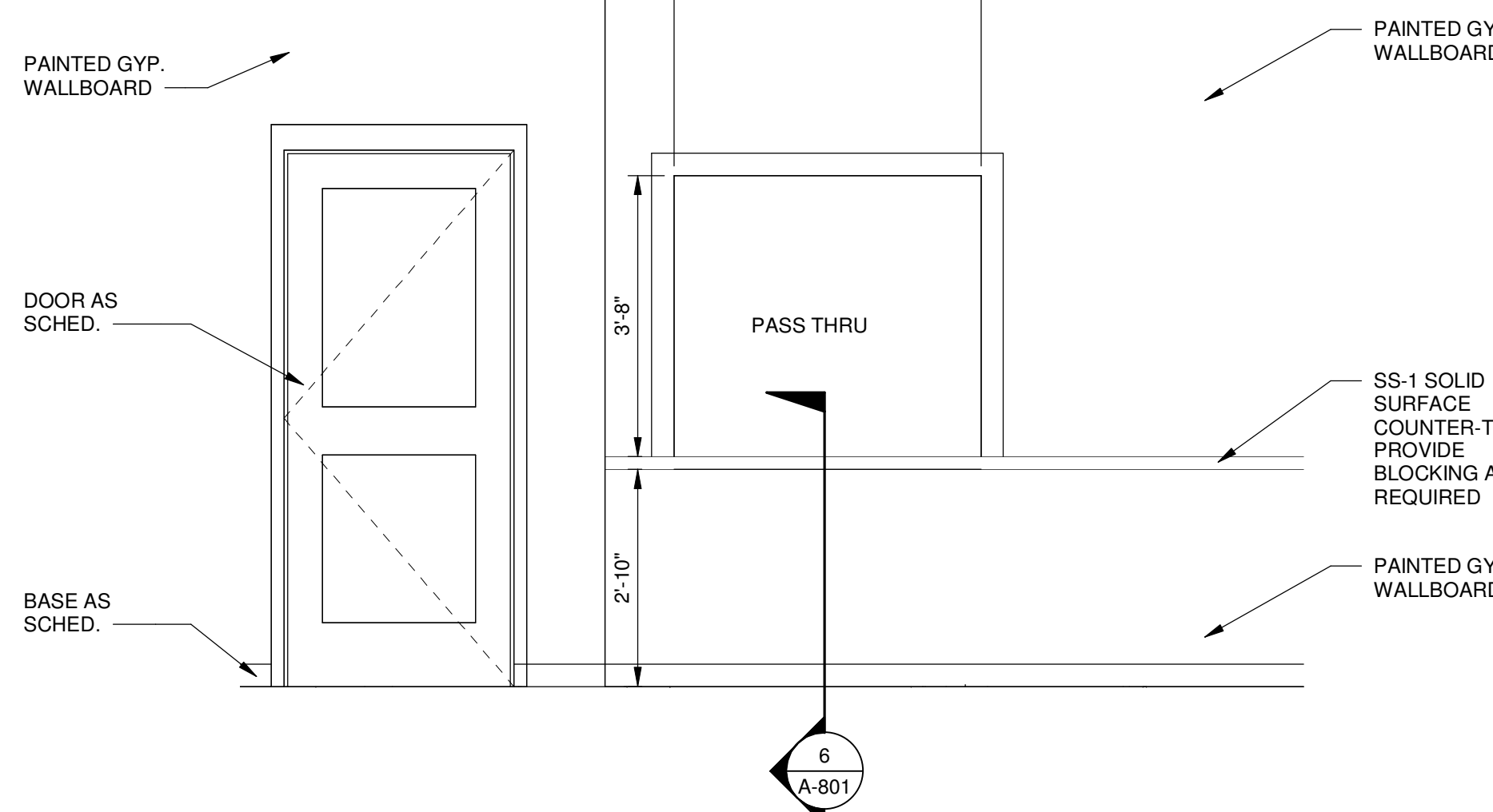
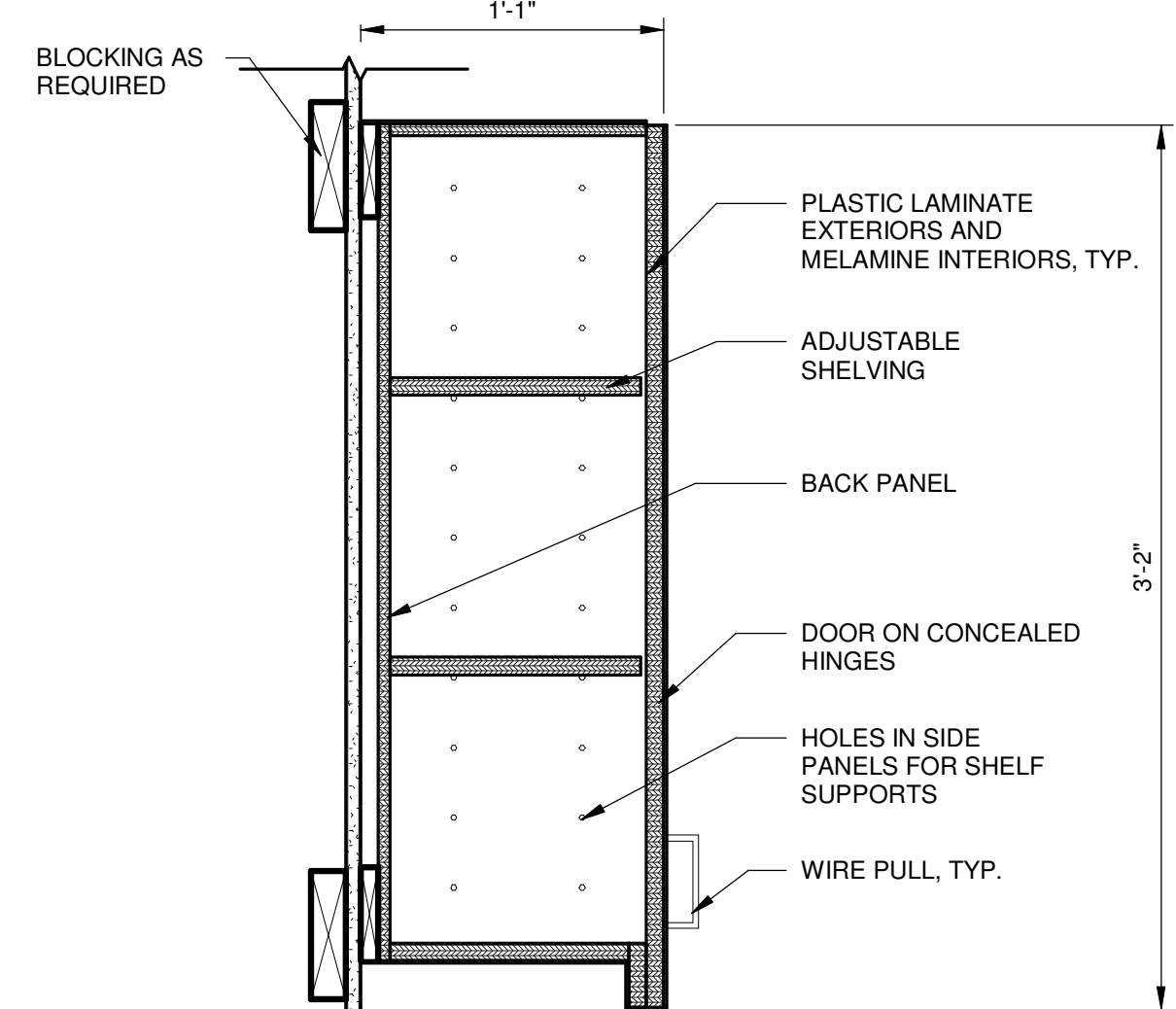
JOHNSON, LASCHOBER & ASSOCIATES, P.C.  
No. C03790  
STATE OF SOUTH CAROLINA  
REGISTERED ARCHITECT  
WATSON LEE  
ARCHITECT  
07/14/18

REV	DATE	BY	DESCRIPTION
1	09/25/18	WLD	ADDENDUM #2
0	09/14/18	WLD	ISSUED FOR CONSTRUCTION

PROJECT NO. 3606.1704  
DRAWN BY: CTH/JPT  
CHECKED BY: WLD  
DATE: 12/11/17  
SHEET TITLE:  
**DOOR, WINDOW SCHEDULE, DETAILS, ROOM FINISH SCHEDULE**

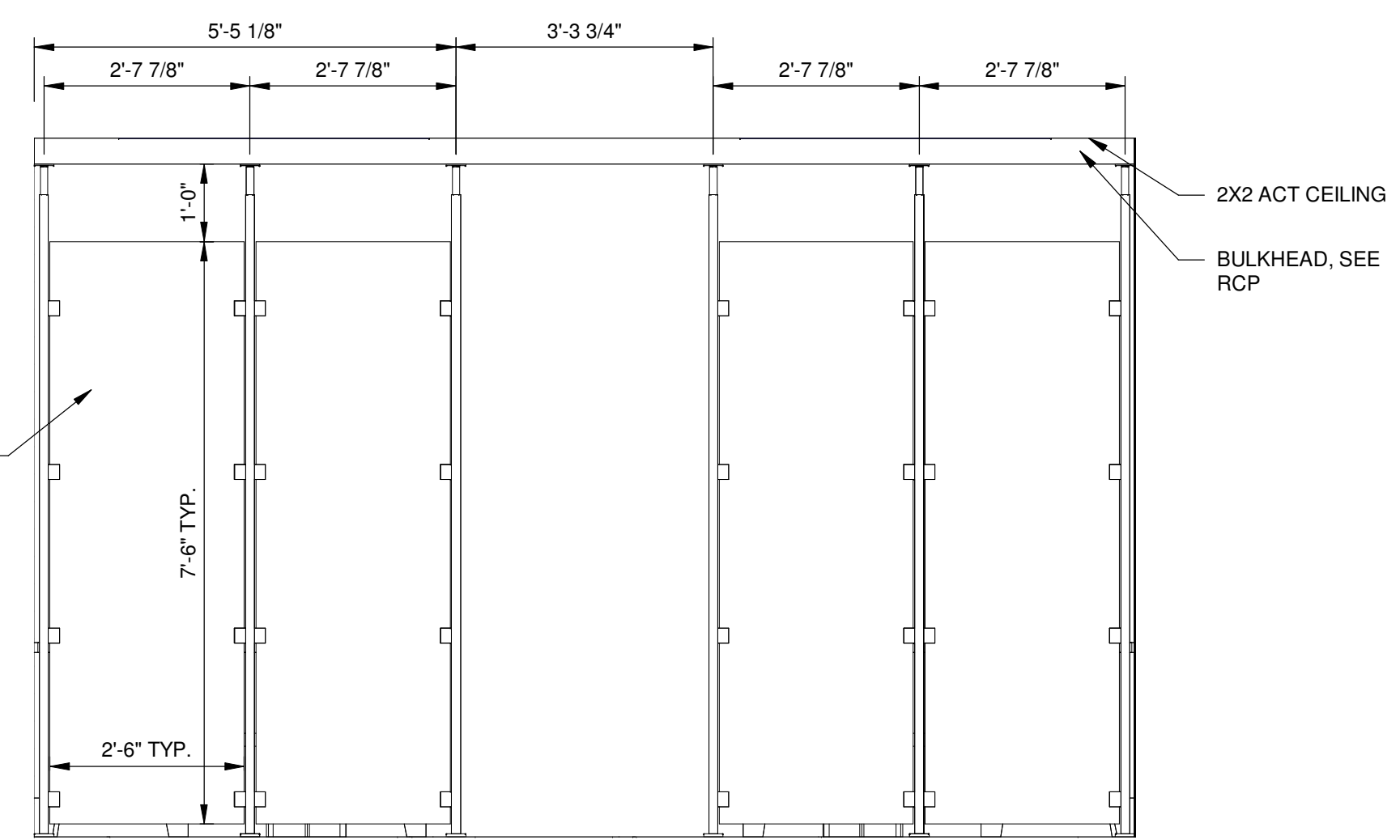
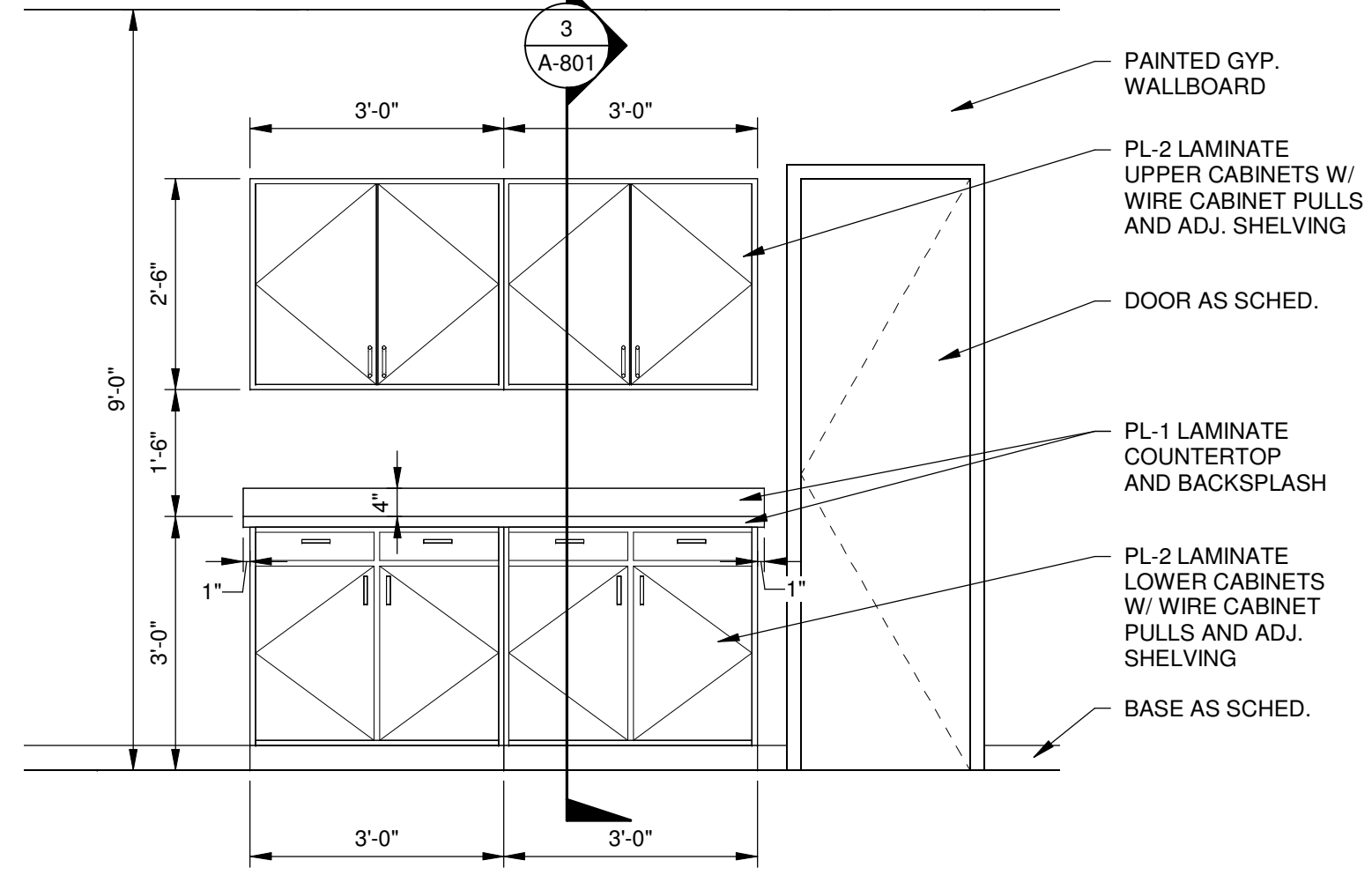
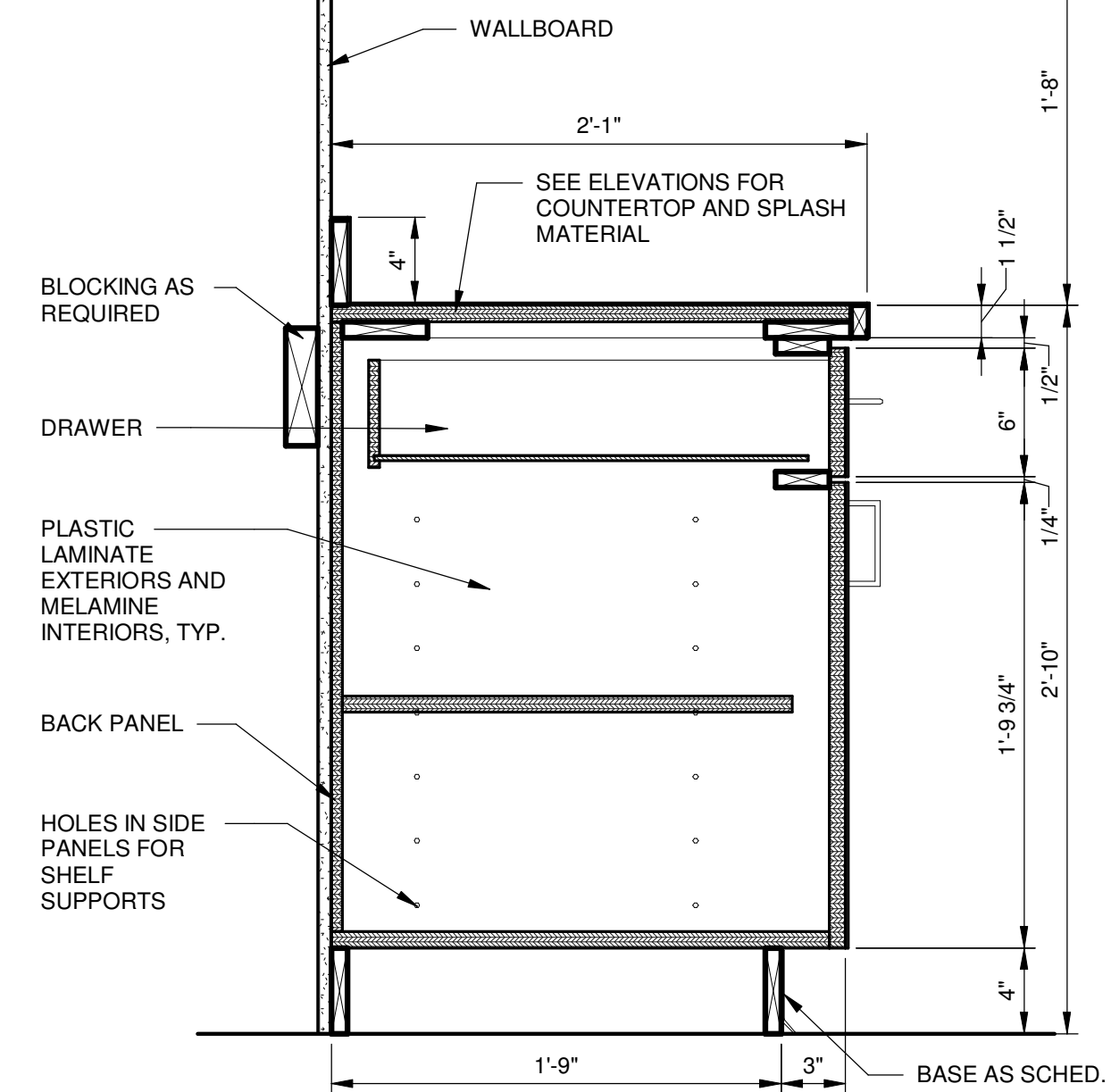
SCALE: AS NOTED  
DRAWING NO. **A-701** REV. **1**





1 VESTIBULE 112  
SCALE: 1/2" = 1'-0"

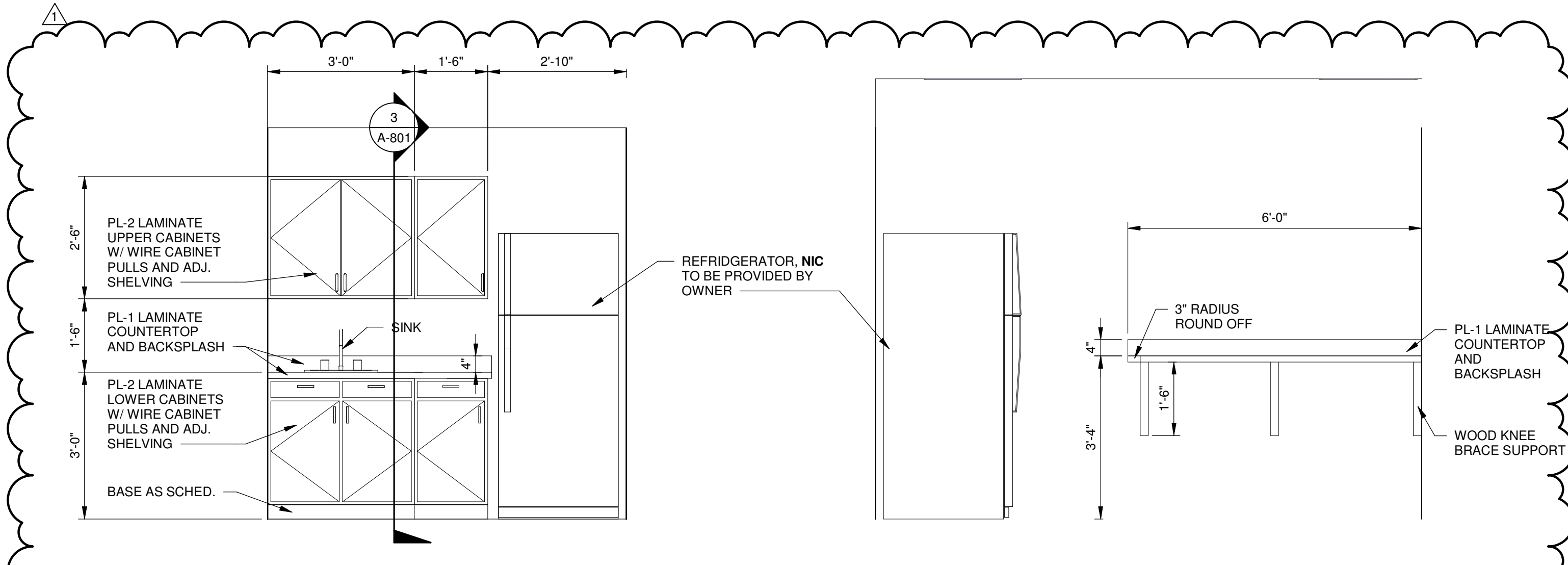
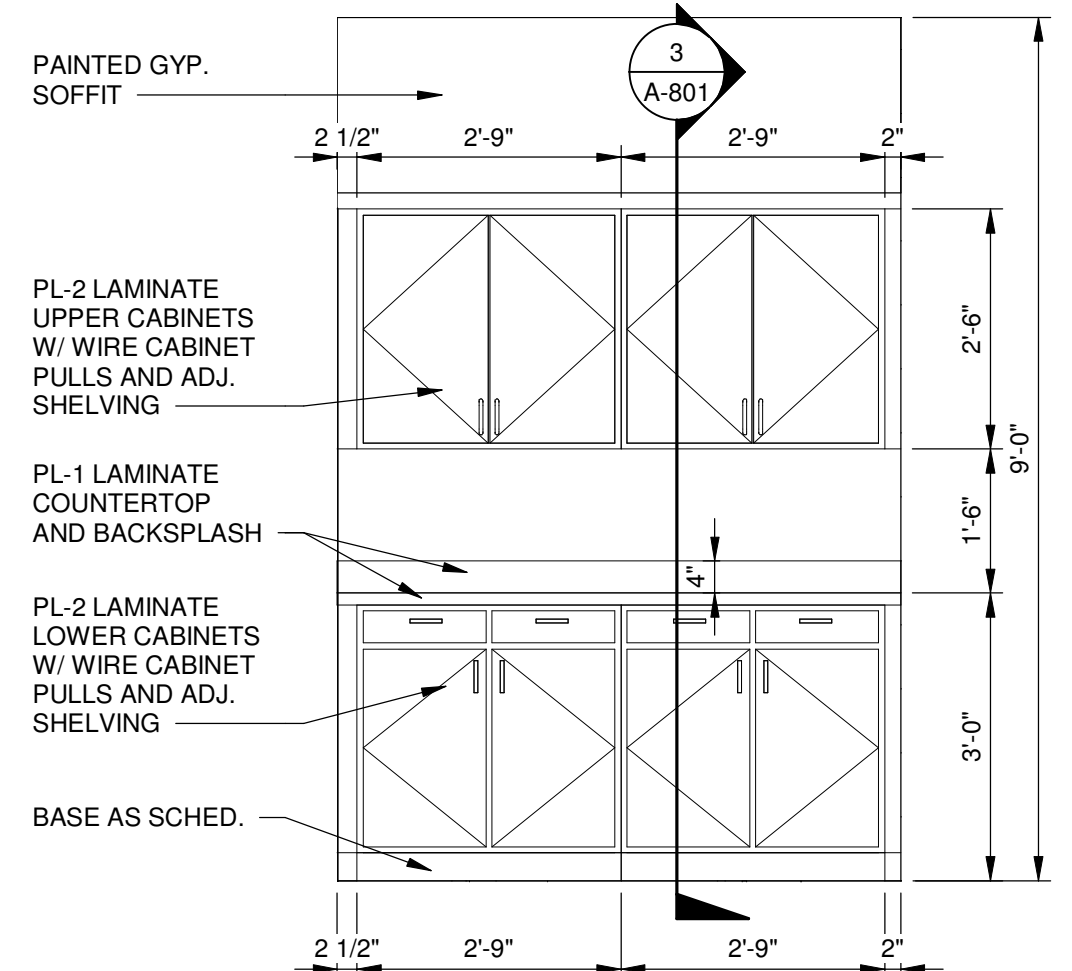
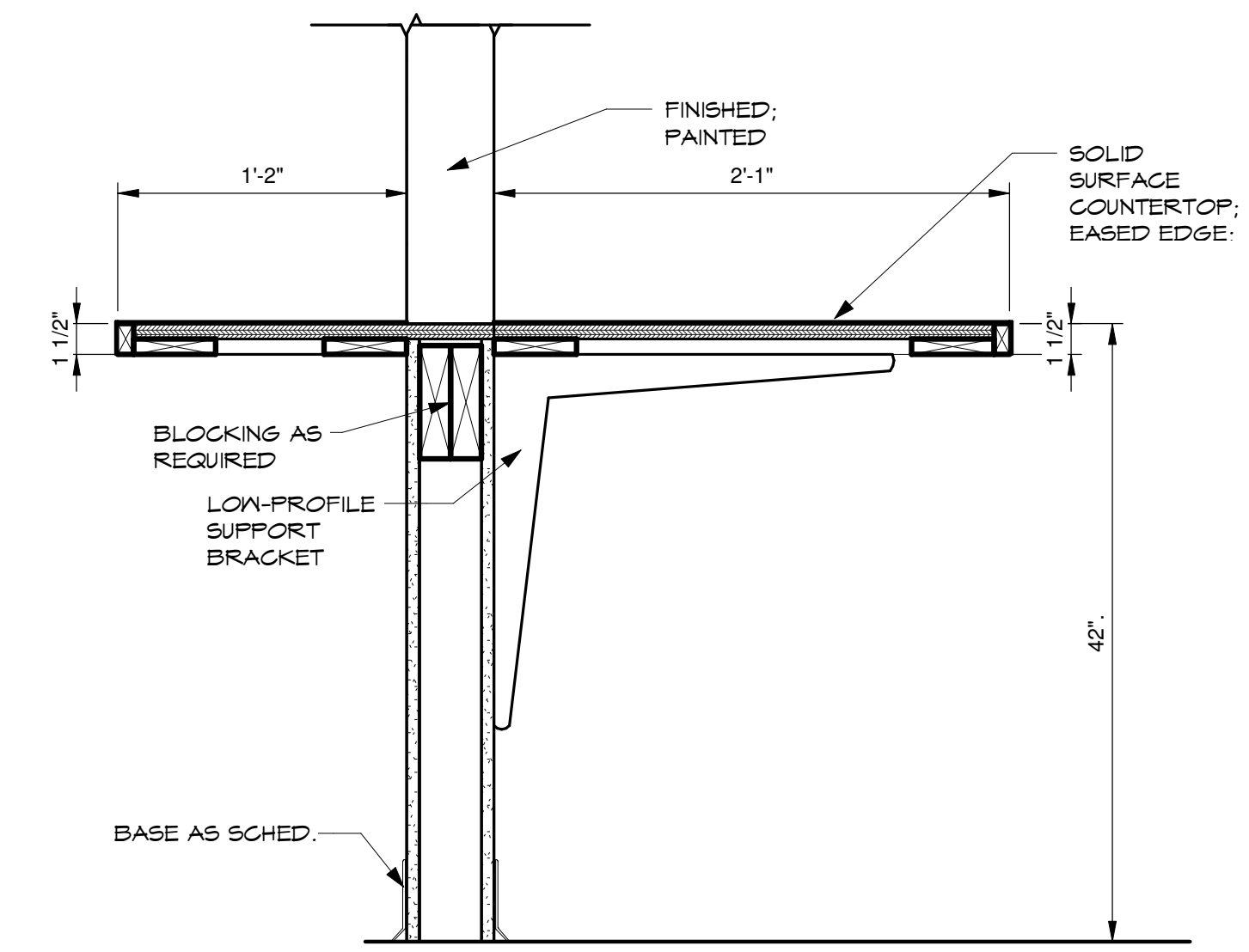
2 TOWN HALL CLERK 111  
SCALE: 1/2" = 1'-0"



3 CASEWORK SECTION - LAMINATE COUNTERTOP  
SCALE: 1 1/2" = 1'-0"

4 MILLWORK ELEVATION  
SCALE: 1/2" = 1'-0"

5 CPW CLERK 110  
SCALE: 1/2" = 1'-0"



6 CASEWORK SECTION - DESKTOP  
SCALE: 1 1/2" = 1'-0"

7 MILLWORK ELEVATION  
SCALE: 1/2" = 1'-0"

8 ELEVATION- BREAKROOM  
SCALE: 1/2" = 1'-0"

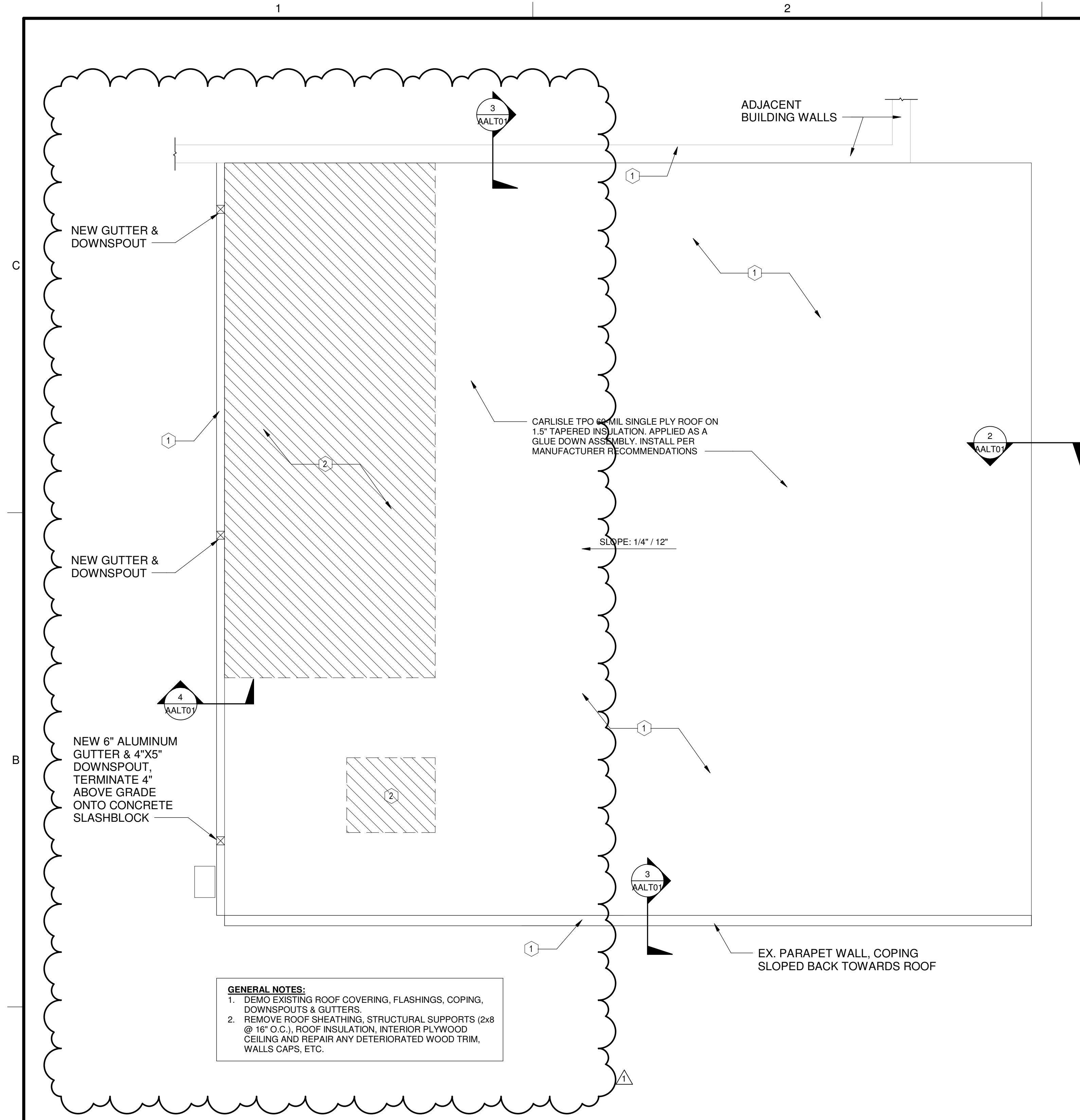
9 ELEVATION- BREAKROOM  
SCALE: 1/2" = 1'-0"



NO.	DATE	BY	DESCRIPTION
1	09/25/18	WLD	ADDENDUM #2
0	09/14/18	WLD	ISSUED FOR CONSTRUCTION

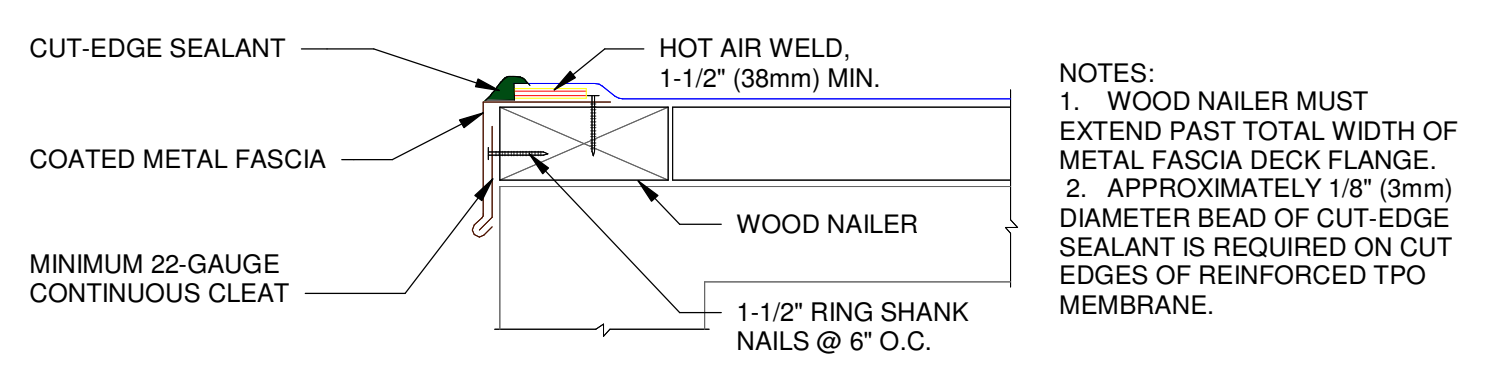
PROJECT NO.	3606.1704
DRAWN BY:	CBW/JPT
CHECKED BY:	WLD
DATE:	12/11/17
SHEET TITLE: <b>INTERIOR ELEVATIONS/ CABINET DETAILS</b>	
SCALE:	AS NOTED
DRAWING NO.	A-801
REV.	1



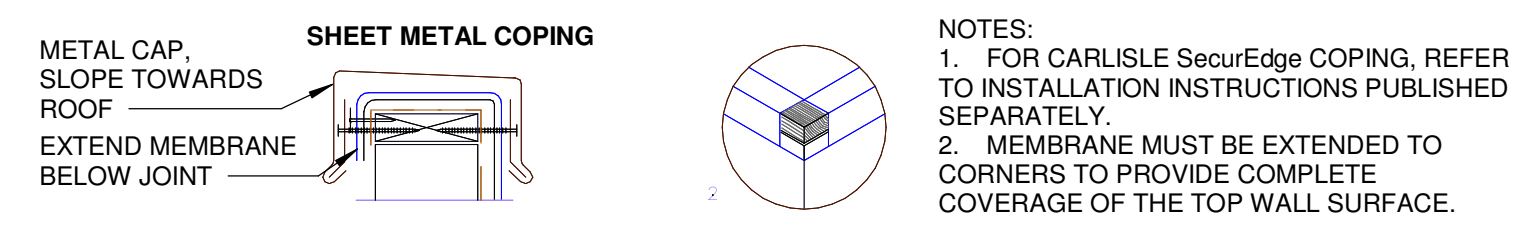


**GENERAL NOTES:**  
 1. DEMO EXISTING ROOF COVERING, FLASHINGS, COPING, DOWNSPOUTS & GUTTERS.  
 2. REMOVE ROOF SHEATHING, STRUCTURAL SUPPORTS (2x8 @ 16" O.C.), ROOF INSULATION, INTERIOR PLYWOOD CEILING AND REPAIR ANY DETERIORATED WOOD TRIM, WALLS CAPS, ETC.

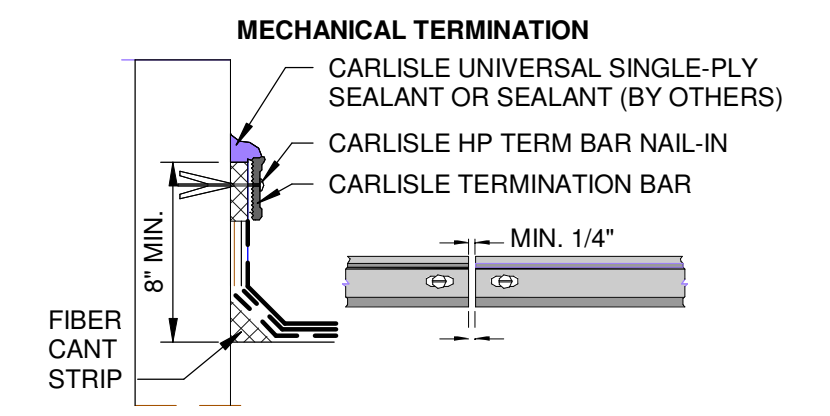
**1 GARAGE ROOF PLAN- ALTERNATE #1**  
 SCALE: 1/4" = 1'-0"



**2 CARLISLE DRIP EDGE**  
 SCALE: 3" = 1'-0"

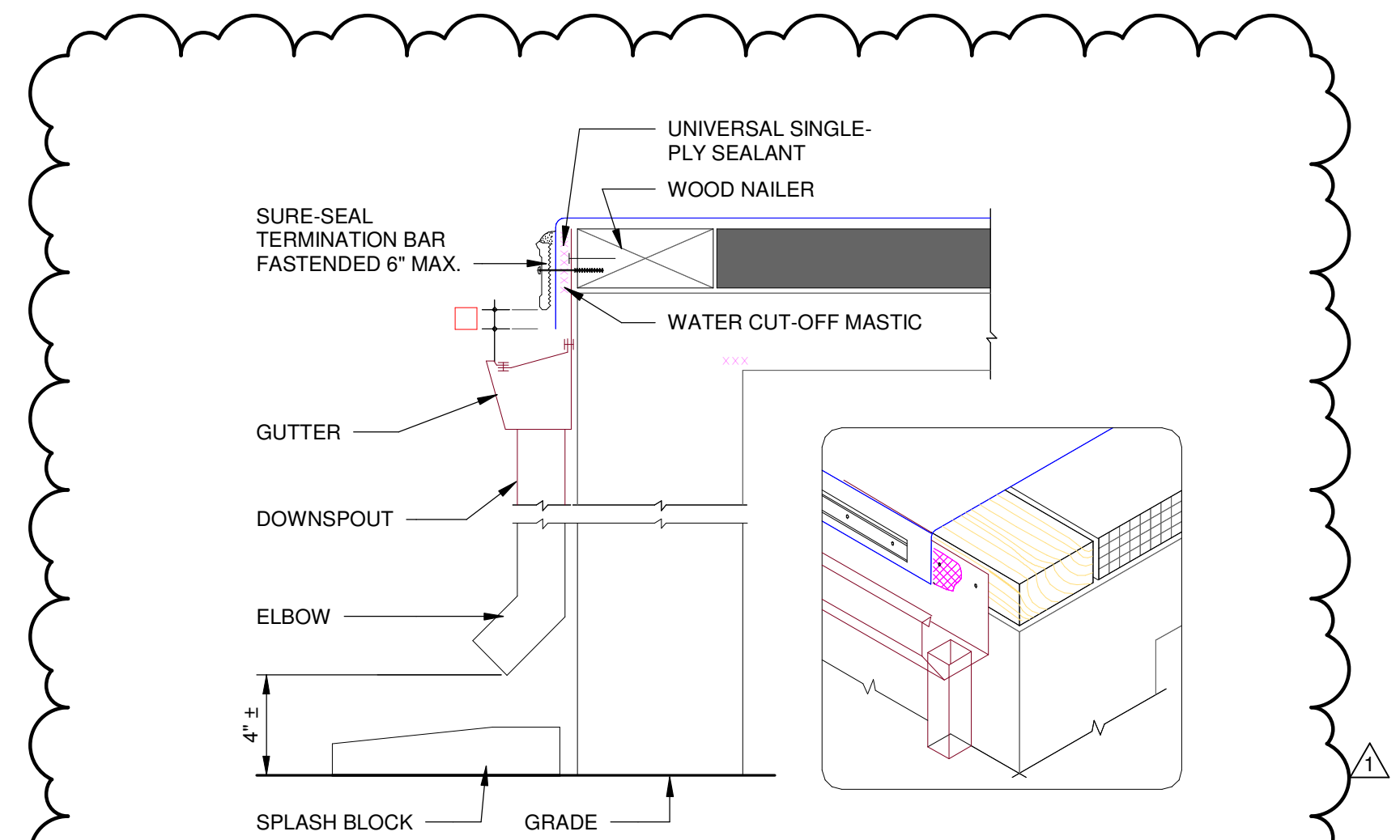


**NOTES:**  
 1. FOR CARLISLE SecurEdge COPING, REFER TO INSTALLATION INSTRUCTIONS PUBLISHED SEPARATELY.  
 2. MEMBRANE MUST BE EXTENDED TO CORNERS TO PROVIDE COMPLETE COVERAGE OF THE TOP WALL SURFACE.



**NOTES:**  
 1. APPLY ON HARD SMOOTH SURFACE ONLY; NOT FOR USE ON EXPOSED WOOD.  
 2. DO NOT WRAP COMPRESSION TERMINATION BAR AROUND CORNERS.  
 3. FLEECE-BACKING MUST BE REMOVED FROM THE MEMBRANE SO THAT WATER CUT-OFF MASTIC IS IN DIRECT CONTACT.  
 4. DETAIL NOT FOR USE ON WARRANTY PROJECTS EXCEEDING 20-YEARS.

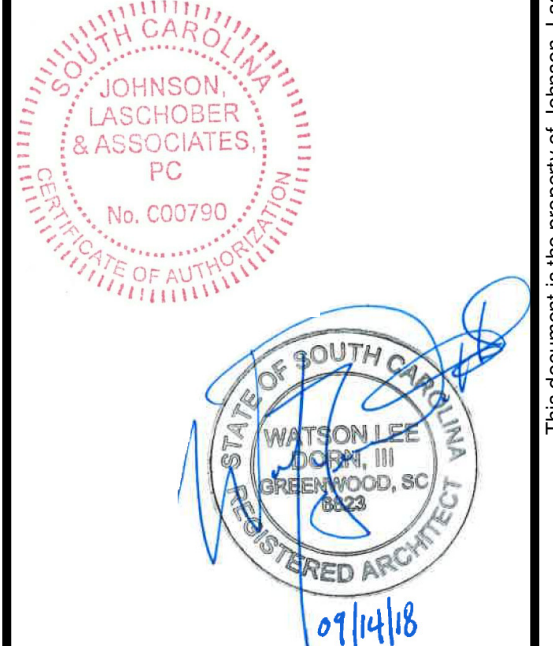
**3 CARLISLE TERMINATIONS**  
 SCALE: 3" = 1'-0"



**NOTES:**  
 1. FASTENING OF METAL TERMINATION BAR MUST PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.  
 2. ALLOW MEMBRANE SHEET TO EXTEND 1/2\"/>

**4 CARLISLE GUTTER EDGE**  
 SCALE: 3" = 1'-0"

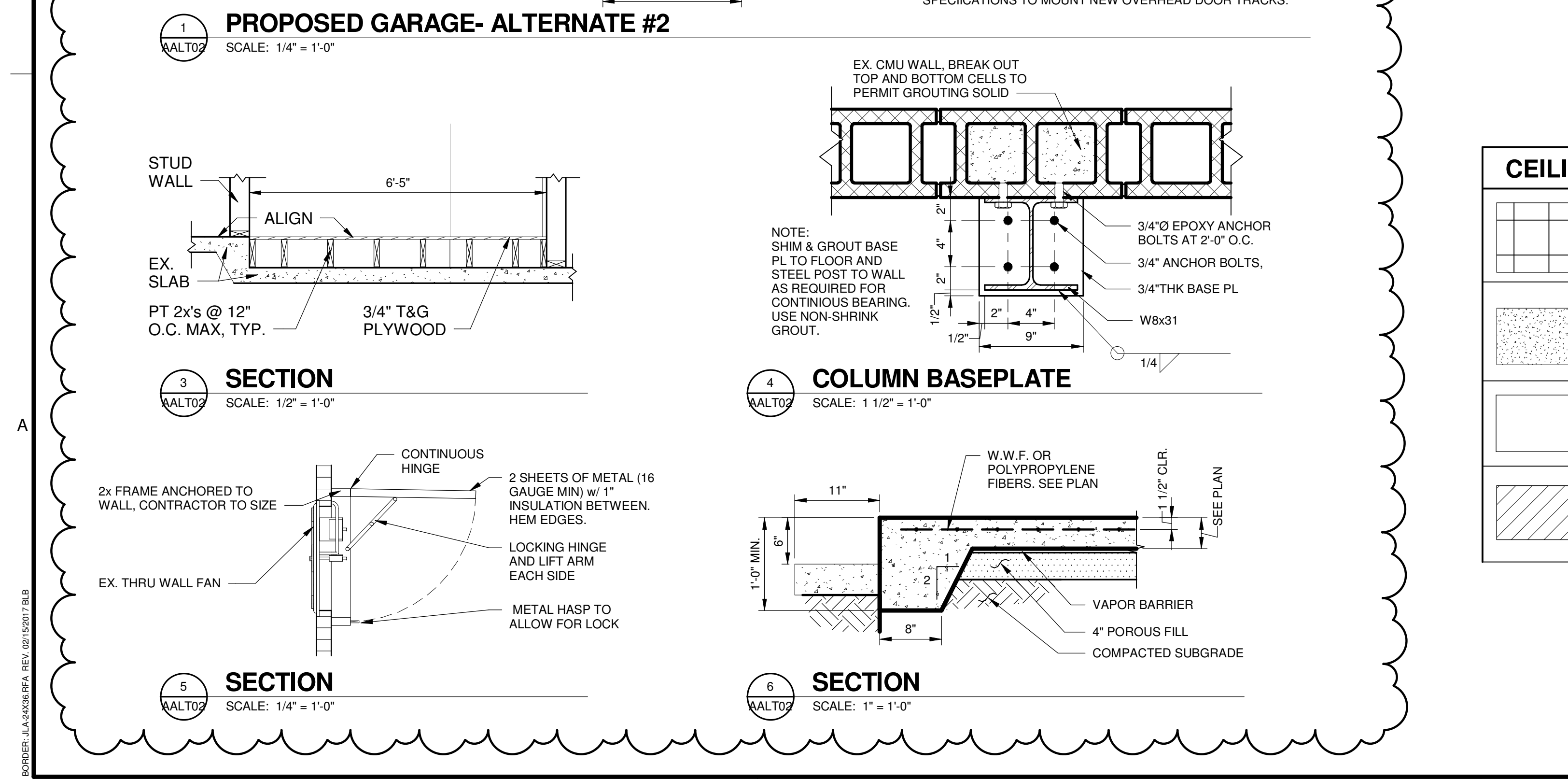
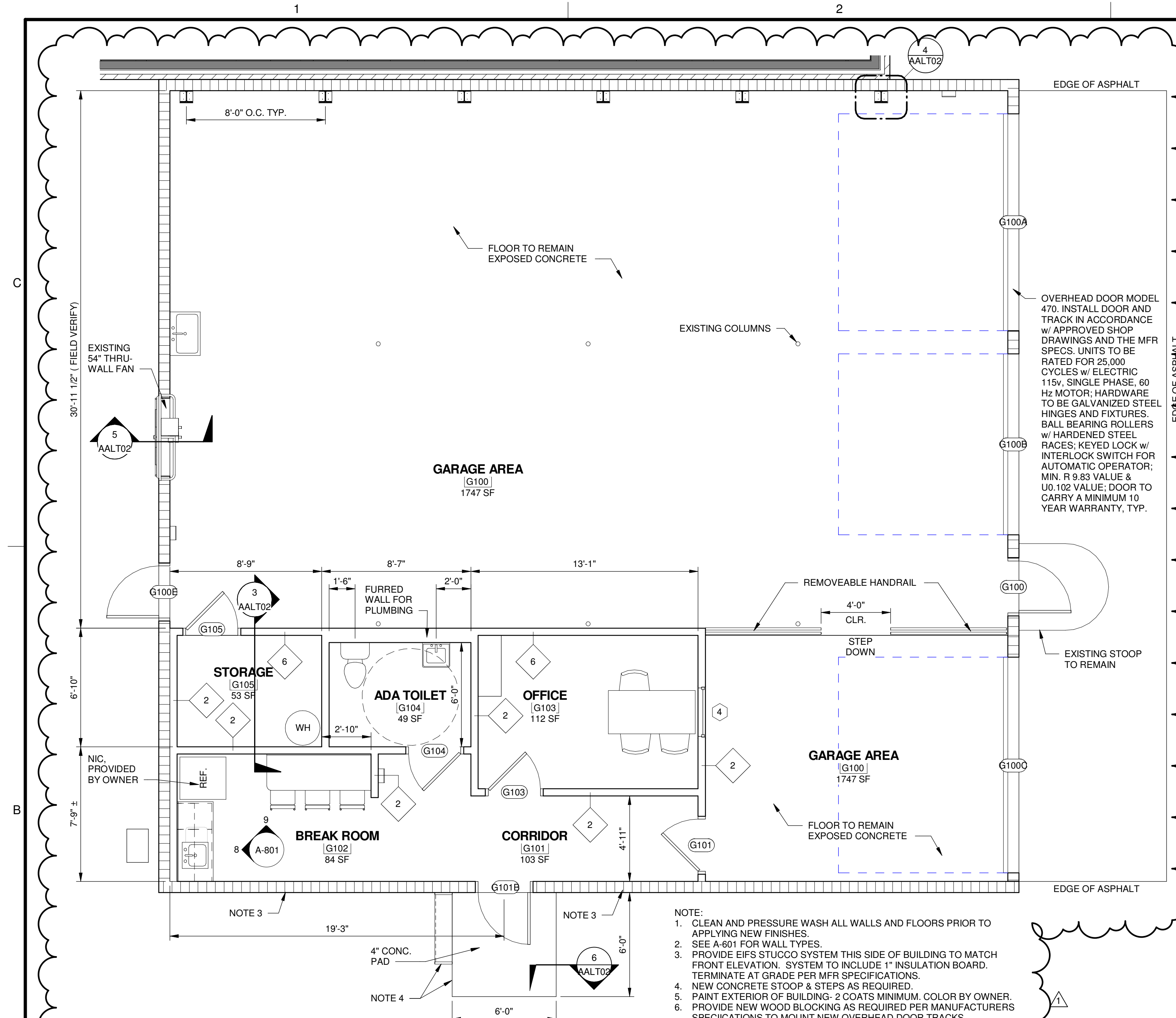
CLIENT: **NEWBERRY COUNTY**  
 NEWBERRY, SOUTH CAROLINA  
 PROJECT NAME: **TOWN HALL POLICE - CITY OF WHITMIRE**  
 PROJECT LOCATION: **210 MAIN STREET, WHITMIRE, SC 29178**



REV	DATE	BY	DESCRIPTION
1	09/25/18	WLD	ADDENDUM #2
0	09/14/18	WLD	ISSUED FOR CONSTRUCTION

PROJECT NO.	3606.1704
DRAWN BY:	CBW
CHECKED BY:	WLD
DATE:	12/11/17
SHEET TITLE: <b>GARAGE ROOF PLAN- ALTERNATE #1</b>	
SCALE	AS NOTED
DRAWING NO.	REV.
<b>AALT01</b>	<b>1</b>

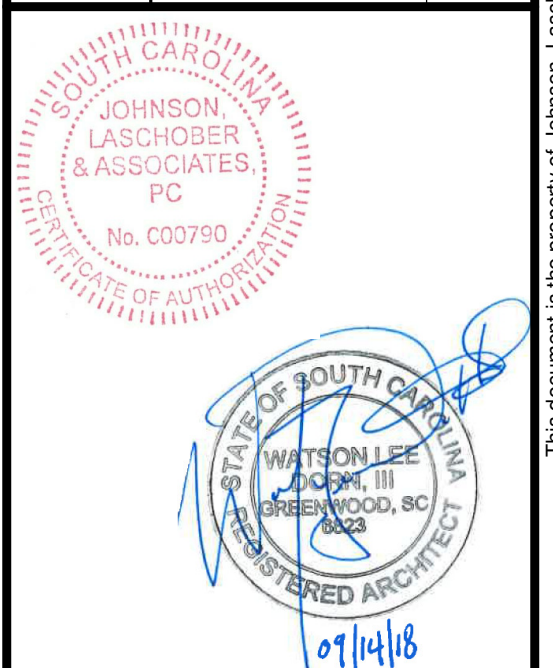




CEILING LEGEND					
	ACOUSTICAL CEILING TILE 2X2 LAY-IN CEILING PANEL WITH SUSPENDED GRID		MECH DIFFUSER / RETURN GRILLE SEE MECH DWGS.		CEILING CAP/ SOUND BARRIER INSULATION PLATE ABOVE CEILING (2'-0" FROM PERIMETER WALLS)
	HARD CEILING- PAINTED (GYP) GYPSUM BOARD PAINTED		LAY-IN FIXTURE 1 X 4 LIGHT FIXTURE		HVAC RETURN SEE HVAC DWGS.
	WOOD CEILING- PAINTED TONGUE & GROOVE PLYWOOD PAINTED		LAY-IN FIXTURE 2 X 4 LIGHT FIXTURE		EXIT LIGHT
	METAL PANEL SOFFIT		RECESSED LIGHT FIXTURE	<b>NOTES:</b> 1. SEE ALL ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL RELATED ITEMS. 2. SEE ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE.	
			SUSPENDED FIXTURE		
			WALL MOUNTED FIXTURE		HVAC DIFFUSER SEE HVAC DWGS.
					HIGH BAY FLORESCENT

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CLIENT: **NEWBERRY COUNTY**  
NEWBERRY, SOUTH CAROLINA  
PROJECT NAME: **TOWN HALL POLICE - CITY OF WHITMIRE**  
PROJECT LOCATION: **210 MAIN STREET, WHITMIRE, SC 29178**



REV	DATE	BY	DESCRIPTION
1	09/25/18	WLD	ADDENDUM #2
0	09/14/18	WLD	ISSUED FOR CONSTRUCTION

PROJECT NO. 3606.1704  
DRAWN BY: CBW  
CHECKED BY: WLD  
DATE: 12/11/17  
SHEET TITLE:  
**GARAGE BUILDING PLANS- ALTERNATE #2**  
SCALE: AS NOTED  
DRAWING NO. **AALT02** REV. 1  
9/26/2018 2:38:42 PM



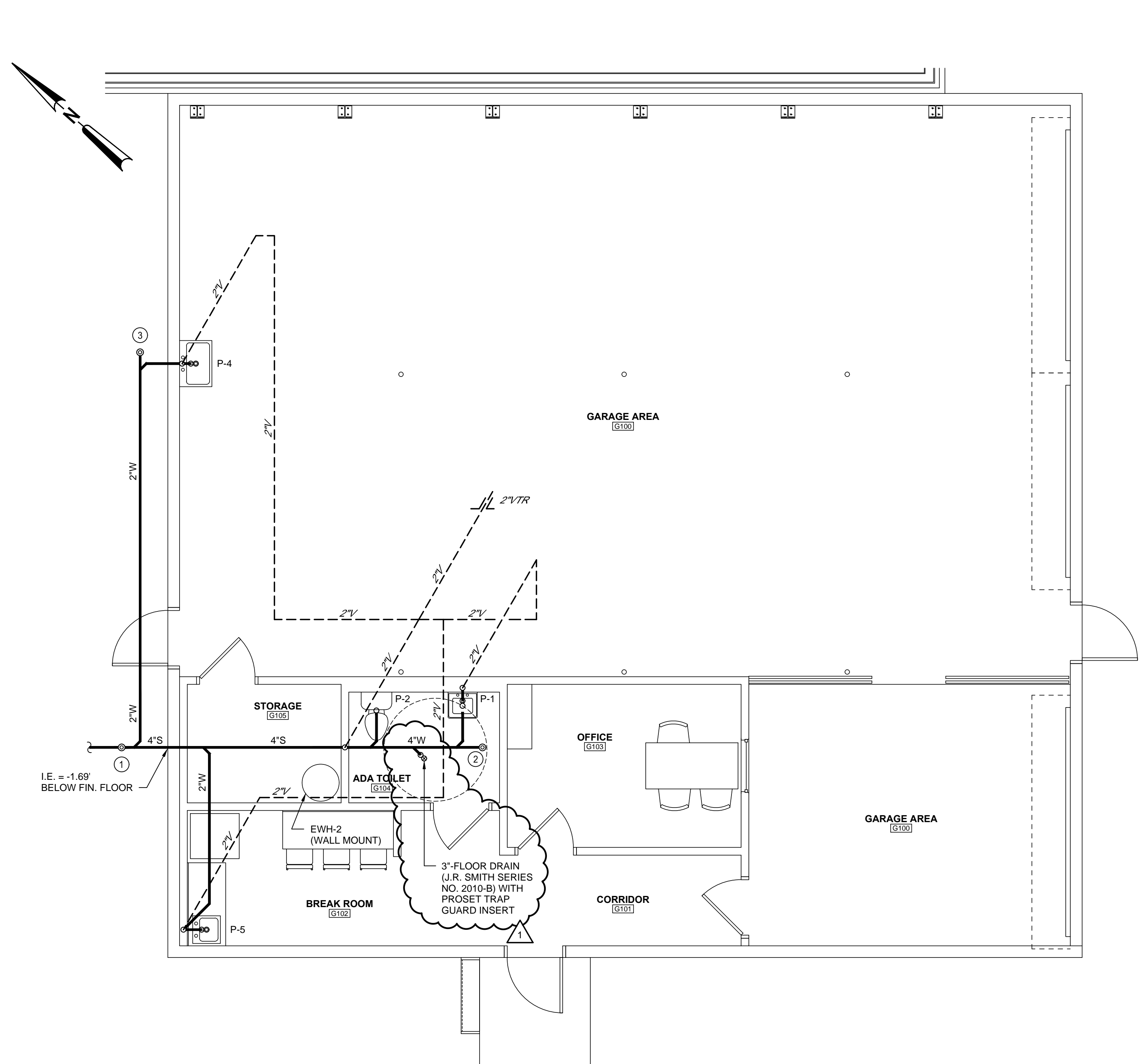
**WASTE PIPING NOTES:**

- ① - 4" GCO
- ② - 4" FCO
- ③ - 2" GCO

**POTABLE WATER & GAS PIPING NOTES:**

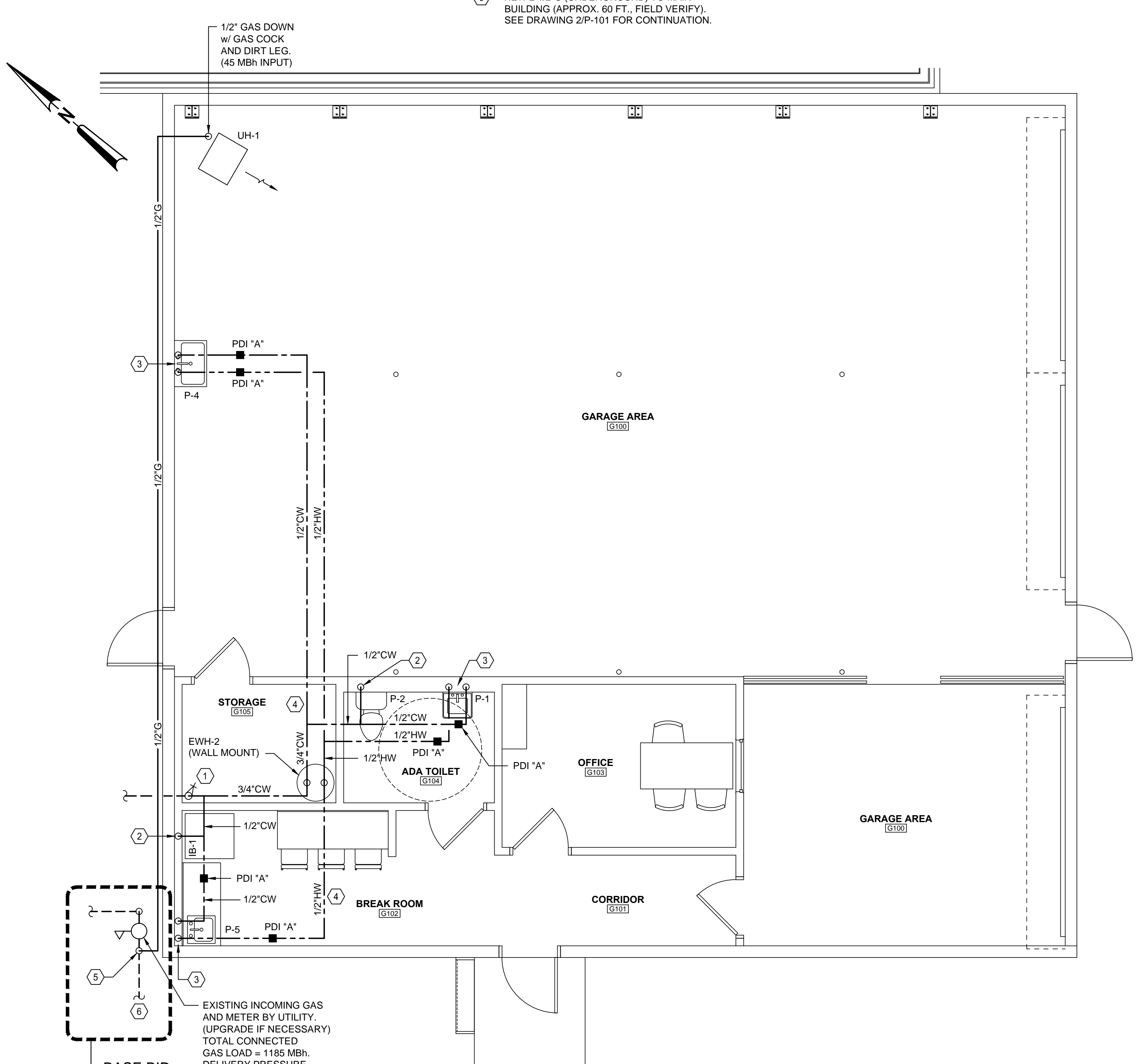
- ① - 1" WATER UP THRU SLAB w/ SLEEVE. (COORDINATE w/ GENERAL CONTRACTOR) PROVIDE SHUT-OFF VALVE AND B.F.P. (PROVIDE P.R.V. IF WATER PRESSURE  $\geq$  80 psi. PLUMBING CONTRACTOR TO VERIFY WATER PRESSURE IN THE FIELD).
- ② - 1/2" CW DOWN
- ③ - 1/2" CW & HW DOWN
- ④ - POTABLE WATER PIPING IS LOCATED ABOVE CEILING. (TYP. U.N.O.)
- ⑤ - NEW 1/2" G UP AND 2 1/2" G DOWN
- ⑥ - NEW 2 1/2" G (UNDERGROUND) TO MAIN BUILDING (APPROX. 60 FT., FIELD VERIFY). SEE DRAWING 2/P-101 FOR CONTINUATION.

A  
B  
C



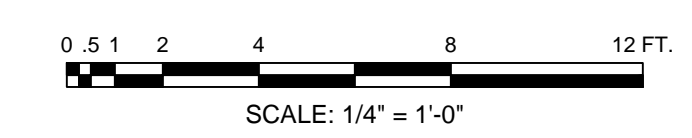
- NOTES:**
- SEE PLUMBING FIXTURE SCHEDULE FOR INDIVIDUAL FIXTURE RUN-OUT SIZES.
  - PLUMBING CONTRACTOR SHALL COORDINATE UNDERGROUND PIPING WITH STRUCTURAL COLUMN AND FOOTING LOCATIONS. REROUTE PIPING AS NECESSARY TO AVOID INTERFERENCES.

**1 WASTE PIPING PLAN**  
SCALE: 1/4" = 1'-0"



- NOTE:**
- SEE PLUMBING FIXTURE SCHEDULE FOR INDIVIDUAL FIXTURE RUN-OUT SIZES.

**2 POTABLE WATER AND GAS PIPING PLAN**  
SCALE: 1/4" = 1'-0"



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CLIENT: NEWBERRY COUNTY  
NEWBERRY, SOUTH CAROLINA  
PROJECT NAME: **TOWN HALL POLICE - CITY OF WHITMIRE**  
PROJECT LOCATION: 210 MAIN STREET, WHITMIRE, SC 29178

Professional Engineer Seal for Curtis V. Williamson, No. 25829, State of South Carolina, dated 9/14/18.

REV	DATE	BY	DESCRIPTION
1	09/25/18	CVW	ADDENDUM #1
0	09/14/18	CVW	ISSUED FOR CONSTRUCTION

PROJECT NO. 3606.1704  
DRAWN BY: WBR  
CHECKED BY: CVW  
DATE: 12/11/17

**SHEET TITLE:**  
**ALTERNATE #2 REAR BUILDING PLUMBING PLANS**

SCALE: 1/4" = 1'-0"  
DRAWING NO. **PALT02** REV. **1**



**ELECTRICAL DEMOLITION NOTES:**

- 1. REMOVE ALL EXISTING ELECTRICAL ITEMS IN THEIR ENTIRETY IN THIS AREA.

**ELECTRICAL KEYED NOTES:**

- ① INTERLOCK FAN WITH LIGHTS.
- ② APPROXIMATE LOCATION OF EXISTING EXHAUST FAN TO REMAIN
- ③ TO PANEL LP1.

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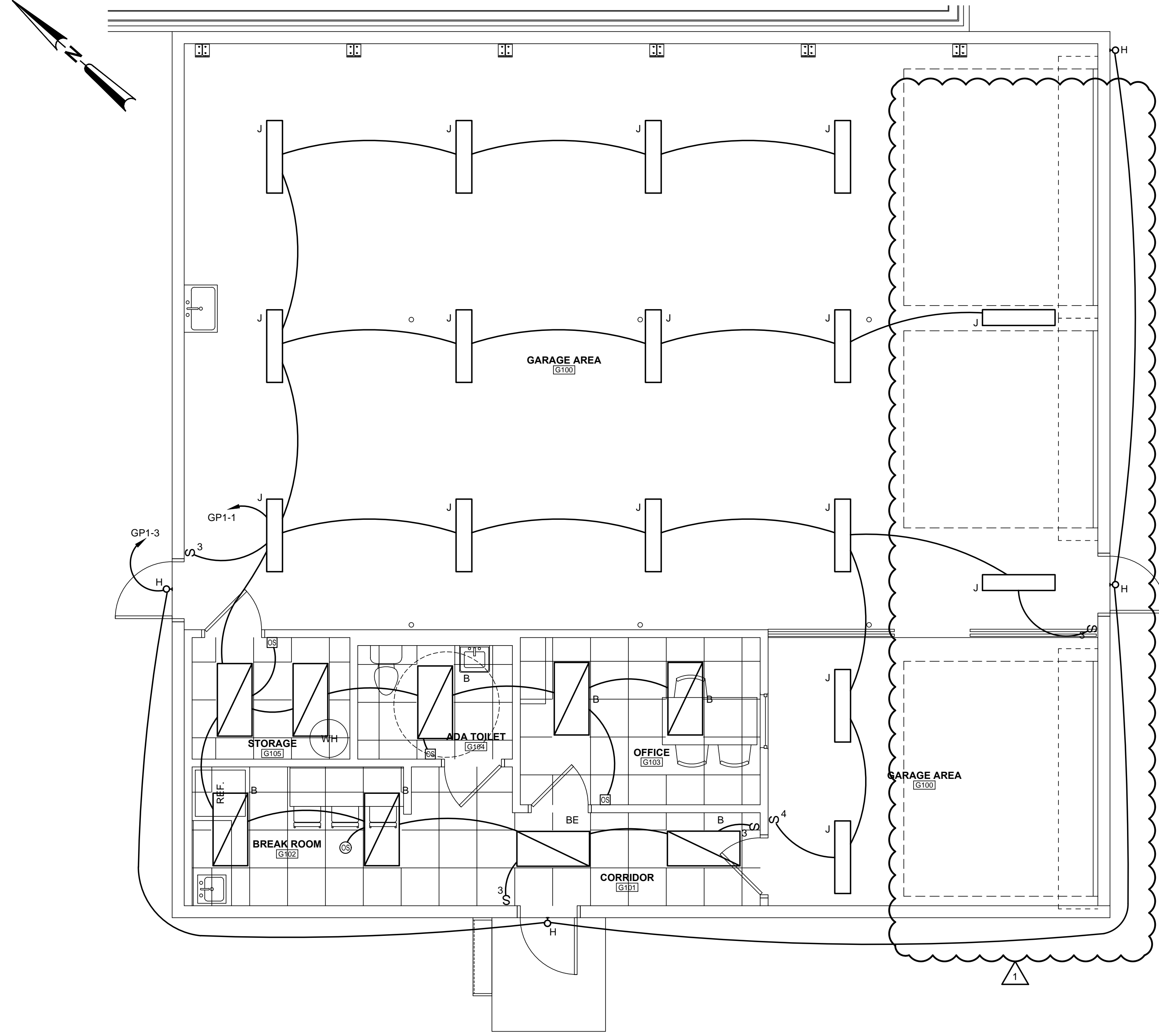
REV	DATE	BY	DESCRIPTION
1	09/25/18	FAK	ADDENDUM #1
0	09/14/18	FAK	ISSUED FOR CONSTRUCTION

PROJECT NO. 3606.1704  
DRAWN BY: JFP  
CHECKED BY: FAK  
DATE: 12/11/17

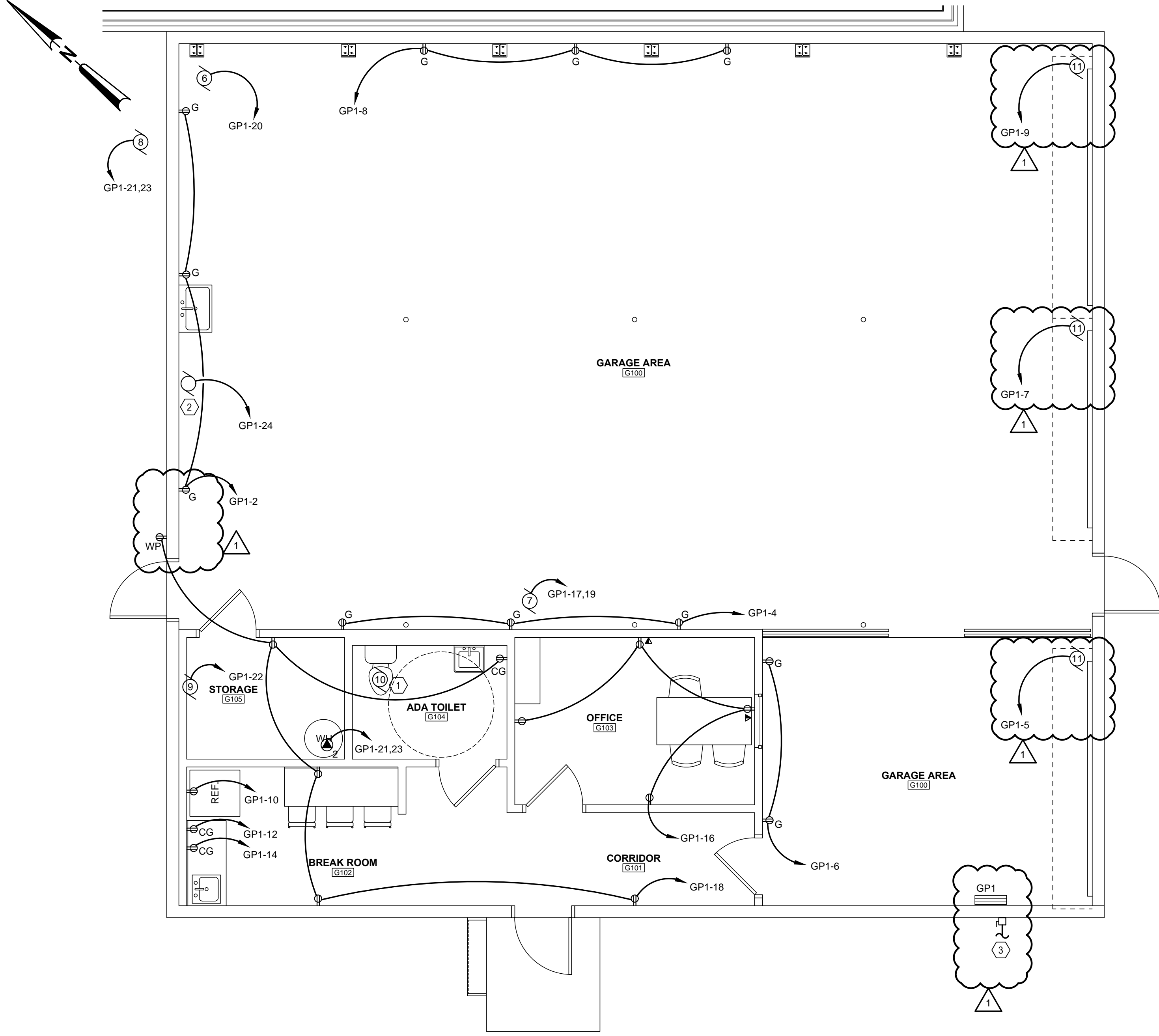
**ALTERNATE #2  
REAR BUILDING  
ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"  
DRAWING NO. **EALT02** REV. **1**

C  
B  
A



**1 LIGHTING PLAN**  
SCALE: 1/4" = 1'-0"



**2 POWER AND SIGNAL PLAN**  
SCALE: 1/4" = 1'-0"

